



ATTACHMENTS

ITEM 4 CONFIRMATION OF MINUTES

- Item 4 Attachment 1 – Council Meeting Minutes 3 May 2023

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- Item 9.3 Attachment 3 – S18 Sub-delegation under the EPA Act 2017
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- Item 9.4 Attachment 6 – CEO Employment and Remuneration Policy
- Item 9.4 Attachment 7 – Advisory Committee Policy
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- Item 9.5 Attachment 10 – Letter from Nhill A&P Society
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- Item 9.6 Attachment 12 – Hindmarsh Heritage Assessment Study
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 - Item 10.1 Attachment 15 – Rainbow TAC Minutes 15 May 2023
 - Item 10.2 Attachment 16 – Jeparit TAC Minutes 8 May 2023
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 - Item 10.4 Attachment 18 – WMPM CAC Minutes 18 April 2023
 - Item 10.5 Attachment 19 – Yurunga Homestead CAC Minutes 27 April 2023
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MINUTES OF THE COUNCIL MEETING OF HINDMARSH SHIRE COUNCIL HELD WEDNESDAY 3 MAY 2023 AT THE COUNCIL CHAMBERS, 92 NELSON STREET NHILL, COMMENCING AT 3:00PM.

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CRS B Ireland (Mayor), M Albrecht (Deputy Mayor – via Zoom), D Nelson, R Gersch, R Ismay.

In Attendance:

Mr Greg Wood (Chief Executive Officer), Ms Jessie Holmes (Director Infrastructure Services), Ms Monica Revell (Director Corporate and Community Services) and Ms Shauna Johnson (Executive Assistant).

1 ACKNOWLEDGMENT OF THE INDIGENOUS COMMUNITY

Cr B Ireland opened the meeting at 3:00pm by acknowledging the Indigenous Community.

2 APOLOGIES

Cr W Bywaters.

3 DECLARATION OF INTERESTS

A Councillor or Officer with a conflict of interest in an item on the Agenda must indicate that they have a conflict of interest by clearly stating:

- the item for which they have a conflict of interest;
- whether their conflict is **general** or **material**; and
- the circumstances that give rise to the conflict of interest.

Declaration of material or general conflict of interest must also be advised by Councillors and Officers at the commencement of discussion of the specific item.

Cr R Gersch declared a general conflict in item 9.1.

Cr M Albrecht declared a general conflict in item 9.1.

4 CONFIRMATION OF MINUTES

RECOMMENDATION:

That the Minutes of the Ordinary Council Meeting held on Wednesday 5 April 2023 at the Nhill Memorial Community Centre Nhill, as circulated to Councillors be taken as read and confirmed.

MOVED: CRS R Gersch/D Nelson

That the Minutes of the Ordinary Council Meeting held on Wednesday 5 April 2023 at the Nhill Memorial Community Centre Nhill, as circulated to Councillors be taken as read and confirmed.

CARRIED

Attachment Number: 1

5 PUBLIC QUESTION AND SUBMISSION TIME

Community members wishing to ask questions at council meetings may do so, in writing, at least 24 hours prior to the council meeting. Both the question and answer will be read out at the meeting. Questions may be submitted by mail, email info@hindmarsh.vic.gov.au or delivered in person to a council customer centre but are limited to two questions and 100 words including any pre-amble. Offensive, trivial and repetitive questions, questions which have been recently answered, or questions that may contain defamatory comments, may be excluded at the discretion of the Mayor.

The question must be accompanied by a name and the locality where the questioner resides or works, which will be read out at the meeting. By submitting a question, the questioner gives consent to this information being read out in public. Anonymous questions will not be answered.

David Colbert, Nhill:

Question 1:

Would Council consider asking VicRoads to alter the speed limit in the Nhill CBD from 50km/hr to 40km/hr?

Response, Director Corporate and Community Services:

Council has quarterly meetings with the Department of Transport and advocates for safe speeds through our township CBDs as this is consistently raise by communities.

Question 2:

Would Council consider investigating the purchase / lease / hire of a belly dumper for roadside maintenance?

Response, Director Corporate and Community Services:

Council monitors plant use against the changing needs of our works program. If plant is required for a short period of time, then it is hired, however if over a three-year period it is financially justified – plant may be purchased.

6 ACTIVITY REPORTS

COUNCILLOR ACTIVITIES: 28 March 2023 – 24 April 2023

Cr IRELAND, MAYOR

Date	Meeting	Location	Comments
28/03/2023	Rainbow Community Plan Meeting	The MECCA	
29/03/2023	Meeting with CEO	Nhill	To discuss agenda for April meeting
29/03/2023	Waste Management Meeting	Nhill	
03/04/2023	Jeparit Town Planning Meeting		
04/04/2023	Nhill Town Planning Meeting		
05/04/2023	Cuppa Connections / Café Health	Jeparit	
05/04/2023	Council Briefing Meeting	Nhill	
05/04/2023	Council Meeting	Nhill	
06/04/2023	Mayoral Matters Column to Newspaper		
13/04/2023	Statement to Mail Times		With regards to NAB closure in Jeparit
14/04/2023	Meeting with CEO to deliver review		Hard copy for file
14/04/2023 to 24/04/2023	Hospital/operation and recovery time		

Cr ALBRECHT, DEPUTY MAYOR

Date	Meeting	Location	Comments
28/3/2023	Rural Workforce Agency (RWAV)	Nhill	
02/4/2023	Cultural Awareness Training – Leadership	Horsham	Amazing training by Lissy Johns and proud Wotjobaluk woman Joanne Harrison Clarke. I would encourage all Councillors to attend.

	Wimmera		
40/04/2023	Town Strategy Masterclass – Spark Strategy & West Vic Business	Online	Thanks West Vic Business for the hopefully the first of more masterclasses.
04/04/2023	Nhill Community Plan & Economic Development Plan Consultation Session	Nhill	Thank you to those that attended and watched online.
05/04/2023	Council Briefing	Nhill	
05/04/2023	Council Meeting	Nhill	
12/04/2023	LGBTIQ+ Advisory Committee Meeting	Online	

Cr GERSCH

Date	Meeting	Location	Comments
29/03/2023	Karen Information RE Bottle Pickup		
31/03/2023	Wimmera Regional Roads Meeting		
01/04/2023	JP Training Update Revision		
04/04/2023	Nhill Community Meeting		
05/04/2023	Council Meeting		
12/04/2023	WWHS Community Information Session		
24/04/2023	Nhill Information Centre Volunteer		
25/04/2023	ANZAC Day 6:30am Service		
25/04/2023	ANZAC Day March and Service Laying of Wreaths		

Cr NELSON

Date	Meeting	Location	Comments
31/03/2023	Wimmera Southern Mallee LLEN HR Committee Meeting		
31/03/2023	Longerenong College Graduation Ceremony	Horsham	
03/04/2023	Meals on Wheels Deliveries	Dimboola	
04/04/2023	Mates Mentoring	DMSC Dimboola	

05/04/2023	Council Briefing Meeting	Nhill	
05/04/2023	Council Meeting	Nhill	
06/04/2023	Meals on Wheels Delivery	Dimboola	
20/04/2023	Shuddersome Tales of Poe	Dimboola	
22/04/2023	Print Museum	Dimboola	
22/04/2023	Steampunk Festival Volunteer	Dimboola	

Cr BYWATERS

Date	Meeting	Location	Comments
05/04/2023	Council Briefing and Council Meeting	Nhill	
12/04/2023	Steampunk Karen Costumes Workshop	Nhill	
12/04/2023	WWHS Community Information Session	Nhill	
12/04/2023	Hindmarsh Network Meeting	Dimboola	
14/04/2023	Steampunk Volunteer Meeting	Dimboola	
20/04/2023	Volunteer Steampunk	Dimboola	
21/04/2023	Volunteer Steampunk	Dimboola	
22/04/2023	Volunteer Steampunk	Dimboola	
23/04/2023	Volunteer Steampunk, pack up & clean-up	Dimboola	
24/04/2023	Volunteer Steampunk pack up	Dimboola	
25/04/2023	ANZAC Day	Dimboola	

Cr ISMAY

Date	Meeting	Location	Comments
28/03/2023	WMT Meeting	Warracknabeal	
28/03/2023	Rainbow Community Consultation		
28/03/2023	Rainbow Rises Events Meeting		
05/04/2023	Council Briefing Meeting	Nhill	
05/04/2023	Council Meeting	Nhill	

08/04/2023	Quambatook Tractor Pull		
17/04/2023	Rainbow Town Committee Meeting		
22/04/2023	Steampunk Festival	Dimboola	
23/04/2023	Inspection of Albacutya Bridge approaches		

7 CORRESPONDENCE

7.1 GENERAL CORRESPONDENCE

Responsible Officer: Chief Executive Officer

Attachment Number: 2

Introduction:

The following correspondence is attached for noting by Council.

Inwards:

- 2023/04/27 – Letter from CEO to Mayor Re: Contract Expiry

RECOMMENDATION:

That Council notes the attached correspondence.

MOVED: CRS R Ismay/D Nelson

That Council notes the attached correspondence.

CARRIED

Attachment Number: 2

8 PLANNING PERMITS

8.1 AMENDED APPLICATION TO PLANNING PERMIT PA1647-2019-A2 – USE AND DEVELOPMENT OF LAND – MINERAL EXTRACTION - EXPANSION OF EXISTING GYPSUM MINE – MINING LICENSE MIN5316 – AMENDMENT TO AMEND THE APPROVED PLANS FOR CONSTRUCTION OF A NEW BUILDING FOR THE STORAGE OF GYPSUM FOR THE EXISTING MINERAL EXTRACTION USE – KURNBRUNIN ROAD RAINBOW VIC 3424

Responsible Officer: Director Infrastructure Services
File: Planning – Applications
Assessment: 11680
Application No: **PA1647-2019-A2**
Applicant: Mr Nick Patterson, C/- Ms Kathryn Moreland, Entegra Signature Structures
Owner: A & T Gould Holdings Pty Ltd
Subject Land: Kurnbrunin Road Rainbow VIC 3424 (Crown Allotment 5 Parish of Kurnbrunin)
Proposal: Amended Planning Permit for the Use and development of land for Mineral Extraction to amend the approved plans for construction of a new building for the storage of gypsum for existing mineral extraction use, with amendments to the permit description and new conditions
Zoning & Overlays: Farming Zone (FZ)
Environmental Significance Overlay Schedule 6 (ESO6) – eastern part only
Bushfire Management Overlay (BMO) – small eastern part only
Land Subject to Inundation Overlay (LSIO)
Attachment Number: 3

Summary:

This report recommends that Council approve Amended Planning Permit PA1647-2019-A2 for the Use and development of land for Mineral Extraction to amend the approved plans for construction of a new building for the storage of gypsum and amendments to the permit description and new conditions, on the land at Kurnbrunin Road Rainbow VIC 3424 (Crown Allotment 5 Parish of Kurnbrunin), subject to conditions.

Background:

The site is currently used for Mineral Extraction under Mining Licence 5316 and other agricultural activities. Planning Permit PA1647-2019 was issued on 20 January 2020. An Amended Planning Permit PA1647-2019-A1 was issued on 6 February 2020 to include two additional conditions for the hours of operation in accordance with the work plan and truck movements to and from the site to occur weekdays and Saturdays between 8.00am and 6.00pm unless with the separate consent from Council.

Proposal Details:

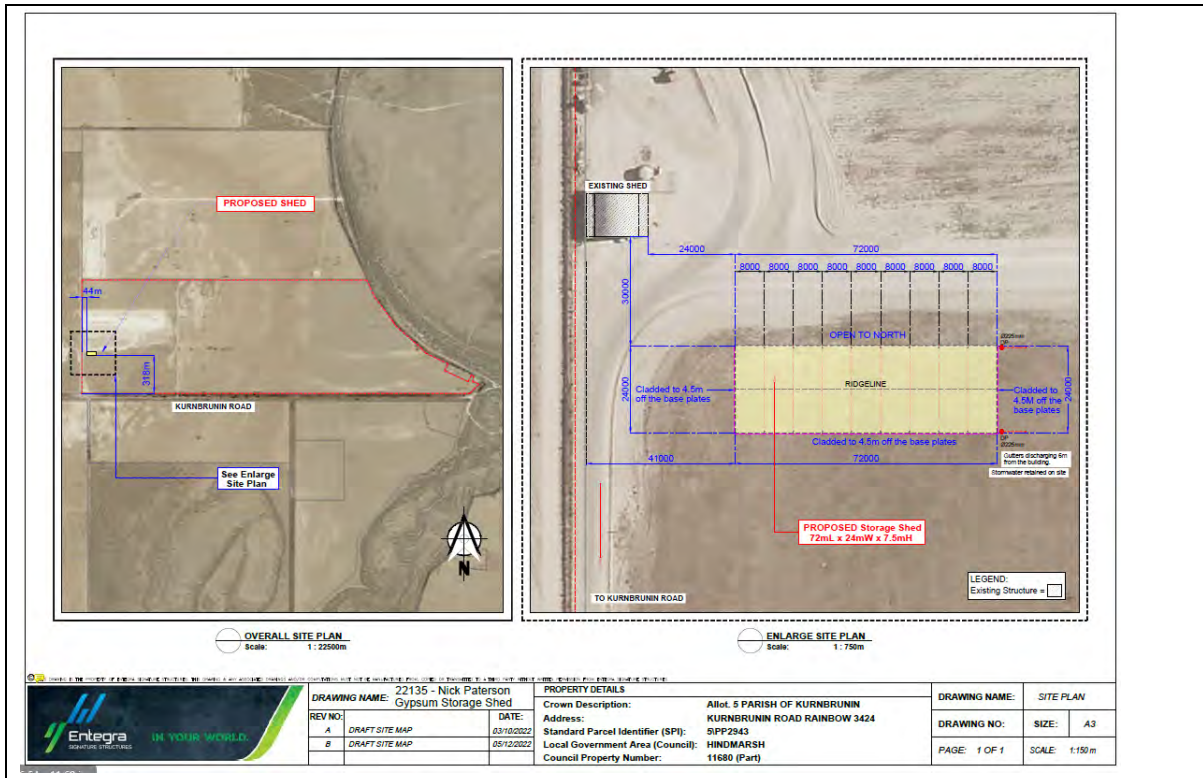
The application proposes to amend the approved plans for Planning Permit PA1647-2019-A1 for the construction of a new building for the storage of gypsum. The proposed building will be 72.0m long by 24.0m wide and 7.5m high. The building will have setbacks of 318.0m from the southern boundary to Kurnbrunin Road and 44.0m from the western side boundary. Trucks will use the existing internal access road for vehicle access to the proposed building and will have adequate clearance to enter and exit the site in a forward direction. The operator of the mine has described the proposal as follows:

'We produce the gypsum to meet the demand of our agricultural customers; farmers. Their demand is seasonal, primarily January to April. This is based on their cropping cycle and weather. Gypsum cannot be crushed, loaded and applied if it's wet, and if the paddocks are wet, so therefore we only have this window to produce and supply. When it does rain in these months, we have to shut down, as we cannot produce or load/supply wet gypsum. The storage shed will provide us an 'insurance policy' as such, so that when it does rain within our window (which it does) we can still at least supply, so long as the farmers are able to spread it on their paddocks.

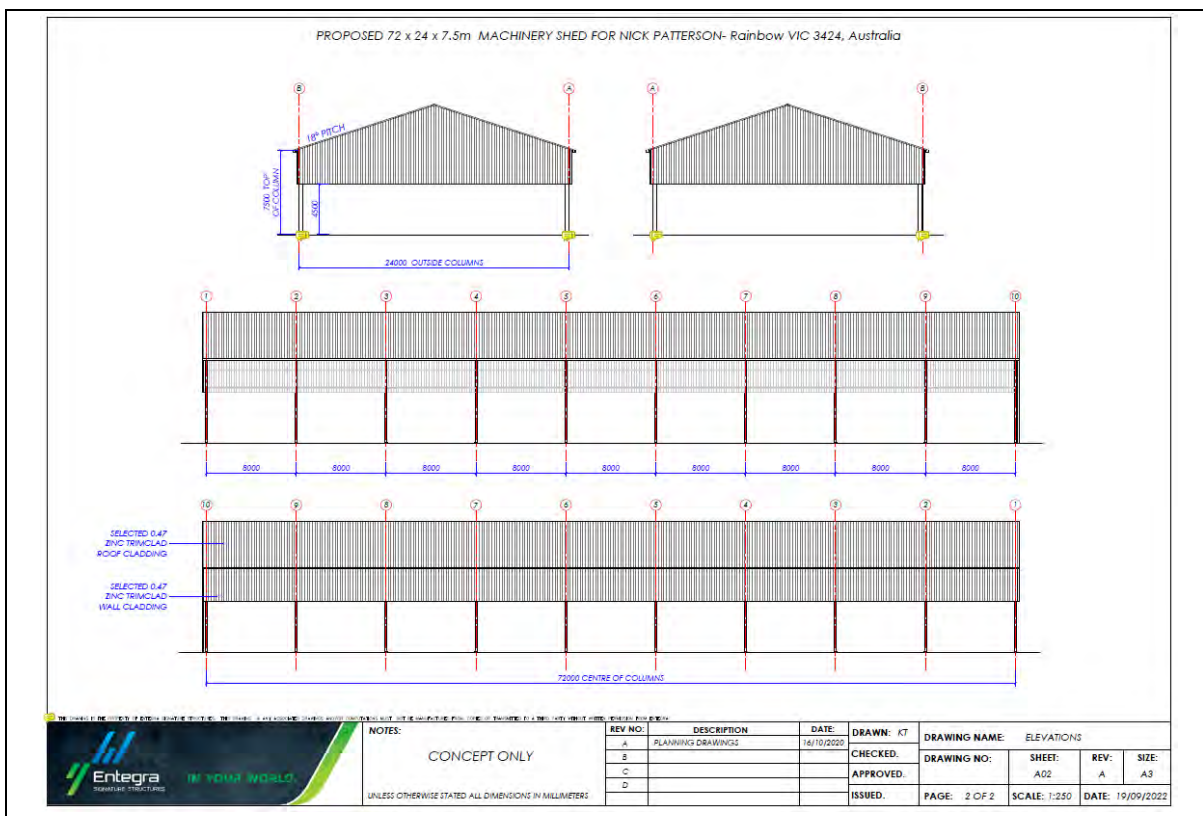
It also allows us to maintain a dry stockpile to ensure we can keep up with demand. If stockpiles get wet, we have to spend more time and resources to dry it out before loading it. Therefore, this again gives us more flexibility to meet demand within this short window.

This season is a great example of needing to keep up with demand. Due to the excessively wet winter, demand for gypsum has skyrocketed, however, the gypsum coming out from the ground is still wet. Had we had a storage shed, we could load from both it, and the freshly mined gypsum as it dries out.'

Proposed Site Plan and Elevations below:



	DRAWING NAME	22135 - Nick Paterson Gypsum Storage Shed		PROPERTY DETAILS	Allot. 5 PARISH OF KURNBRUNIN KURNBRUNIN ROAD RAINBOW 3424		DRAWING NAME	SITE PLAN		
	REV NO:	A	DRAFT SITE MAP	DATE:	03/10/2022	Address:	5/PP2943	DRAWING NO:	SIZE: A3	
	B	DRAFT SITE MAP	05/12/2022	Standard Parcel Identifier (SPI):	HINDMARSH	Local Government Area (Council):	11650 (Part)	PAGE:	1 OF 1	
							Council Property Number:	11650 (Part)	SCALE:	1:150m



Requirement for Amended Permit:

The subject land is located within the Farming Zone, the Environmental Significance Overlay Schedule 6, the Bushfire Management Overlay (BMO) and the Land Subject to Inundation Overlay (LSIO).

An amended planning permit is required to construct buildings and works for a Section 2 Use under Clause 35.07-4 of the FZ and Clause 44.04-2 of the LSIO pursuant to Section 72 of the *Planning and Environment Act 1987*. An amended planning permit is not required under the ESO6 and BMO as there are no buildings and works proposed in those affected areas on the site and no permit triggers.

Restrictive Covenant or Section 173 Agreement:

The subject site is not burdened by a Restrictive Covenant or Section 173 Agreement.

Cultural Heritage Management Plan (CHMP):

The proposal is exempt from requiring a CHMP pursuant to the *Aboriginal Heritage Regulations 2018* as the site is not within an Aboriginal Cultural Heritage Sensitivity Area.

Subject site & locality:

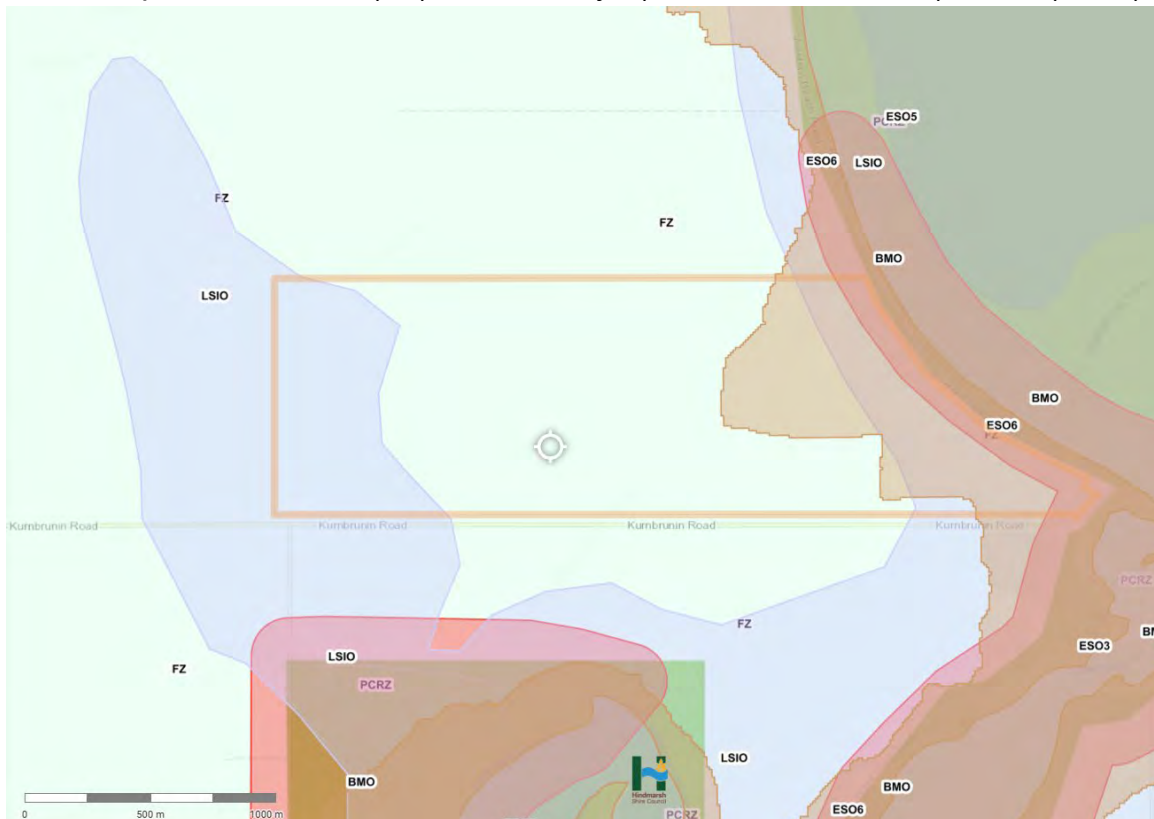
The subject land is located on the northern side of Kurnbrunin Road in Rainbow. The site is generally a rectangular shaped allotment with an angled eastern boundary and has a total area of approximately 257ha. The site is currently used for Mineral Extraction under Mining Licence 5316 and other agricultural activities. Existing vehicle access to the site is from Kurnbrunin Road to the south. The site is surrounded by broad scale farming land. Lake Albacutya is located to the east of the site on the eastern side of Western Beach Road.

The site and surrounding area are within the Farming Zone (FZ) and are also partly affected by the Environmental Significance Overlay Schedule 6 (ESO6), the Bushfire Management Overlay (BMO) and the Land Subject to Inundation Overlay (LSIO). The proposed building will be located within the area affected by the LSIO but will not be within the area affected by the ESO6 and BMO.

Aerial Photo of the site and the surrounding area (POZI) below:



Aerial Map with the Zone (FZ) and Overlays (ESO6, BMO & LSIO) below (POZI):



Consultation:

Consultation was undertaken and included:

- A request for further information was sent to the applicant on 22 November 2022.

- A response to the further information including amended plans was received on 23 January 2023.
- Following a phone discussion with the applicant, additional information was received from the applicant on 17 February 2023 about the demand and supply of the gypsum.

Section 52 Notice of application:

The application has been advertised pursuant to Section 52 of the *Planning and Environment Act 1987*, by:

- Sending notices to the owners and occupiers of the adjoining and adjacent land.
- Placing one public notice on the front boundary of the site to Kurnbrunin Road.
- Placing a public notice on Council's website.

A statutory declaration form for the advertising signs was submitted by the applicant. The notification requirements have been carried out correctly.

Council received one submission from a neighbour confirming that they are not objecting to the shed to store gypsum and raised issues about safety and road maintenance by Council, which were responded to separately by the Manager of Development.

Council has not received any objections to date.

Referrals:

External Referrals/Notices were required by the Planning Scheme:

Section 55 Referrals

DEECA - Heritage Victoria:

Comments provided – No records of any Victorian Heritage Inventory sites, places in the Victorian Heritage Register or places on the National Heritage List.

DEECA - Earth Resources Regulation:

No response was received within the required timeframe.

Wimmera CMA:

Does not object to the granting of the permit to the proposal as submitted. No conditions are required.

Section 52 Referrals

Nil

Internal Referrals:

Engineering - Comments provided, and conditions recommended as detailed below.

We have conducted a site visit for the new construction of shed at Kurnbrunin Rd Rainbow.

Access:

Access to the approved development on the site must be from the existing crossover on Kurnbrunin Road.

Vehicles must enter and exit the site in a forward direction at all times.

The internal access roads must be maintained to the satisfaction of the Responsible Authority.

Drainage:

a. The LPD is to be made away from any structure and Storm water should be collected from the shed and harvested into the rainwater tanks with overflow directed, downhill and away from the structure.

b. LPD can be applied with the building permit application.

Building:

Comments provided:

A Building Permit will be required for the construction of the shed.

Planning Scheme:

Planning Scheme Requirements:

Municipal Planning Strategy (MPS)

The following relevant Clauses in the MPS have been considered for the application.

Clause 02.02 Vision

Clause 02.03 Strategic Directions

Clause 02.03-4 Natural Resource Management

Clause 02.03-6 Economic Development

Planning Policy Framework (PPF)

The following relevant Clauses in the PPF have been considered for the application.

Clause 11.01-1S Settlement

Clause 11.01-1R Settlement – Wimmera Southern Mallee

Clause 11.01-1L Hindmarsh

Clause 11.03-6S Regional and local places

Clause 14.01-1S Protection of agricultural land

Clause 14.01-2S Sustainable agricultural land use

Clause 15.01-6S Design for rural areas

Clause 19.03-2S Infrastructure design and provision

Planning Response:

The proposal will allow for increased productivity of the existing mining use on this part of the subject land. The proposal will not result in the loss of any agricultural land and will be protect and enhance valuable agricultural land and sustainable agricultural uses within the area. The proposal is unlikely to create any land use conflicts with surrounding agricultural land uses.

The proposal will comply with the relevant provisions of the MPS and PPF subject to conditions.

Zoning Provisions

Clause 35.07 Farming Zone (FZ)

35.07-1 Table of Uses

A permit is not required for the use of Mineral Extraction as this is an existing Section 2 Use (Permit required) under this Clause.

35.07-4 Buildings and works

A permit is required to construct or carry out any of the following:

- A building or works associated with a use in Section 2 of Clause 35.07-1.
- A building which is within any of the following setbacks:
 - The setback from any other road or boundary specified in a schedule to this zone.
 - The setback from a dwelling not in the same ownership specified in a schedule to this zone.

35.07-6 Decision Guidelines

Before deciding on an application to use or subdivide land, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate, matters under the following relevant headings:

- General issues
- Agricultural issues and the impacts from non-agricultural uses
- Environmental issues
- Design and siting issues

Schedule to the Farming Zone

There are no relevant permit triggers in the Schedule.

Planning Response:

The proposed building to be used for the storage of gypsum will allow for increased productivity of the existing mining use on this part of the subject land. The proposal will not result in the loss of any agricultural land. The existing agricultural uses will be retained, and the proposal will not have adverse impacts on agricultural land and sustainable agricultural uses within the area. The proposal is unlikely to create any land use conflicts with surrounding agricultural land uses. The proposal is consistent with the purpose and the relevant decision guidelines of the Zone.

Overlay Provisions

Clause 42.01 Environmental Significance Overlay Schedule 6 (ESO6)

No permit is required under the ESO6 as no building and works are within the area affected by the ESO6.

Clause 44.04 Land Subject to Inundation Overlay (LSIO)

44.04-2 Buildings and works

A permit is required to construct a building or to construct or carry out works that are within the LSIO.

44.04-8 Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

Schedule to the LSIO

There are no exemptions from a permit under the Schedule to the LSIO.

Planning Response:

The Wimmera CMA have provided referral comments and have advised they do not object and have not required any conditions. The proposal will not create any adverse potential for flood risk to life, health and safety associated with the development. The development is unlikely to redirect or obstruct any floodwater, stormwater or drainage water. An additional condition is required to ensure the drainage is appropriately managed and discharged to the legal point of discharge.

Clause 44.06 Bushfire Management Overlay (BMO)

No permit is required under the BMO as there are no buildings and works for Industry (which includes Mineral Extraction) within the area affected by the BMO.

Particular Provisions

Clause 52.06 Car Parking

52.06-2 Provision of car parking spaces

Before an increase in the floor area or site area of an existing use increases, the number of car parking spaces required under Clause 52.06-5 must be provided to the satisfaction of the responsible authority.

52.06-6 Number of car parking spaces required for other uses

Where a use of land is not specified in Table 1 or where a car parking requirement is not specified for the use in another provision of the planning scheme or in a schedule to the Parking Overlay, before a new use commences or the floor area or site area of an existing use is increased, car parking spaces must be provided to the satisfaction of the responsible authority. This does not apply to the use of land for a temporary portable land sales office located on the land for sale.

Planning Response:

The proposal does not generate any additional demand for car parking as the building will be used for the storage of gypsum in association with the existing use of Mineral Extraction on the land. There is no increase in staff and no visitors to the site that may require car parking on the site under Clause 52.06-6. The access to the site from the existing crossover and access roads will be managed by additional conditions to ensure the access is constructed and maintained to the required standards. The proposal therefore complies with this Clause with conditions.

General Provisions

Clause 65 - Decision Guidelines

Because a permit can be granted does not imply that a permit should or will be granted. The responsible authority must decide whether the proposal will produce acceptable outcomes in terms of the decision guidelines of this clause.

65.01 Approval of an application or plan

Before deciding on an application or approval of a plan, the Responsible Authority must consider, relevant matters, as appropriate.

Planning Response:

The proposal complies with the MPS and PPF as discussed above. The proposal will not adversely impact the environment, human health, and the amenity of the area. The proposal will not have flooding impacts. The proposal will enable the orderly planning of the area. The proposal, therefore, complies with the relevant decision guidelines of Clause 65.

Discussion:

The construction of the proposed building for the storage of gypsum will be associated with the existing mining use of the land and will not result in the loss of any agricultural land. The potential impact of any earthworks will be managed by conditions to prevent changes to drainage patterns and other relevant drainage conditions required by Council's Engineering team. The proposal will comply with the relevant planning policies in the MPS and PPF, the relevant decision guidelines of the FZ, the LSIO and Clause 65.

The proposal should therefore be approved, and a Planning Permit is issued subject to conditions outlined below.

Strategic, Statutory and Procedural Requirements:

The proposal is consistent with the Municipal Planning Strategy and the Planning Policy Framework, the Farming Zone, the Land Subject to Inundation Overlay and Clause 65 Decision Guidelines.

Report to Council:

The Director Infrastructure Services advises that all obligations of Council (strategic, statutory, and procedural) have been addressed and discharged in this planning application.

Processing Times:

26/10/2022	Application submitted
15/11/2022	Fee paid
22/11/2022	Further information requested
23/01/2023	Response to further information and amended plans received
17/02/2023	Additional further information received
23/02/2023	External referrals and internal referrals sent
24/02/2023	Advertising directions and letters sent.
27/02/2023	Public notice erected on site
02/03/2023	Response from Wimmera CMA received
05/03/2023	Submission received from adjacent owner
09/03/2023	Response received from Engineering
15/03/2023	Response from Heritage Victoria received
16/03/2023	Statutory declaration form returned and notification period ended
17/03/2023	Email sent to submitter requesting confirmation they are not objecting and providing a response to other issues raised
17/04/2023	Follow up email sent to the submitter requesting conformation of no objection to application
18/04/2023	Submitter formally confirmed in writing of no objection to the application
03/05/2023	The report is being presented to Council at the meeting held 03 May 2023 (76 statutory days)

The statutory processing time requirements of the *Planning and Environment Act 1987* have not been satisfied in this instance.

Link to Council Plan:

Competitive and Innovative Economy: The application increases the accessibility to agricultural material during variable weather events.

Financial Implications:

The only financial implications to Council relate to the general planning administration which is budgeted for in the recurrent operational budget.

Risk Management Implications:

There are no risks to be managed by Council, except if the Amended Planning Permit is not approved, Council could be seen to be holding up development within the municipality.

Conflict of Interest:

Under section 130(2) of the *Local Government Act 2020*, officers providing advice to Council must disclose any conflict of interest, including the type of interest.

Officer Responsible – Ms Jessie Holmes, Director Infrastructure Services

In providing this advice as the Officer Responsible, I have no disclosable interests in this report.

Author: Bernadine Pringle, Consultant Town Planner.

In providing this advice as the Author, I have no disclosable interests in this report.

Communications Strategy:

Advise the applicant of Council's decision.

Next Steps:

Issue the Planning Permit and endorse the plans if approved.

RECOMMENDATION:

That Council approves Amended Planning Permit PA1647-2019-A2 for the Use and development of land – mineral extraction – expansion of existing gypsum mine – mining license - MIN5316, to amend the approved plans for construction of a new building for the storage of gypsum for existing mineral extraction use, with amendments to the permit description and new conditions, on the land at Kurnbrunin Road Rainbow VIC 3424 (Crown Allotment 5 Parish of Kurnbrunin), subject to the following amended permit description and amended conditions:

Amended Planning Permit Description:

Use and development of land – mineral extraction – expansion of existing gypsum mine – mining license - MIN5316 and including the construction of a new building for the storage of gypsum

Amended Conditions:

General

1. *The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.*

Amenity:

2. *The use and development must be managed so that the amenity of the area is not detrimentally affected, through the:*
 - (a) *Transport of materials, goods or commodities to or from the land;*
 - (b) *Appearance of any building, works or materials;*
 - (c) *Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil;*
 - (d) *Presence of vermin; or*
 - (e) *In any other way.*
3. *The site must be kept in an ordered and tidy state and its appearance must not prejudicially affect the amenity of the area.*

4. **Hours of operation on-site are to be in accordance with the work plan (risk based work plan v.2.0) submitted with the application - i.e. weekdays and Saturdays between 8.00 am and 6.00 pm.**
5. **Truck movements to and from the site are to occur weekdays and Saturdays between 8.00am and 6.00pm. Any variation to these hours requires the separate consent of the Responsible Authority.**

Permit Expiry:

6. **This permit will expire if one of the following circumstances applies:**
 - (a) **The development is not started within two years of the date of this permit.**
 - (b) **The development is not completed within four years of the date of this permit.**
 - (c) **The use is not commenced within five years of the date of this permit**

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires, or:

- (a) **Within six months afterwards for commencement, or**
- (b) **Within twelve months afterwards for completion.**

Access:

7. **Access to the approved development on the site must be from the existing crossover on Kurnbrunin Road.**
8. **Vehicles must enter and exit the site in a forward direction at all times.**
9. **The internal access roads must be constructed and maintained to the satisfaction of the Responsible Authority.**

Drainage:

10. **Storm water from the development must be collected and directed away from the development with any overflow directed, downhill and away from the development to the legal point of discharge to the satisfaction of the Responsible Authority.**

-END OF CONDITIONS-

Notes:

Wimmera CMA

The 1% AEP flood is not the maximum possible flood. A flood larger in height and extent, than the 1% AEP flood, may occur in the future.

It is important to note that the flood extent information currently available for this property is of low reliability as it was derived from the Flood Data Transfer flood mapping project in 1999. The topography of the survey was coarse and minimal calibration was undertaken.

Should you require further information please contact Wimmera CMA Floodplain Officer, on (03) 5382 1544. To assist Wimmera CMA in handling any enquiries please quote WCMA-F-2023-00033 in your correspondence with us.

Drainage

The Legal Point of Discharge (LPD) can be applied for with the building permit application.

THIS PERMIT HAS BEEN AMENDED AS FOLLOWS:

<i>Date of amendment</i>	<i>Brief description of amendment</i>
<i>05/02/2020</i>	<i>Two additional conditions to be included being:</i> <i>(4) Hours of operation on-site are to be in accordance with the work plan (risk-based work plan v.2.0) submitted with the application - i.e. weekdays and Saturdays between 8.00 am and 6.00 pm.</i> <i>(5) Truck movements to and from the site are to occur weekdays and Saturdays between 8.00am and 6.00pm. Any variation to these hours requires the separate consent of the Responsible Authority.</i>
<i>03/05/2023</i>	<i>Amended permit description to include reference to the construction of a new building for storage of gypsum, additional Conditions 7 to 10 for access and drainage and amended plans (Sheets 1 to 3) for the construction of a new building for the storage of gypsum for the existing mineral extraction use pursuant to Section 74 of the Planning and Environment Act 1987.</i>

Amended Plans to be endorsed:

The amended plans to be endorsed are referred to as Site Plan Rev B dated 05/12/2022, Layout Plan Rev A dated 19/09/2022 and Elevations Rev A dated 19/09/2022 drawn by Entegra Signature Structures and are to be endorsed as Sheets 1 to 3 to form part of the amended planning permit.

MOVED: CRS R Ismay/R Gersch

That Council approves Amended Planning Permit PA1647-2019-A2 for the Use and development of land – mineral extraction – expansion of existing gypsum mine – mining license - MIN5316, to amend the approved plans for construction of a new building for the storage of gypsum for existing mineral extraction use, with amendments to the permit description and new conditions, on the land at Kurnbrunin

Road Rainbow VIC 3424 (Crown Allotment 5 Parish of Kurnbrunin), subject to the following amended permit description and amended conditions:

Amended Planning Permit Description:

Use and development of land – mineral extraction – expansion of existing gypsum mine – mining license - MIN5316 and including the construction of a new building for the storage of gypsum

Amended Conditions:

General

- 1. The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.**

Amenity:

- 2. The use and development must be managed so that the amenity of the area is not detrimentally affected, through the:
 - (a) Transport of materials, goods or commodities to or from the land;**
 - (b) Appearance of any building, works or materials;**
 - (c) Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil;**
 - (d) Presence of vermin; or**
 - (e) In any other way.****
- 3. The site must be kept in an ordered and tidy state and its appearance must not prejudicially affect the amenity of the area.**
- 4. Hours of operation on-site are to be in accordance with the work plan (risk based work plan v.2.0) submitted with the application - i.e. weekdays and Saturdays between 8.00 am and 6.00 pm.**
- 5. Truck movements to and from the site are to occur weekdays and Saturdays between 8.00am and 6.00pm. Any variation to these hours requires the separate consent of the Responsible Authority.**

Permit Expiry:

- 6. This permit will expire if one of the following circumstances applies:
 - (a) The development is not started within two years of the date of this permit.**
 - (b) The development is not completed within four years of the date of this permit.**
 - (c) The use is not commenced within five years of the date of this permit****

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires, or:

- (a) Within six months afterwards for commencement, or**
- (b) Within twelve months afterwards for completion.**

Access:

7. ***Access to the approved development on the site must be from the existing crossover on Kurnbrunin Road.***
8. ***Vehicles must enter and exit the site in a forward direction at all times.***
9. ***The internal access roads must be constructed and maintained to the satisfaction of the Responsible Authority.***

Drainage:

10. ***Storm water from the development must be collected and directed away from the development with any overflow directed, downhill and away from the development to the legal point of discharge to the satisfaction of the Responsible Authority.***

-END OF CONDITIONS-

Notes:

Wimmera CMA

The 1% AEP flood is not the maximum possible flood. A flood larger in height and extent, than the 1% AEP flood, may occur in the future.

It is important to note that the flood extent information currently available for this property is of low reliability as it was derived from the Flood Data Transfer flood mapping project in 1999. The topography of the survey was coarse and minimal calibration was undertaken.

Should you require further information please contact Wimmera CMA Floodplain Officer, on (03) 5382 1544. To assist Wimmera CMA in handling any enquiries please quote WCMA-F-2023-00033 in your correspondence with us.

Drainage

The Legal Point of Discharge (LPD) can be applied for with the building permit application.

THIS PERMIT HAS BEEN AMENDED AS FOLLOWS:

Date of amendment	Brief description of amendment
05/02/2020	Two additional conditions to be included being: (4) Hours of operation on-site are to be in accordance with the work plan (risk-based work plan v.2.0) submitted with the application - i.e. weekdays and Saturdays between 8.00 am and 6.00 pm.

- (5) Truck movements to and from the site are to occur weekdays and Saturdays between 8.00am and 6.00pm. Any variation to these hours requires the separate consent of the Responsible Authority.**

03/05/2023

Amended permit description to include reference to the construction of a new building for storage of gypsum, additional Conditions 7 to 10 for access and drainage and amended plans (Sheets 1 to 3) for the construction of a new building for the storage of gypsum for the existing mineral extraction use pursuant to Section 74 of the Planning and Environment Act 1987.

Amended Plans to be endorsed:

The amended plans to be endorsed are referred to as Site Plan Rev B dated 05/12/2022, Layout Plan Rev A dated 19/09/2022 and Elevations Rev A dated 19/09/2022 drawn by Entegra Signature Structures and are to be endorsed as Sheets 1 to 3 to form part of the amended planning permit.

CARRIED

Attachment Number: 3

8.2 PLANNING PERMIT APPLICATION PA1803-2022 – USE AND DEVELOPMENT OF A PLACE OF ASSEMBLY (SILO ART TRAIL VIEWING PLATFORM, AMENITIES BUILDING AND CAR PARK) – 13 BOW STREET RAINBOW VIC 3424

Responsible Officer:	Director Infrastructure Services
File:	Planning – Applications
Assessment:	2800
Application No:	PA1803-2022
Applicant:	Mr Simon Landrigan, Hindmarsh Shire Council, C/- Mr Lindsay Douglas, Dig Design
Owner:	Llewellyn Schilling, with a Caveat for Hindmarsh Shire Council to Lease the land
Subject Land:	13 Bow Street Rainbow VIC 3424 (Crown Allotment 8F6 Township of Rainbow Parish of Werrap)
Proposal:	Use and development of a Place of Assembly (Silo Art Trail Viewing Platform, Amenities Building and Car Park)
Zoning & Overlays:	Township Zone (TZ) No Overlays
Attachment Number:	4

Summary:

This report recommends that Council approve Planning Permit Application PA1803-2022 for the Use and development of a Place of Assembly (Silo Art Trail Viewing Platform, Amenities Building and Car Park), on the subject land at 13 Bow Street Rainbow VIC 3424 (Crown Allotment 8F6 Township of Rainbow Parish of Werrap), subject to standard conditions.

Background:

The site contains two adjoining Grain Silos, a shed and water tank, and scattered trees. The site has been previously used for grain storage within the Silos, but these activities have since ceased on the land.

Proposal Details:

The application proposes the use and development of the land for a Place of Assembly for a Silo Art Trail Viewing Platform, Amenities Building and Car Park. The existing Grain Silos will be redeveloped into the viewing platform buildings and the amenities building and car park will be for visitors/tourists to utilise while visiting the site.

Amended plans were received on 25 January 2023 and 15 February 2023 in response to the requested further information for the application.

The maximum number of patrons at any given time will be up to 55. The site plan includes 17 car parking spaces and has provision for a bus turn around area on the site. A range for hours of operation is also sought, though it is expected that the Silo will only be open for a limited number of hours within this range. The proposed range of hours is Sunday through Thursday 7am - 10pm and Friday through Saturday 7am – Midnight.

The existing Redgum tree in the centre of the proposed parking area will be retained. An Arborist Report from Nelson’s Tree Services was submitted as part of the response to the further information and the plans were amended as a result of the arborist report to relocate the car park to be further north and to encroach the Tree Protection Zone (TPZ) of the tree by less than 10%.

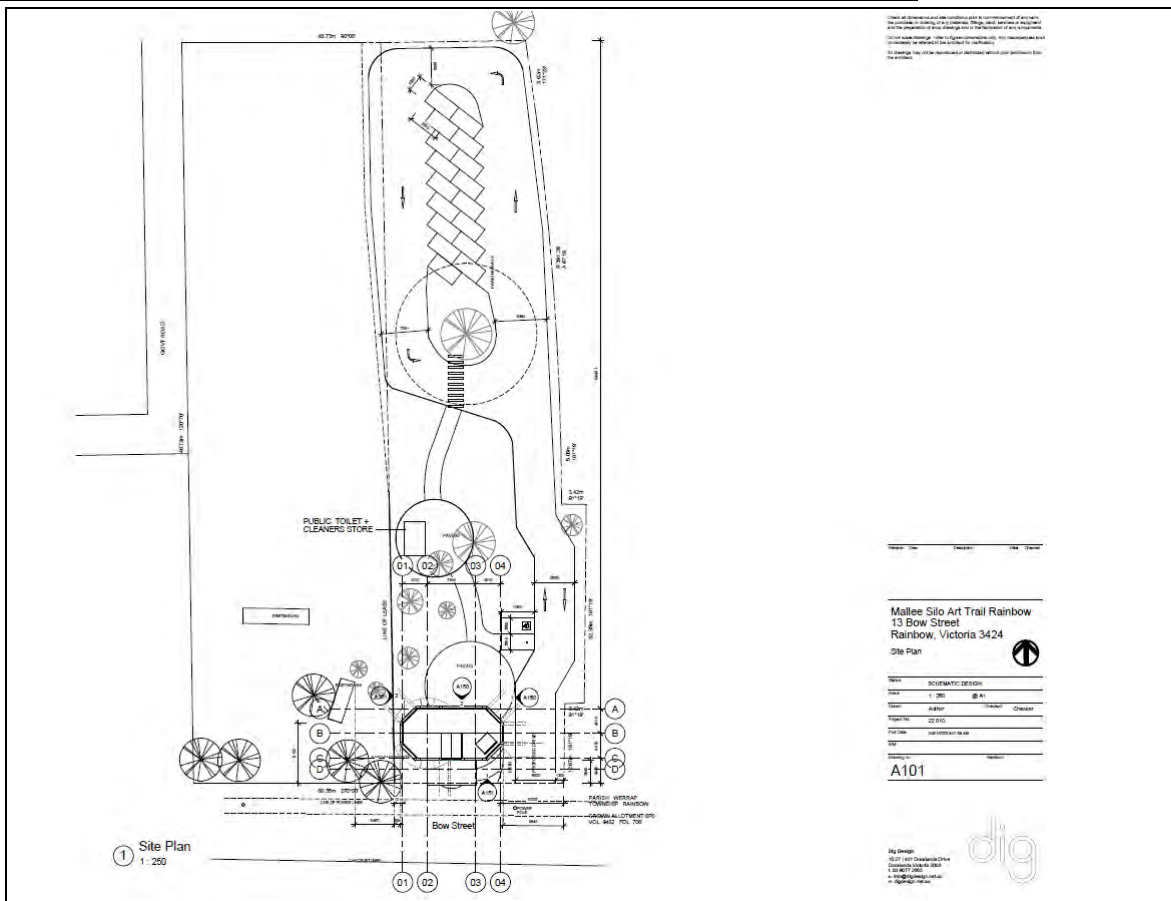
The applicant has provided details about the project including the following:

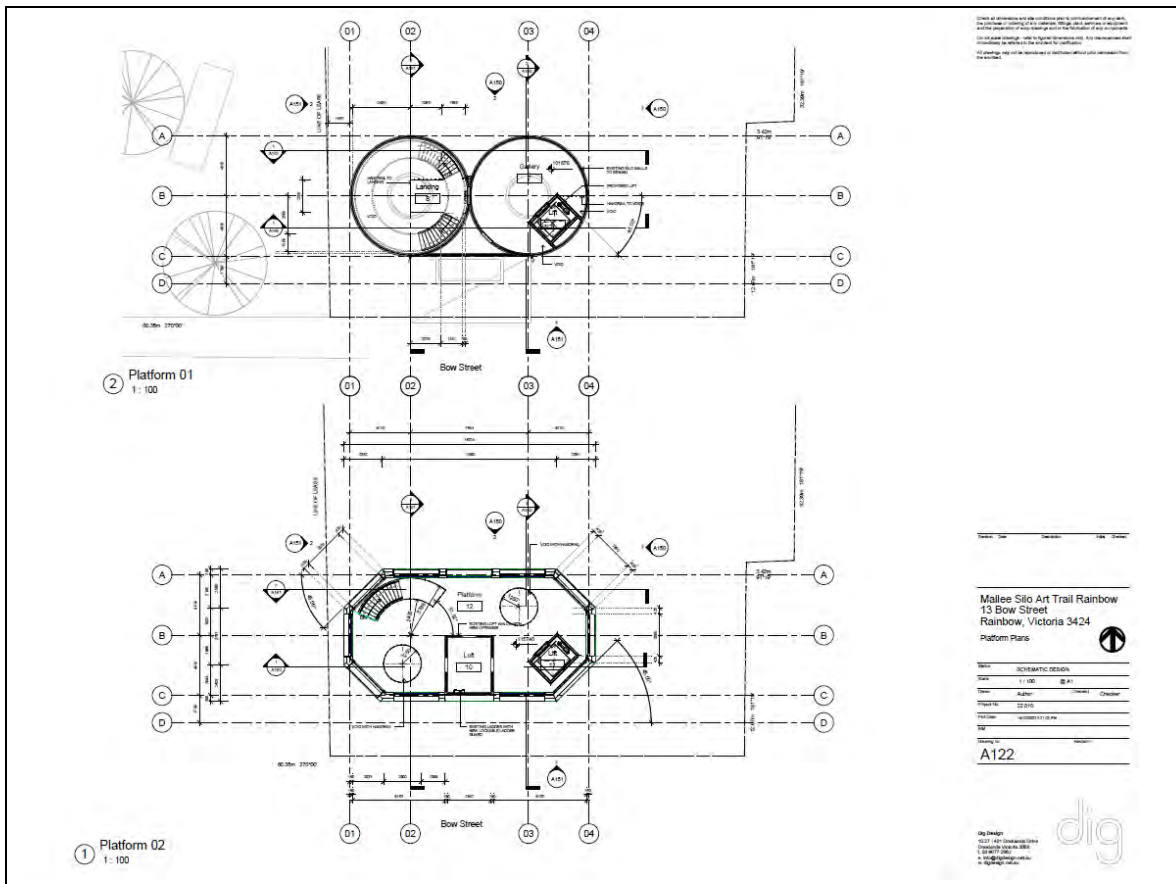
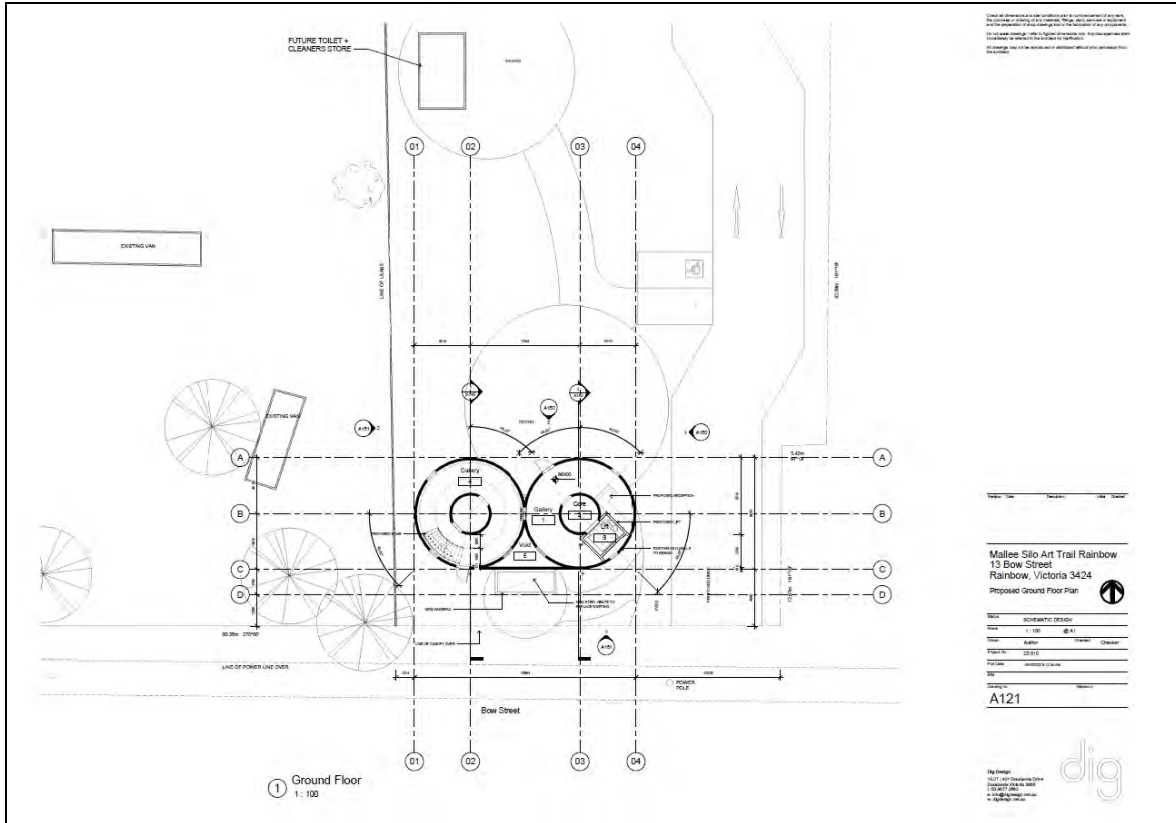
‘This project will see a 100 year old concrete grain silo remodeled as an interactive tourist attraction with internal access and viewing platform.

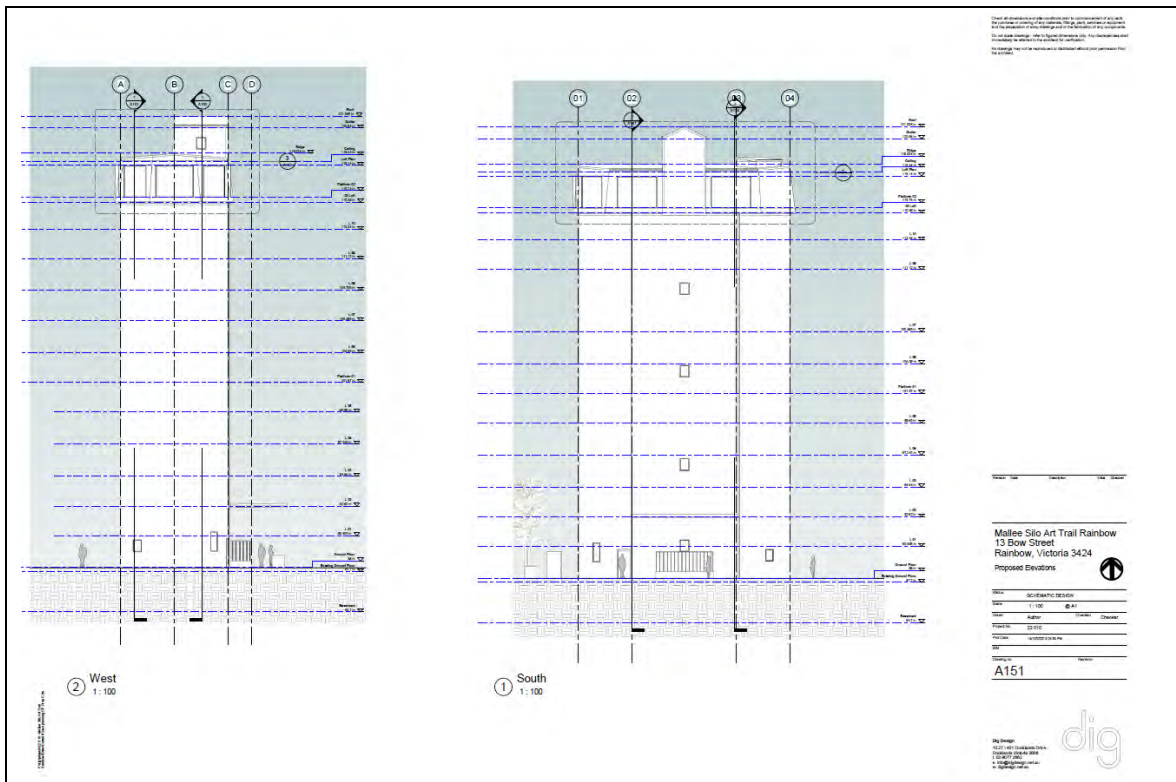
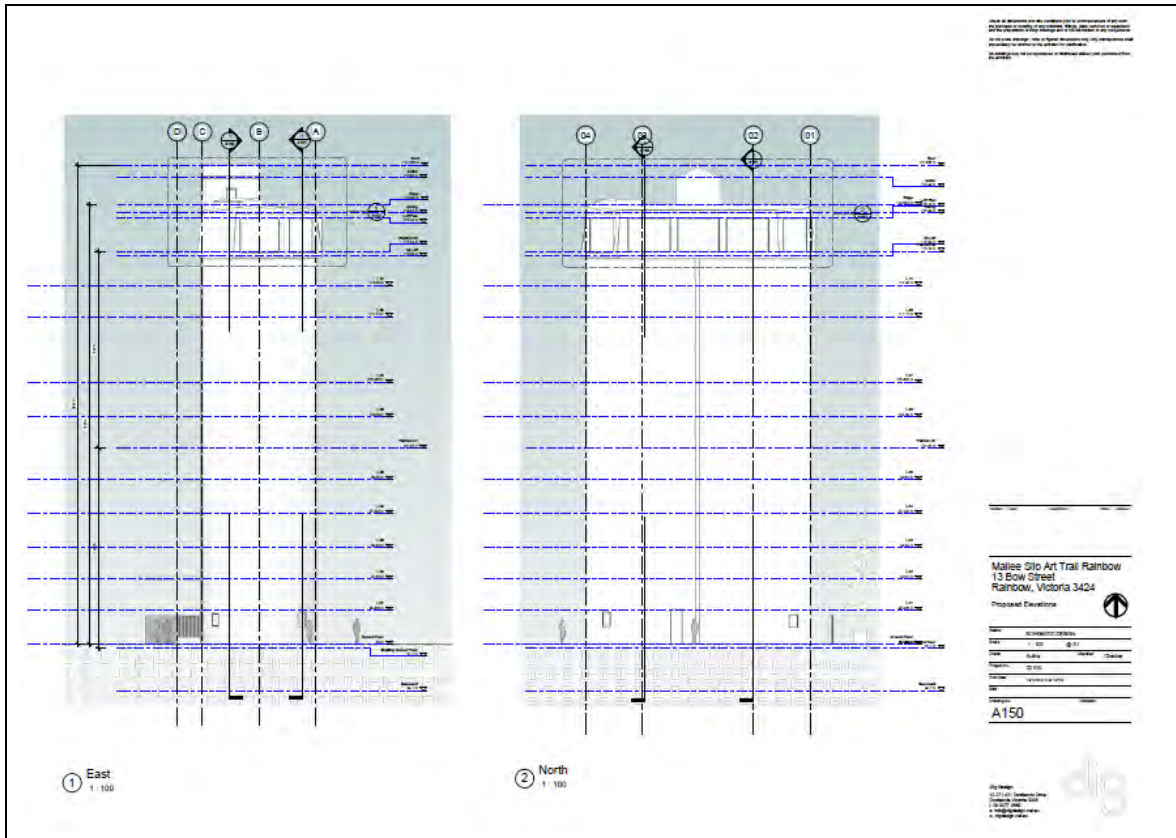
In recent years Silo Art has captured the imagination of travelers, with the Silo Art Trail (www.siloarttrail.com) in northwest Victoria earning international recognition. The popular tourist trail provides visitors with Australia’s largest outdoor gallery, where huge concrete grain silos are transformed into large scale art activations.

In partnership with the Victorian Government, Hindmarsh Shire Council is progressing with a new project in Rainbow (4.5 hours northwest of Melbourne) which is set to take the outdoor gallery experience to the next level. In addition to the traditional exterior art activation, the Silo will include both an elevator and a stairway for internal access leading to a viewing platform atop the 34 metre high structure. It is proposed that the internal walls of the Silo Bins will also feature art activations, which will be viewed from either the elevator, stairway or both. The highlight of the experience will be the enclosed viewing platform at the top of the Silo, which will provide 360 degree views across the expansive Wimmera Mallee plains.’

Site Plan, Ground Floor Plan, Platform Plans and Elevations below:







Requirement for Permit:

The subject land is located within the Township Zone (TZ). There are no Overlays affecting the subject land.

A planning permit is required for the use and development of a Place of Assembly under Clause 32.05-2 (Use) and Clause 32.05-10 (Buildings and works) of the TZ.

Restrictive Covenant or Section 173 Agreement:

The subject site is not burdened by a Restrictive Covenant or Section 173 Agreement.

Cultural Heritage Management Plan (CHMP):

The site is not within an Aboriginal Cultural Heritage Sensitivity Area. The proposal is exempt from requiring a CHMP pursuant to the *Aboriginal Heritage Regulations 2018*.

Subject site & locality:

The subject land is located on the northern side of Bow Street in Rainbow. The subject site is generally rectangular in shape with a frontage of 63.5m to Bow Street, a depth of approximately 120.70m, an irregularly aligned eastern boundary and a total area of 7441m².

The site is occupied by two Grain Silos, an existing shed and water tank, and scattered trees. The shed and water tank will be removed. Vehicle access to the site is from an existing crossover on Bow Street which will be upgraded. The site adjoins a railway line to the east and residential uses to the west, to the south on the southern side of Bow Street and further east.

Hindmarsh Shire Council is leasing approximately 3730m² of the eastern half of the site from the owner for the Silo Art Project to enable the ongoing use and development of the land as a Place of Assembly.

Aerial Map of the site and surrounds (POZI) below:



Street view of the site (Google Maps)



Consultation:

Consultation was undertaken with the applicant and included:

- A request for further information on 25 November 2022 was sent to the applicant.
- Amended plans were received by Council's Planners on Council on 25 January 2023.
- An arborist report was received by Council's Planners on 30 January 2023.
- Amended plans were received by Council's Planners on 15 February 2023 to address the outstanding information required.

Section 52 Notice of application:

The application has been advertised pursuant to Section 52 of the *Planning and Environment Act 1987*.

The advertising has been carried out as required. As a result of the advertising, no objections have been received.

One enquiry was received about planting trees which has been responded to separately by the applicant.

Referrals:

Section 52 Referrals:

GWM Water

Comments provided - No objection to the planning permit being issued.

VicTrack

VicTrack who own the adjoining railway land to the east have provided comments and recommended conditions be applies to the permit to protect railway land, infrastructure and services.

The conditions recommended by VicTrack are reasonable and will be included as part of the decision.

Department of Transport and Planning (DTP)

DTP on behalf of Head, Transport Victoria, has advised it does not object to the grant of a permit subject to conditions being included in the planning permit.

The conditions recommended by DTP are reasonable and will be included as part of the decision.

Internal Referrals:

Engineering:

We have conducted a site visit on 21/02/2023 and 07/03/2023 at 13 Bow St Rainbow.

Please find attached Engineering requirements / comments:

Access:

The existing location of the crossover must be upgraded / constructed as per IDM SD-255 standard (see attached) at the South side of the Lot on Bow St (pasted below) to the satisfaction of the Responsible Authority.

The vehicle crossing must be constructed at the applicant's expense to provide ingress and egress to the site to the satisfaction of the Responsible Authority.

Vehicles must enter and exit the site in a forward direction at all times.

Car Parking:

All patrons attending the premise must park in the allocated parking bays on the site.

The internal access roads and parking areas must be maintained to the satisfaction of the Responsible Authority.

Note:

A consent to works within road reserve permission is required prior to construction of crossover.

<https://www.hindmarsh.vic.gov.au/register-for-permits>

Drainage:

a. All stormwater and surface water discharging from the site for the approved development must be directed to the legal point of discharge (LPD) being the Southern side of the property to the open table drain in the Bow Street road reserve to the satisfaction of the Responsible Authority.

b. LPD can be applied with the building permit application.

Environmental Health:

Comments and conditions required.

Agreement with GWM Water for sewerage

Prior to the commencement of the development hereby permitted, the owner shall enter into and comply with an agreement with Grampians Wimmera Mallee Water for the provision of sewerage.

Commercial Premises

Commercial Waste Collection

Unless with the prior written consent of the Responsible Authority, the commercial waste collection must not occur outside the following hours to the satisfaction of the Responsible Authority:

- *For one collection per week, between 6.30am – 8pm Monday to Saturday and between 9am – 8pm Sundays and public holidays.*
- *For two or more collections per week, between 7am – 8pm Monday to Saturday and between 9am – 8pm Sundays and public holidays.*

Building:

Comments provided.

Building Permit required.

Planning Scheme:

Planning Scheme Requirements:

Municipal Planning Strategy (MPS)

The following relevant Clauses in the MPS have been considered for the application.

Clause 02.02 Vision

Clause 02.03 Strategic directions

Clause 02.03-2 Environmental and landscape values

Clause 02.03-5 Built environment and heritage

Clause 02.03-6 Economic development

Clause 02.03-8 Infrastructure

Planning Policy Framework (PPF)

The following relevant Clauses in the PPF have been considered for the application.

Clause 11.01-1S Settlement

Clause 11.01-1R Settlement – Wimmera Southern Mallee

Clause 11.01-1L Hindmarsh

Clause 11.03-6S Regional and local places

Clause 12.01-1S Protection of biodiversity

Clause 12.01-1R Protection of biodiversity - Wimmera Southern Mallee

Clause 12.01-2S Native vegetation management

Clause 13.07-1S Land use compatibility

Clause 15.01-2S Building design

Clause 15.01-5S Neighbourhood character

Clause 17.01-1S Diversified economy

Clause 17.01-1R Diversified economy - Wimmera Southern Mallee

Clause 17.04-1S Facilitating tourism

Clause 17.04-1R Tourism – Wimmera Southern Mallee

Clause 19.02-3S Cultural facilities

Objective

To develop a strong cultural environment and increase access to arts, recreation and other cultural facilities.

Clause 19.02-4S Social and cultural infrastructure

Objective

To provide fairer distribution of and access to, social and cultural infrastructure.

Planning Response:

The proposal complies with the relevant policies of the MPS and PPF including Clause 02.03-5 Built Environment and Heritage, Clause 12.01 Biodiversity, Clause 13.07 Amenity Human Health and Safety, Clause 15.01 Built Environment and Heritage, Clause 17.04 Tourism and Clause 19.02 Community Infrastructure. In particular, the proposal will provide for tourism development and will enhance and maximise economic, social and cultural benefits of the Silo Art trail and Rainbow as a tourist destination. The proposal will also increase access to arts and culture infrastructure as part of the Wimmera Mallee Silo Art Trail.

The proposal will comply with the relevant provisions of the MPS and PPF subject to standard conditions.

Zoning Provisions

Clause 32.05 – Township Zone (TZ)

32.05-2 Table of uses

Section 2 – Permit required

A permit is required to use the land for a Place of Assembly under this Clause.

32.05-10 Buildings and works associated with a Section 2 use

A permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.05-2.

32.05-13 Decision guidelines

Before deciding on an application to use land or construct a building or construct or carry out works, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

General (relevant)

- The Municipal Planning Strategy and the Planning Policy Framework.
- The protection and enhancement of the character of the town and surrounding area including the retention of vegetation.
- The availability and provision of utility services, including sewerage, water, drainage, electricity, gas and telecommunications.
- The design, height, setback and appearance of the proposed buildings and works including provision for solar access.
- Provision of car and bicycle parking and loading bay facilities and landscaping.
- The effect that existing uses on adjoining or nearby land may have on the proposed use.
- The scale and intensity of the use and development.
- The safety, efficiency and amenity effects of traffic to be generated by the proposal.

Overlay Provisions

Not applicable – No Overlays affect the site.

Particular Provisions:

52.06-2 Provision of car parking spaces

Before a new use commences, the number of car parking spaces required under Clause 52.06-5 must be provided to the satisfaction of the responsible authority.

52.06-5 Number of carparking spaces required under Table 1

Table 1 of this clause sets out the car parking requirement that applies to a use listed in the Table.

Table 1: Carparking requirement

Place of Assembly = 0.3 car spaces to each patron permitted

52.06-10 Decision guidelines

Before deciding that a plan prepared under Clause 52.06-8 is satisfactory the responsible authority must consider, relevant matters, as appropriate.

Planning Response:

The submitted plans show the provision of 17 car parking spaces on the site. Clause 52.06-5 requires 0.3 car parking spaces for each patron permitted, which equates to 16.5 car spaces and is rounded down to 16 car spaces. Therefore, there are adequate car parking spaces to be provided on the site in accordance with Clauses 52.06-2 and 52.06-5.

General Provisions

Clause 65 - Decision Guidelines

Because a permit can be granted does not imply that a permit should or will be granted. The responsible authority must decide whether the proposal will produce acceptable outcomes in terms of the decision guidelines of this clause.

65.01 Approval of an application or plan

Before deciding on an application or approval of a plan, the Responsible Authority must consider, relevant matters, as appropriate.

Planning Response:

The proposal complies with the MPS and PPF as discussed above. The proposal will have positive impacts on the environment, human health, and the amenity of the area. The proposal will enable the orderly planning of the area. The proposal, therefore, complies with the relevant decision guidelines of Clause 65.

Discussion:

The proposed use and development for a Place of Assembly will facilitate the re-use and re-development of the two grain Silos as a tourism facility for visitors/tourists to visit as part of the Wimmera Mallee Silo Art Trail in Rainbow. The proposal will allow investment and economic opportunities within Rainbow including temporary employment during construction of the facility and ongoing tourism that will have positive economic impacts on

the township of Rainbow. The proposed range of hours of operation and the maximum number of patrons will be managed by conditions.

The proposed car park has been relocated and sited further north to minimise any potential impacts on the existing Red Gum tree at the entry to the car park in accordance with the advice in the arborist report. The tree will have less than 10% of the TPZ impacted by the proposed access way and car park. Conditions are required to minimise any impacts on this tree. An adequate number of 17 car parking spaces and amenities will be provided on site to accommodate the maximum likely number of 55 visitors/tourists at any given time.

The proposal should therefore be approved, and a Planning Permit is issued subject to the conditions outlined below.

Strategic, Statutory and Procedural Requirements:

The proposal is consistent with the Municipal Planning Strategy and the Planning Policy Framework, Clause 32.05 of the Township Zone, Clause 52.06 Car Parking and Clause 65 Decision Guidelines.

Report to Council:

The Director Infrastructure Services advises that all obligations of Council (strategic, statutory and procedural) have been addressed and discharged in this planning application.

Processing Times:

15/10/2022 Application submitted
10/11/2022 Fee paid by journal entry
25/11/2022 Further information requested.
25/01/2023 Partial further information response submitted with amended plans
30/01/2023 Partial further information response submitted with arborist report
15/02/2023 Amended plans received and all information provided
16/02/2023 Advertising instructions sent to the applicant and letters sent to neighbours
16/02/2023 Referrals sent to externally to GWM Water and Department of Transport, and internally to Engineering, Environmental Health and Building
20/02/2023 Referral response received from Building
21/02/2023 Referral response received from Environmental Health
23/02/2023 Public notice in Rainbow Argus newspaper
27/02/2023 Referral response received from GWM Water
01/03/2023 Referral response received from VicTrack with recommended conditions
09/03/2023 Referral response received from Engineering
15/03/2023 Statutory declaration for advertising received from the applicant to complete the advertising
21/04/2023 Referral response received from Department of Transport and Planning
03/05/2023 The report is being presented to Council at Council Meeting on 3 May 2023 (50 statutory days)

The statutory processing time requirements of the *Planning and Environment Act 1987* have been satisfied in this instance.

Link to Council Plan:

Competitive and Innovative Economy:

Develop and promote local tourism opportunities that attract visitation.

Financial Implications:

The only financial implications to Council relate to the general planning administration which is budgeted for in the recurrent operational budget.

Risk Management Implications:

N/A.

Conflict of Interest:

Under section 130(2) of the *Local Government Act 2020*, officers providing advice to Council must disclose any conflict of interest, including the type of interest.

Officer Responsible – Ms Jessie Holmes, Director Infrastructure Services

In providing this advice as the Officer Responsible, I have no disclosable interests in this report.

Author: Bernadine Pringle, Consultant Town Planner.

In providing this advice as the Author, I have no disclosable interests in this report.

Communications Strategy:

Advise the applicant of Council's decision.

Next Steps:

Issue the Planning Permit and endorse the plans if approved.

RECOMMENDATION:

That Council approves Planning Application PA1803-2022 for the Use and development of a Place of Assembly (Silo Art Trail Viewing Platform, Amenities Building and Car Park), on the subject land at 13 Bow Street Rainbow VIC 3424 (Crown Allotment 8F6 Township of Rainbow Parish of Werrap), subject to the following conditions:

Conditions:

Endorsed Plans – Use and Development

- 1. The use and development as shown on the endorsed plans must not be altered or modified, whether or not in order to comply with any statute or statutory rule***

or local law or any other reason without the written consent of the Responsible Authority.

Hours of Operation

2. *The use must operate between the following hours, unless with the further written consent of the Responsible Authority.*
 - *Sunday to Thursday inclusive – 7.00 am to 10.00pm.*
 - *Friday and Saturday – 7.00 am to 12.00 midnight.*
 - *Good Friday and Anzac Day not being a Sunday – 12.00 noon to 12.00 midnight.*
 - *Anzac Day being a Sunday – 12.00 noon to 10.00pm.*

Numbers of Patrons/Visitors

3. *No more than 55 patrons may be present on the premises at any one time, unless otherwise approved in writing by the Responsible Authority.*

Amenity

4. *The use must be managed so that the amenity of the area is not detrimentally affected, through the:*
 - (a) *transport of materials, goods or commodities to or from the land;*
 - (b) *appearance of any building, works or materials;*
 - (c) *emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil;*
 - (d) *presence of vermin;*
 - (e) *others as appropriate.*
5. *The site must be kept in an ordered and tidy state and their appearance must not prejudicially affect the amenity of the area to the satisfaction of the Responsible Authority.*

Native Vegetation Impacts Minimised

6. *Before the commencement of any works, perimeter fencing, which may consist of flags with star pickets, must be erected around the Tree Protection Zone (TPZ) of the River Red Gum tree to the south of the car park to prevent any construction or excavation, storage of materials or waste, parking of vehicles and plant machinery and the like within the TPZ of the tree, to the satisfaction of the Responsible Authority.*
7. *The construction of the access ways and car park must be a gravel surface to be raised above the natural ground level to minimise any native vegetation impacts to the satisfaction of the Responsible Authority.*

Engineering

Access

8. ***Before the commencement of the use, the existing location of the crossover must be upgraded / constructed as per IDM SD-255 standard at the south side of the lot on Bow Street to the satisfaction of the Responsible Authority.***
9. ***The vehicle crossing must be constructed at the permit holder's expense to provide ingress and egress to the site to the satisfaction of the Responsible Authority.***
10. ***Vehicles must enter and exit the site in a forward direction at all times.***

Car Parking:

11. ***All patrons attending the premise must park in the allocated parking bays on the site.***
12. ***The internal access roads and parking areas must be constructed and maintained to the satisfaction of the Responsible Authority.***

Drainage

13. ***All stormwater and surface water discharging from the site for the approved development must be directed to the legal point of discharge (LPD), being the southern side of the property to the open table drain in the Bow Street road reserve, to the satisfaction of the Responsible Authority.***

Environmental Health

Agreement with GWM Water for sewerage

14. ***Before the commencement of the development hereby permitted, the owner must enter into and comply with an agreement with Grampians Wimmera Mallee Water for the provision of sewerage.***

Commercial Premises

Commercial Waste Collection

15. ***Unless with the prior written consent of the Responsible Authority, the commercial waste collection must not occur outside the following hours to the satisfaction of the Responsible Authority:***
 - (a) ***For one collection per week, between 6.30am – 8pm Monday to Saturday and between 9am – 8pm Sundays and public holidays.***
 - (b) ***For two or more collections per week, between 7am – 8pm Monday to Saturday and between 9am – 8pm Sundays and public holidays.***

VicTrack

16. ***At all times the common boundary with the railway land must be fenced with a 1.8m paling or black chain mesh fence and must be repaired and maintained, all at no cost to VicTrack to prohibit unauthorised access to the rail corridor.***
17. ***Any replacement, repair or reconstruction of any fence on the boundary to railway land must be in accordance with VicTrack's requirements.***
18. ***No drainage, effluent, waste, soil or other materials must enter, be stored or be directed to the railway land.***

Department of Transport and Planning, for Head of Transport Victoria

19. **The refurbished silos and new facilities facing the rail corridor shall avoid use of red, green or yellow colour schemes that may interfere with train driver operations.**
20. **The new glazed finishes at the top of the refurbished silos shall be of low reflectivity and must not cause reflected sunlight to interfere with train driver visibility or interpretation of rail signals.**
21. **The development's landscaping and planting adjacent to the rail corridor boundary, shall be designed and delivered so it will not interfere with train driver visibility or interpretation of rail signals upon completion or in the future. The landscaping must not facilitate illegal access onto railway land over boundary fence or wall via tree climbing upon completion or in the future. Landscaping and planting must not cause damage to any rail assets or infrastructure, via root or branch ingress in the future.**
22. **The permit holder must, at all times, ensure that the common boundary with railway land is fenced to prohibit unauthorised access to the rail corridor. A permanent wall or fence must be provided on the common boundary with railway land that must be designed and constructed with the agreement of Head, Transport for Victoria, and the relevant Rail Operator. Boundary walls, where used, must be cleaned and finished using a graffiti proof finish or alternative measures used to prevent or reduce the potential of graffiti as approved by the Head, Transport for Victoria.**
23. **No drainage, effluent, waste soil or other materials must enter or be directed to railway land from the development site or be stored or deposited on railway land by the proponent.**
24. **The designs for the refurbished silos must prevent items from being thrown or falling onto railway land.**

Permit Expiry – Use and Development

25. **The use and development approved by this permit will expire if one of the following circumstances applies:**
 - (a) **The development is not started within two years of the date of this permit.**
 - (b) **The development is not completed within four years of the date of this permit.**
 - (c) **The use is not commenced within four years of the date of this permit.**

In accordance with Section 69 of the Planning and Environment Act 1987, the responsible authority may extend the periods referred to if a request is made in writing before the permit expires, or within six (6) months of the permit expiry date.

Notes:

Engineering:

- **A consent to works within road reserve permission is required prior to construction of crossover.**
<https://www.hindmarsh.vic.gov.au/register-for-permits>
- **LPD can be applied with the building permit application.**

Building:

A Building Permit is required.

MOVED: CRS R Ismay/D Nelson

That Council approves Planning Application PA1803-2022 for the Use and development of a Place of Assembly (Silo Art Trail Viewing Platform, Amenities Building and Car Park), on the subject land at 13 Bow Street Rainbow VIC 3424 (Crown Allotment 8F6 Township of Rainbow Parish of Werrap), subject to the following conditions:

Conditions:

Endorsed Plans – Use and Development

1. **The use and development as shown on the endorsed plans must not be altered or modified, whether or not in order to comply with any statute or statutory rule or local law or any other reason without the written consent of the Responsible Authority.**

Hours of Operation

2. **The use must operate between the following hours, unless with the further written consent of the Responsible Authority.**
 - **Sunday to Thursday inclusive – 7.00 am to 10.00pm.**
 - **Friday and Saturday – 7.00 am to 12.00 midnight.**
 - **Good Friday and Anzac Day not being a Sunday – 12.00 noon to 12.00 midnight.**
 - **Anzac Day being a Sunday – 12.00 noon to 10.00pm.**

Numbers of Patrons/Visitors

3. **No more than 55 patrons may be present on the premises at any one time, unless otherwise approved in writing by the Responsible Authority.**

Amenity

4. **The use must be managed so that the amenity of the area is not detrimentally affected, through the:**
 - (a) **transport of materials, goods or commodities to or from the land;**
 - (b) **appearance of any building, works or materials;**
 - (c) **emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil;**
 - (d) **presence of vermin;**

(e) others as appropriate.

- 5. The site must be kept in an ordered and tidy state and their appearance must not prejudicially affect the amenity of the area to the satisfaction of the Responsible Authority.*

Native Vegetation Impacts Minimised

- 6. Before the commencement of any works, perimeter fencing, which may consist of flags with star pickets, must be erected around the Tree Protection Zone (TPZ) of the River Red Gum tree to the south of the car park to prevent any construction or excavation, storage of materials or waste, parking of vehicles and plant machinery and the like within the TPZ of the tree, to the satisfaction of the Responsible Authority.*
- 7. The construction of the access ways and car park must be a gravel surface to be raised above the natural ground level to minimise any native vegetation impacts to the satisfaction of the Responsible Authority.*

Engineering

Access

- 8. Before the commencement of the use, the existing location of the crossover must be upgraded / constructed as per IDM SD-255 standard at the south side of the lot on Bow Street to the satisfaction of the Responsible Authority.*
- 9. The vehicle crossing must be constructed at the permit holder's expense to provide ingress and egress to the site to the satisfaction of the Responsible Authority.*
- 10. Vehicles must enter and exit the site in a forward direction at all times.*

Car Parking:

- 11. All patrons attending the premise must park in the allocated parking bays on the site.*
- 12. The internal access roads and parking areas must be constructed and maintained to the satisfaction of the Responsible Authority.*

Drainage

- 13. All stormwater and surface water discharging from the site for the approved development must be directed to the legal point of discharge (LPD), being the southern side of the property to the open table drain in the Bow Street road reserve, to the satisfaction of the Responsible Authority.*

Environmental Health

Agreement with GWM Water for sewerage

- 14. Before the commencement of the development hereby permitted, the owner must enter into and comply with an agreement with Grampians Wimmera Mallee Water for the provision of sewerage.*

Commercial Premises

Commercial Waste Collection

15. ***Unless with the prior written consent of the Responsible Authority, the commercial waste collection must not occur outside the following hours to the satisfaction of the Responsible Authority:***
- (a) ***For one collection per week, between 6.30am – 8pm Monday to Saturday and between 9am – 8pm Sundays and public holidays.***
 - (b) ***For two or more collections per week, between 7am – 8pm Monday to Saturday and between 9am – 8pm Sundays and public holidays.***

VicTrack

16. ***At all times the common boundary with the railway land must be fenced with a 1.8m paling or black chain mesh fence and must be repaired and maintained, all at no cost to VicTrack to prohibit unauthorised access to the rail corridor.***
17. ***Any replacement, repair or reconstruction of any fence on the boundary to railway land must be in accordance with VicTrack's requirements.***
18. ***No drainage, effluent, waste, soil or other materials must enter, be stored or be directed to the railway land.***

Department of Transport and Planning, for Head of Transport Victoria

19. ***The refurbished silos and new facilities facing the rail corridor shall avoid use of red, green or yellow colour schemes that may interfere with train driver operations.***
20. ***The new glazed finishes at the top of the refurbished silos shall be of low reflectivity and must not cause reflected sunlight to interfere with train driver visibility or interpretation of rail signals.***
21. ***The development's landscaping and planting adjacent to the rail corridor boundary, shall be designed and delivered so it will not interfere with train driver visibility or interpretation of rail signals upon completion or in the future. The landscaping must not facilitate illegal access onto railway land over boundary fence or wall via tree climbing upon completion or in the future. Landscaping and planting must not cause damage to any rail assets or infrastructure, via root or branch ingress in the future.***
22. ***The permit holder must, at all times, ensure that the common boundary with railway land is fenced to prohibit unauthorised access to the rail corridor. A permanent wall or fence must be provided on the common boundary with railway land that must be designed and constructed with the agreement of Head, Transport for Victoria, and the relevant Rail Operator. Boundary walls, where used, must be cleaned and finished using a graffiti proof finish or alternative measures used to prevent or reduce the potential of graffiti as approved by the Head, Transport for Victoria.***
23. ***No drainage, effluent, waste soil or other materials must enter or be directed to railway land from the development site or be stored or deposited on railway land by the proponent.***

24. The designs for the refurbished silos must prevent items from being thrown or falling onto railway land.

Permit Expiry – Use and Development

25. The use and development approved by this permit will expire if one of the following circumstances applies:

- (a) The development is not started within two years of the date of this permit.**
- (b) The development is not completed within four years of the date of this permit.**
- (c) The use is not commenced within four years of the date of this permit.**

In accordance with Section 69 of the Planning and Environment Act 1987, the responsible authority may extend the periods referred to if a request is made in writing before the permit expires, or within six (6) months of the permit expiry date.

Notes:

Engineering:

- **A consent to works within road reserve permission is required prior to construction of crossover.**
<https://www.hindmarsh.vic.gov.au/register-for-permits>
- **LPD can be applied with the building permit application.**

Building:

A Building Permit is required.

CARRIED

Attachment Number: 4

8.3 APPLICATION FOR PLANNING PERMIT 1795-2022 – USE AND DEVELOPMENT OF THE LAND FOR A TRANSFER STATION AND REDUCTION OF CAR PARKING REQUIREMENTS – 7 MIDDLETON AVENUE NHILL VIC 3418

Responsible Officer:	Director Infrastructure Services
File:	Planning – Applications
Assessment:	200205
Application Number:	PA1795-2022
Application Received:	21 September 2022 (amended 4 October 2022)
Applicant:	Allan Crick
Owner:	Sayed Akbar Hosaini
Subject Land:	7 Middleton Avenue Nhill Vic 3418 (Lot 4 on Plan of Subdivision 339967M)
Proposal:	Use and development of the land for a transfer station and reduction of car parking requirements
Zoning & Overlays:	Industrial 1 Zone – Schedule 1 (IN1Z) Environmental Significance Overlay – Schedule 6 (ESO6)

Summary:

This report recommends that Council approve Planning Permit PA1795-2022 for the use and development of the land for a transfer station and reduction of car parking requirements on the subject land known as 7 Middleton Avenue Nhill Vic 3418 (Lot 4 on Plan of Subdivision 339967M).

Background:

On 21 September 2022, Allan Crick lodged a planning application to the Responsible Authority for a commercial storage shed at 7 Middleton Avenue Nhill. On 4 October 2022, the application was amended to the use and development of the land for a transfer station and reduction of car parking requirements in response to the correct land use definition and relevant planning permit triggers identified in the Hindmarsh Planning Scheme.

Proposal Details:

The permit applicant, Allan Crick seeks approval for the use and development of the land for a transfer station and reduction of car parking requirements. More specifically, the proposal involves:

- The construction of a shed with a footprint measuring 24.575m by 26.151m (642sqm) and a height of 8m to the eaves and 9.75m at the apex. The building will be clad in colorbond “Basalt” on the walls and zincalume metal sheeting on the roof. There will be two roller doors and a PA door on the south western elevation and one PA door on the north western elevation. The remaining elevations will be enclosed.
- The shed will be used to store scrap metal. Once a sufficient amount of scrap metal is collected, it will be transported to Melbourne. The use will require a maximum of two staff at any given time and will operate Monday to Friday between 8am to 4pm. Customers and members of the public will not have access to the site.

- A new crossover is proposed to Middleton Avenue as well as an internal accessway and nine on site car parking spaces to the south west of the proposed shed. The internal accessway and car parking spaces will be finished in crushed rock.
- Two landscaping beds are proposed at the entrance to the site from Middleton Avenue.

A site plan, floor plan and elevations are contained within Figure 1 to 3.



Figure 1 – Site Plan

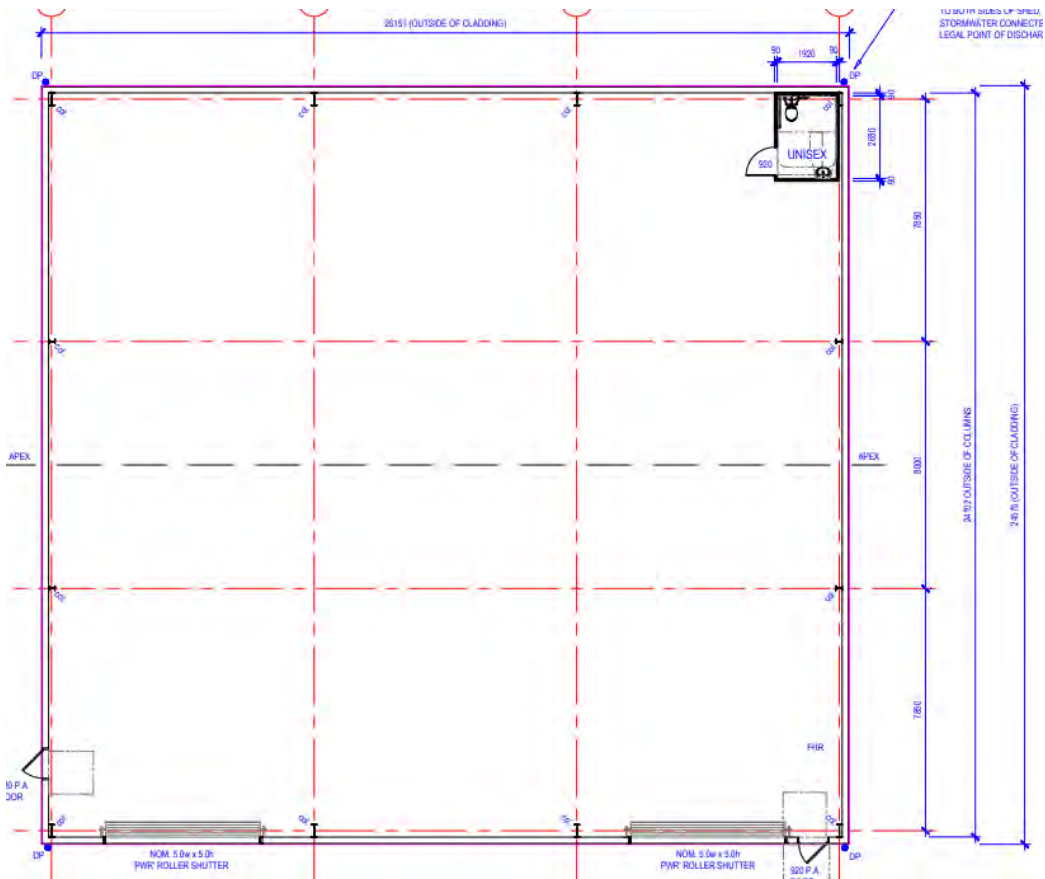


Figure 2 – Floor Plan

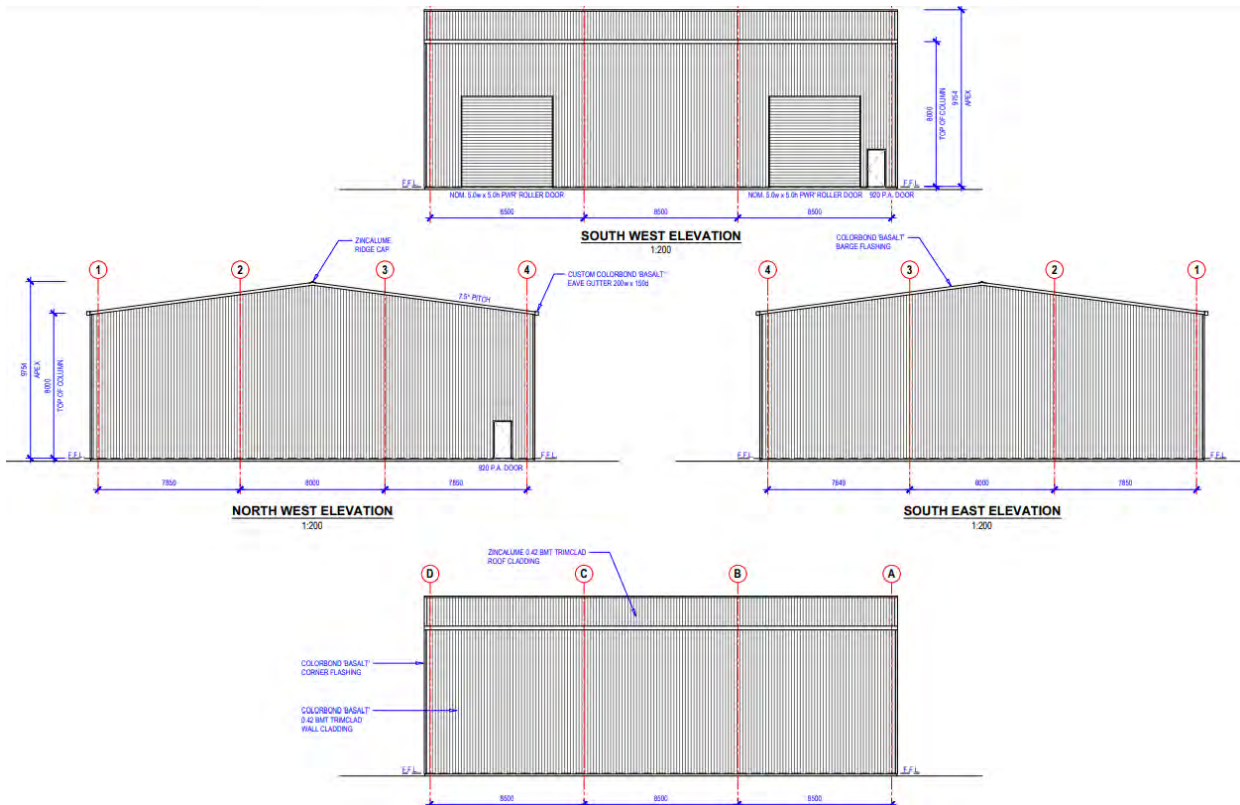


Figure 3 – Elevations

Requirement for Permit:

A Planning Permit is required under the following clauses of the Hindmarsh Planning Scheme:

- Clause 33.01-1 (Industrial 1 Zone) – A permit is required to use the land for a transfer station (section 2 use).
- Clause 33.01-4 (Industrial 1 Zone) – A permit is required to construct a building or construct or carry out works.

Note – A permit is not required under the Environmental Significance Overlay (ESO) as the construction of a building is exempt under Clause 3.0 of Schedule 6 to the ESO. No earthworks, new fencing or vegetation removal is proposed, and no wastewater will be generated as the site has access to sewer

Definitions:

Transfer Station (nested under Industry)

Land used to collect, consolidate, temporarily store, sort or recover refuse, used or surplus materials before transfer for disposal, recycling or use elsewhere.

Restrictive Covenant or Section 173 Agreement:

The subject site is not affected by any Covenants or Section 173 Agreements.

Cultural Heritage Management Plan (CHMP):

A CHMP is not required pursuant to the *Aboriginal Heritage Regulations 2018*, as the subject site is not within an area of Aboriginal Cultural Heritage Sensitivity.

Subject site & locality:

The subject site is known as 7 Middleton Avenue Nhill VIC 3418 (Lot 4 on Plan of Subdivision 339967M), which comprises a single title of approximately 1519m². The land is generally flat and is currently vacant but informally used for outdoor storage. The site is void of any vegetation and does not have any heritage or cultural sensitivities. The site is within a bushfire prone area but is otherwise unaffected by natural hazards. The site appears to have access to reticulated power, telecommunications, water and sewer.

The subject site is situated approximately 1km to the south west of the Nhill Town Centre and is within an established industrial precinct. The subject site adjoins farming zoned land to the north west and industrial zoned land for the remaining boundaries. Surrounding land is predominantly used for storage/warehousing purposes and broadacre farming. There are no sensitive land uses within 30m of the site.

Aerial Map below – Hindmarsh POZI



Aerial Map with Zoning below – Hindmarsh POZI



Section 52 Notice of Application

The application has been advertised pursuant to Section 52 of the *Planning and Environment Act 1987* by the following:

- Letters to adjoining and nearby property owners; and
- A notice in the 'Nhill Free Press'

No objections or submissions have been received in relation to the application.

Referrals:

Referrals/Notice	Advice/Response/Conditions
Section 55 Referrals	
EPA	Response not provided within the 28 day statutory timeframe.

Section 52 and Internal Notices	
Engineering	<p>No objection to the development subject to conditions:</p> <p>Access: <i>Prior to the commencement of the proposed development, a new crossover must be constructed as per IDM SD-250 standard at the South side of Lot on Middleton Ave to RA satisfaction and at applicants cost.</i></p> <p><i>The vehicle crossing must be constructed at the applicant's expense to provide ingress and egress to the site to the satisfaction of the Responsible Authority.</i></p> <p><i>Damage to existing Council infrastructure is to be minimised during construction of the Proposed development.</i></p> <p><i>Any damage to Council infrastructure shall be replaced to original state, to the satisfaction of the Responsible Authority and at the applicants expense.</i></p> <p><i>A consent to works within road reserve permission is required prior to construction if working in road reserve.</i> https://www.hindmarsh.vic.gov.au/register-for-permits</p> <p>Car Parking <i>The car park must be constructed to a min. 150mm deep and 100mm compacted gravel, the car park space dimension must be, as specified on the proposed site plan (Drawing No. ASI-2158 Rev C) to the satisfaction of the Responsible Authority at the applicants cost.</i></p> <p><i>No parking is permitted along the road reserve of Middleton Avenue in front of the site.</i></p>

	<p><i>The reduction of car park spaces to 8 for the Proposed Business is adequate.</i></p> <p>Drainage:</p> <ul style="list-style-type: none"><i>a. All stormwater into rainwater tanks with overflow and surface water discharging from the site for the approved development must be directed to the legal point of discharge (LPD) being the Southern side of the property to the kerb and channel in the Middleton Avenue road reserve to the satisfaction of the Responsible Authority.</i><i>b. No effluent or polluted water of any type may be allowed to enter the Council's Storm water drainage system.</i><i>c. LPD can be applied with the building permit application.</i> <p>Appropriate conditions will be included on any permit issued.</p>
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Planning Assessment:

Planning Scheme Requirements:

Planning Policy Framework:

- Clause 02.03-1 Settlement and Housing
- Clause 11.01-1L Settlement – Hindmarsh
- Clause 02.03-3 Environmental Risks and Amenity
- Clause 13.02-1S Bushfire planning
- Clause 02.03-5 Built Environment and Heritage
- Clause 15.01-1S Urban design
- Clause 15.01-2S Building design
- Clause 02.03-6 Economic Development
- Clause 17.03-1S Industrial Land Supply
- Clause 17.03-2S Sustainable Industry
- Clause 02.03-8 Infrastructure
- Clause 19.03-3S Integrated Water Management
- Clause 19.03-5S – Waste and Resource Recovery

Planning Response:

When assessing the application against the state and local policies listed above, there is clear support for the proposal. The use is ideally situated within an existing industrial precinct in Nhill with convenient access to the Western Highway (via Middleton Avenue), as sought by Clause 11.01-1L. Given that the site has access to all reticulated services, stormwater and wastewater can be appropriately managed in accordance with Clause 19.03-3S.

The subject site is within a bushfire prone area but is not a land use requiring specific bushfire risk consideration under Clause 13.02-1S. The proposal is unlikely to lead to unreasonable bushfire risk and suitable mitigating techniques will be assessed as part of a future building permit application.

The design of the development is functional and is consistent with surrounding established industrial sites. The locality is not considered to be of high amenity value and there are no cultural or heritage sensitivities. Clause's 17.03-1S and 17.03-2S seek to ensure that land is available for industrial uses and facilitate the sustainable operation of industry. The proposal is industrial in nature and is appropriately located on industrial zoned land to minimise off-site impacts to sensitive land uses. The proposed land use is compatible with other land uses within the industrial precinct and provides for a scrap metal storage facility to reduce waste and reliance on landfills, as sought by Clause 19.03-5S.

Zoning Provisions:

Clause 33.01 – Industrial 1 Zone (IN1Z)

33.01-1 Table of Uses & 33.01-2 Use of Land

A permit is required to use the land for a transfer station.

Decision Guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- The Municipal Planning Strategy and the Planning Policy Framework.
- The effect that the use may have on nearby existing or proposed residential areas or other uses which are sensitive to industrial off-site effects, having regard to any comments or directions of the referral authorities.
- The effect that nearby industries may have on the proposed use.
- The drainage of the land.
- The availability of and connection to services.
- The effect of traffic to be generated on roads.
- The interim use of those parts of the land not required for the proposed use.

33.01-4 – Buildings and Works

A permit is required to construct a building or construct or carry out works.

Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- The Municipal Planning Strategy and the Planning Policy Framework.
- Any natural or cultural values on or near the land.
- Streetscape character.
- Built form.
- Landscape treatment.
- Interface with non-industrial areas.
- Parking and site access.
- Loading and service areas.
- Outdoor storage.
- Lighting.
- Stormwater discharge.

Planning Response:

The proposal supports the Municipal Planning Strategy and Planning Policy Framework, which have been discussed above. The proposal involves a transfer station which will store scrap metal prior to transport to Melbourne. It is a relatively low impact industrial use and is appropriately located within an industrial precinct with appropriate separation distances from sensitive land uses. The nearest dwellings are located approximately 150m to the south and north east of the site and are separated by a number of existing developed properties. The proposed hours of operation are not within sensitive hours and there will not be any processing or manufacturing activities taking place on site. Taking into consideration the above, the proposed use is unlikely to have a negative impact on the amenity of the surrounding area.

Middleton Avenue does not have particularly high amenity value or consistent character as it consists of a mixture of industrial/commercial premises. There are no natural or cultural features on or near the land and there are no heritage or native vegetation sensitivities on or surrounding the land. The proposal is considered to have minimal impact on streetscape character as the building is positioned in the north eastern corner of the site, with appropriate setbacks from boundaries and a gravel car parking area at the property frontage. The appearance of the proposed shed and the layout of the site is fairly standard for an industrial premises and is consistent with existing premises within the surrounding area. The frontage of the site is narrow and can only accommodate a vehicle accessway, however, landscaping beds are proposed at the entrance of the site to soften the appearance of the development.

No areas of outdoor storage are proposed. Car parking and access will be discussed in greater detail under Clause 52.06 below. The Engineering Department did not raise any issues in terms of vehicle access to the site or traffic likely to be generated by the proposed use. Loading and unloading will be undertaken on-site within the proposed building and a swept path has been shown on the site plan demonstrating that the anticipated vehicles are able to load/unload on site. The site has access to all reticulated services such as sewer, stormwater, water and electricity. Conditions will be included on the planning permit to ensure that stormwater is managed appropriately and any outdoor lighting is suitably baffled to avoid nuisance to adjoining properties.

Taking into consideration the above, the proposal positively addresses the relevant decision guidelines of the IN1Z.

Overlay Provisions:

As discussed above, a planning permit is not required under the ESO.

Particular Provisions:

Clause 52.06 – Car Parking

Clause 52.06-5 – Number of Car Parking Spaces

The following car parking requirement under Table 1 of this clause is applicable to the proposal:

Industry – 2.9 spaces to each 100sqm or net floor area.

Planning Response:

The proposed building has a net floor area of 642sqm and as such, 18 car parking spaces are required under Clause 52.06-5. The proposal provides nine on-site car parking spaces and as such, a reduction of nine spaces is sought. The reduction of car parking spaces is considered to be appropriate in this instance for the following reasons:

- The building will be predominantly used for storage purposes only.
- A maximum of two staff will be on-site at any given time.
- The use will not require any customer visitation.
- Deliveries will not require any car parking spaces and will be accommodated within the proposed shed.
- Based on the above factors, the demand for car parking is unlikely to exceed two at any given time.

The car parking information required by Clause 52.06-8 has been included on the site plan and the design standards under Clause 52.06-9 have been met as described below:

- The accessway is at least 3m wide and allows vehicles to exit the site in a forward direction.
- The car parking spaces are at least 4.9m long and 2.6m wide (suitable for accessway exceeding 6.4m in width). The car parking area contains one disabled space designed in accordance with Australian Standard AS2890.6-2009 (disabled) which will be assessed further as part of a future building permit application.
- As the site is relatively flat, gradients do not pose a concern.
- The car parking area will be secured with an existing chain mesh fence and lighting can be installed if the need arises.
- Customers will not frequent the site; therefore, designated pedestrian walkways are not necessary.
- Some landscaping has been included at the entrance of the site to assist in softening the car parking area from view. The extent of landscaping is considered to be appropriate taking into account the context of the site and surrounding land uses.

A condition will be included on any permit issued to ensure that the car parking area is suitably constructed prior to the commencement of the use in accordance with Clause 52.06-11 of the Hindmarsh Planning Scheme.

Clause 53.10 – Uses and Activities with Potential Adverse Impacts

An application to use land for an industry, utility installation or warehouse for a purpose listed in the table to this clause must be referred to the Environment Protection Authority under section 55 of the Act if the threshold distance is not to be met or no threshold distance is specified.

The threshold distance referred to in the table to this clause is the shortest distance from any part of the land to:

- land (not a road) in an Activity Centre Zone, Capital City Zone, Commercial 1 Zone, Docklands Zone, residential zone or Rural Living Zone; or
- land used for a hospital, an education centre or a corrective institution; or
- land in a Public Acquisition Overlay to be acquired for a hospital, an education centre or a corrective institution.

Transfer Station (other) – 200m.

Planning Response:

The subject site is within 200m of the Commercial 1 Zone and as such, a referral to the Environment Protection Authority was undertaken. A response was not received within the 28 day statutory timeframe.

Clause 53.18 – Stormwater Management in Urban Development

Clause 53.18 applies to this application and seeks to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

Stormwater management objectives for buildings and works

- *To encourage stormwater management that maximises the retention and reuse of stormwater.*
- *To encourage development that reduces the impact of stormwater on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.*
- *To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.*
- *To ensure that industrial and commercial chemical pollutants and other toxicants do not enter the stormwater system.*

Standard W2

The stormwater management system should be designed to:

- *Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).*
- *Minimise the impact of chemical pollutants and other toxicants including by, but not limited to, bunding and covering or roofing of storage, loading and work areas.*
- *Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.*

Site management objectives

- *To protect drainage infrastructure and receiving waters from sedimentation and contamination.*
- *To protect the site and surrounding area from environmental degradation prior to and during construction of subdivision works.*

Standard W3

An application should describe how the site will be managed prior to and during the construction period and may set out requirements for managing:

- *Erosion and sediment.*
- *Stormwater.*
- *Litter, concrete and other construction wastes.*
- *Chemical contamination.*

Planning Response:

Standard conditions were recommended by the Engineering Department in relation to stormwater and a condition relating to site management during construction will be included on any permit issued.

Clause 53.14 – Resource Recovery

This clause applies to this application as a transfer station is proposed and has the purpose:

- *To facilitate the establishment and expansion of a Transfer station and/or a Materials recycling facility in appropriate locations with minimal impact on the environment and amenity of the area.*

Decision Guidelines

- *The contribution of the proposal to achieving resource recovery targets established by the Victorian Government.*
- *The impact of the proposal on the amenity of the surrounding area.*
- *The Statewide Waste and Resource Recovery Infrastructure Plan (Sustainability Victoria, 2015).*
- *Any Regional Waste and Resource Recovery Implementation Plan including the Metropolitan Waste and Resource Recovery Implementation Plan (Metropolitan Waste and Resource Recovery Group, 2016).*
- *Relevant guidelines applicable to the application including the guideline for Designing, Constructing and Operating Composting Facilities (Environmental Protection Authority, 2015), the Guide to Best Practice for Organics Recovery (Sustainability Victoria, 2009) and the Guide to Best Practice at Resource Recovery Centres (Sustainability Victoria, 2009).*

Planning Response:

The proposal is for a transfer station which will be used to store scrap metal prior to transport to Melbourne. It will take the pressure off landfills for providing this storage service and will assist in achieving the resource recovery targets established by the state government, in line with the relevant guidelines and plans listed above. The subject site is appropriately

located within an industrial precinct where surrounding land uses are not sensitive in nature. The site is located within the Environmental Significance Overlay due to wetlands of conservation value dispersed throughout the Municipality. Given that the site has access to all reticulated services, stormwater and wastewater will be appropriately directed to public infrastructure and unlikely to impact wetland health.

The applicant advised that the scrap metal will be brought to the site in bins and will be stored in bins, minimising the likelihood of soil contamination. Scrap metal storage is unlikely to produce smells or odours and a condition will be included on the permit to limit the stored goods to scrap metal only. Noise will be relatively limited to loading and unloading of trucks which will occur weekdays only during standard business hours. The internal accessway will be sealed in crushed rock to minimise dust. These factors as well as the separation distance from sensitive land uses ensures that the amenity of the surrounding area will not be detrimentally impacted by the proposed use. In any instance the permit holder will be required to meet the requirements of the *Environment Protection Act 2017* in relation to odour, noise, hours of operation and the like ensuring that off-site amenity impacts are minimised.

General Provisions

Clause 65 - Decision Guidelines

Because a permit can be granted does not imply that a permit should or will be granted. The Responsible Authority must decide whether the proposal will produce acceptable outcomes in terms of the decision guidelines of this clause.

Clause 65.01– Approval of an application or plan

Before deciding on an application or approval of a plan, the Responsible Authority must consider, as appropriate (relevant to the application):

- The matters set out in section 60 of the Act.
- Any significant effects the environment, including the contamination of land, may have on the use or development.
- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the environment, human health and amenity of the area.
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction.
- Whether native vegetation is to be or can be protected, planted or allowed to regenerate.

- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.
- The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.
- The impact the use or development will have on the current and future development and operation of the transport system.

Planning Response:

As previously discussed, it is considered that the proposal is supported by the relevant provisions of the Municipal Planning Strategy and the Planning Policy Framework. As explored through this report, the proposal provides for an industrial land use in an appropriate area with access to all necessary reticulated services. The proposal is unlikely to result in any unreasonable amenity or environmental impacts. No natural hazards issues are identified in relation to the site and no issues have been raised by the engineering department in terms of stormwater, access and traffic. The application is therefore considered to be reflective of orderly planning.

Discussion:

Planning Policy Framework (PPF) and Municipal Planning Strategy (MPS)

The proposal meets the objectives of the relevant provisions of the PPF and MPS for the reasons discussed earlier in this report.

Clause 33.01 Industrial 1 Zone

The proposal complies with the purpose and decision guidelines of Clause 33.01 for the reasons outlined in the planning response to the zone as discussed above.

Clause 52.06 Car Parking

The proposal complies with the purpose and decision guidelines of Clause 52.06 for the reasons outlined in the planning response to the overlay as discussed above.

Clause 53.14 Resource Recovery

The proposal complies with the relevant purpose and decision guidelines of Clause 53.14 for the reasons outlined in the planning response to this clause as discussed above.

Clause 53.18 Stormwater Management in Urban Development

The proposal complies with the relevant purpose and decision guidelines of Clause 53.14 for the reasons outlined in the planning response to this clause as discussed above.

Clause 65 Decision Guidelines

The proposal complies with the relevant decision guidelines of Clause 65 as discussed above.

Strategic, Statutory and Procedural Requirements:

The proposal is consistent with the Planning Policy Framework and the Municipal Planning Strategy, including the Industrial 1 Zone, Clause 52.06, Clause 53.14, Clause 53.18 and Clause 65 of the Hindmarsh Planning Scheme.

Report to Council:

The Director Infrastructure advises that all obligations of Council (strategic, statutory and procedural) have been addressed and discharged in this planning application.

Processing Times:

21/09/2022 The application was received.
21/09/2022 Request for further information sent to applicant.
28/09/2022 Applicant responded to request for further information.
03/10/2023 Internal referral to Engineering.
04/10/2022 The fee was paid.
04/10/2022 Application was amended by the applicant.
24/01/2023 Request for further information sent to applicant (amended application).
22/02/2023 Applicant responded to request for further information (amended application).
16/03/2023 External referral to EPA.
16/03/2023 Internal referral to Engineering (amended application).
16/03/2023 Email confirmation from applicant to include reduction of car parking requirements.
21/03/2023 Fees for amended application paid.
23/03/2023 Engineering response received.
23/03/2023 Notice commenced.
06/04/2023 Notice concluded
03/05/2023 The report is being presented to Council at the meeting held 3 May 2023

The statutory processing time requirements of the *Planning and Environment Act 1987* have not been satisfied in this instance.

Conflict of Interest:

Under section 130(2) of the *Local Government Act 2020*, officers providing advice to Council must disclose any conflict of interest, including the type of interest.

Officer Responsible: Jessie Holmes, Director Infrastructure Services

In providing this advice as the Officer Responsible, I have no interests to disclose.

Author: Ebony Cetinich, Consultant Town Planner, on behalf of Jessie Holmes, Director Infrastructure Services

In providing this advice as the Author, I have no interests to disclose.

Link to Council Plan:

Objective – a healthy economy

Financial Implications:

Nil

Risk Management Implications:

Nil

Communications Strategy:

Advise the Applicant of Council's decision.

Next Steps:

Issue the Planning Permit if approved by Council.

RECOMMENDATION:

That Council approves planning application PA1795-2022 for the Use and development of the land for a transfer station and reduction of car parking requirements on the subject land known as 7 Middleton Avenue Nhill Vic 3418 (Lot 4 on Plan of Subdivision 339967M), subject to the following conditions:

Amended Plans Required

- 1. Before the commencement of any works hereby permitted, an amended site plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided.***

The site plan must be generally in accordance with the plans submitted but modified to show:

- (a) Remove reference to vehicle store and replace it with transfer station.***
- (b) Correctly annotate the footprint of the building to match the measurements on the floor plan (26.151m x 24.575m).***

Endorsed Plans

- 2. The use and development as shown on the endorsed plans shall not be altered or modified, whether or not in order to comply with any statute or statutory rule or local law or any other reason without the written consent of the Responsible Authority.***

Construction Phase

- 3. Soil erosion control measures must be employed throughout the construction stage of the development to the satisfaction of the Responsible Authority. Issues such as mud on roads, dust generation and erosion and sediment control must be managed, on site, during the construction phase. Details of a contact person/site manager must also be provided, so that this person can be easily contacted should any issues arise.***
- 4. Appropriate measures must be implemented throughout the construction stage***

of the development to rectify and/or minimise mud, crushed rock or other debris being carried onto public roads or footpaths from the subject land, to the satisfaction of the Responsible Authority.

Use Conditions

5. *Unless with the written consent of the Responsible Authority, only scrap metal is permitted to be stored on site.*
6. *The use and development must be managed so that the amenity of the area is not detrimentally affected, through the:*
 - (a) *transport of materials, goods or commodities to or from the land;*
 - (b) *appearance of any building, works or materials;*
 - (c) *emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil, or otherwise;*
 - (d) *presence of vermin;*
7. *The use hereby permitted may operate only between the hours of:*
 - (a) *8 am and 4 pm Monday to Friday.**unless with the prior written consent of the responsible authority*

Landscaping

8. *All landscaping shown on the endorsed plans must be established on the site prior to the commencement of the use hereby approved.*
9. *The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, and any dead, dying, diseased or damaged plants are to be replaced with like for like replacements of the same or greater size.*

Development Conditions

10. *Once building works have commenced they must be completed to the satisfaction of the Responsible Authority.*
11. *Upon completion of the works, the site must be cleared of all excess and unused building materials and debris to the satisfaction of the Responsible Authority.*
12. *All buildings and works must be maintained in good order and appearance to the satisfaction of the Responsible Authority.*

Engineering Conditions

13. *Prior to the commencement of the proposed development, a new crossover must be constructed as per IDM SD-250 standard at the South side of Lot on Middleton Ave to the satisfaction of the Responsible Authority and at the applicants cost.*

The vehicle crossing(s) must be constructed at the applicant's expense to provide ingress and egress to the site to the satisfaction of the Responsible Authority.

Note: A consent to works within road reserve permission is required prior to construction if working in road reserve.

<https://www.hindmarsh.vic.gov.au/register-for-permits>

- 14. Damage to existing Council infrastructure is to be minimised during construction of the Proposed development. Any damage to Council infrastructure shall be replaced to original state, to the satisfaction of the Responsible Authority and at the applicants expense.**
- 15. Prior to the commencement of the use hereby approved, the car park must be constructed to a min. 150mm deep and 100mm compacted gravel, the car park space dimension must be, as specified on the proposed site plan (Drawing No. ASI-2158 Rev C) to the satisfaction of the Responsible Authority at the applicants cost.**
- 16. No parking is permitted along the road reserve of Middleton Avenue in front of the site.**
- 17. Prior to the commencement of the use hereby approved, all stormwater into rainwater tanks with overflow and surface water discharging from the site for the approved development must be directed to the legal point of discharge (LPD) being the Southern side of the property to the kerb and channel in the Middleton Avenue road reserve to the satisfaction of the Responsible Authority. LPD can be applied with the building permit application.**
- 18. No effluent or polluted water of any type may be allowed to enter the Council's Storm water drainage system.**

Time Limit

- 19. The above-mentioned planning permit will expire if either of the following circumstances arise:**
 - (a) The development is not started within two (2) years of the date of this permit; or**
 - (b) The development is not completed within four (4) years of the date of this permit.**
 - (c) The use is not started within two (2) years after the completion of the development; or**
 - (d) The use is discontinued for a period of two (2) or more years.**

The Responsible Authority may extend the periods referred to if a request is made in writing in accordance with Section 69 of the Planning and Environment Act 1987.

MOVED: CRS R Gersch/R Ismay

That Council approves planning application PA1795-2022 for the Use and development of the land for a transfer station and reduction of car parking requirements on the subject land known as 7 Middleton Avenue Nhill Vic 3418 (Lot 4 on Plan of Subdivision 339967M), subject to the following conditions:

Amended Plans Required

1. ***Before the commencement of any works hereby permitted, an amended site plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided.***

The site plan must be generally in accordance with the plans submitted but modified to show:

- (a) ***Remove reference to vehicle store and replace it with transfer station.***
- (b) ***Correctly annotate the footprint of the building to match the measurements on the floor plan (26.151m x 24.575m).***

Endorsed Plans

2. ***The use and development as shown on the endorsed plans shall not be altered or modified, whether or not in order to comply with any statute or statutory rule or local law or any other reason without the written consent of the Responsible Authority.***

Construction Phase

3. ***Soil erosion control measures must be employed throughout the construction stage of the development to the satisfaction of the Responsible Authority. Issues such as mud on roads, dust generation and erosion and sediment control must be managed, on site, during the construction phase. Details of a contact person/site manager must also be provided, so that this person can be easily contacted should any issues arise.***
4. ***Appropriate measures must be implemented throughout the construction stage of the development to rectify and/or minimise mud, crushed rock or other debris being carried onto public roads or footpaths from the subject land, to the satisfaction of the Responsible Authority.***

Use Conditions

5. ***Unless with the written consent of the Responsible Authority, only scrap metal is permitted to be stored on site.***
6. ***The use and development must be managed so that the amenity of the area is not detrimentally affected, through the:***
 - (a) ***transport of materials, goods or commodities to or from the land;***
 - (b) ***appearance of any building, works or materials;***
 - (c) ***emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil, or otherwise;***
 - (d) ***presence of vermin;***
7. ***The use hereby permitted may operate only between the hours of:***
 - (a) ***8 am and 4 pm Monday to Friday.***

unless with the prior written consent of the responsible authority

Landscaping

8. *All landscaping shown on the endorsed plans must be established on the site prior to the commencement of the use hereby approved.*
9. *The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, and any dead, dying, diseased or damaged plants are to be replaced with like for like replacements of the same or greater size.*

Development Conditions

10. *Once building works have commenced they must be completed to the satisfaction of the Responsible Authority.*
11. *Upon completion of the works, the site must be cleared of all excess and unused building materials and debris to the satisfaction of the Responsible Authority.*
12. *All buildings and works must be maintained in good order and appearance to the satisfaction of the Responsible Authority.*

Engineering Conditions

13. *Prior to the commencement of the proposed development, a new crossover must be constructed as per IDM SD-250 standard at the South side of Lot on Middleton Ave to the satisfaction of the Responsible Authority and at the applicants cost.*

The vehicle crossing(s) must be constructed at the applicant's expense to provide ingress and egress to the site to the satisfaction of the Responsible Authority.

Note: A consent to works within road reserve permission is required prior to construction if working in road reserve.

<https://www.hindmarsh.vic.gov.au/register-for-permits>

14. *Damage to existing Council infrastructure is to be minimised during construction of the Proposed development. Any damage to Council infrastructure shall be replaced to original state, to the satisfaction of the Responsible Authority and at the applicants expense.*
15. *Prior to the commencement of the use hereby approved, the car park must be constructed to a min. 150mm deep and 100mm compacted gravel, the car park space dimension must be, as specified on the proposed site plan (Drawing No. ASI-2158 Rev C) to the satisfaction of the Responsible Authority at the applicants cost.*
16. *No parking is permitted along the road reserve of Middleton Avenue in front of the site.*
17. *Prior to the commencement of the use hereby approved, all stormwater into rainwater tanks with overflow and surface water discharging from the site for the approved development must be directed to the legal point of discharge (LPD) being the Southern side of the property to the kerb and channel in the Middleton*

Avenue road reserve to the satisfaction of the Responsible Authority. LPD can be applied with the building permit application.

- 18. No effluent or polluted water of any type may be allowed to enter the Council's Storm water drainage system.**

Time Limit

- 19. The above-mentioned planning permit will expire if either of the following circumstances arise:**

- (a) The development is not started within two (2) years of the date of this permit; or**
- (b) The development is not completed within four (4) years of the date of this permit.**
- (c) The use is not started within two (2) years after the completion of the development; or**
- (d) The use is discontinued for a period of two (2) or more years.**

The Responsible Authority may extend the periods referred to if a request is made in writing in accordance with Section 69 of the Planning and Environment Act 1987.

CARRIED

9 REPORTS REQUIRING A DECISION

Cr M Albrecht and Cr R Gersch declared a general conflict of interest.

As the declaration of the two conflicts would result in the lack of a quorum, a motion was put forward so that the matter could be dealt with in an alternative manner as provided for in s67(2) of the *Local Government Act 2020*, noting that Regulation 7(1)(i) of the *Local Government Act (Governance and Integrity Regulations 2020)* provides an exemption from conflict of interest requirements for (i) a decision by the Council to deal with a matter in an alternative manner under section 67 of the Act.

MOVED: CRS R Ismay/D Nelson

In the exercise of the power conferred by s 11(1)(b) of the Local Government Act 2020 (the Act), Hindmarsh Shire Council (Council) RESOLVES THAT –

- 1. The determination of the allocation of \$1,080,798.00 in funding received through Round 4 of the Local Roads and Community Infrastructure program be delegated to the Chief Executive Officer, as outlined in the attached Instrument of Delegation to the Chief Executive Officer, subject to the conditions and limitations specified in that Instrument.***
- 2. The instrument comes into force immediately upon this resolution being made and is to be signed by the Council's Chief Executive Officer and the Mayor;***
- 3. This instrument does not revoke the Instrument of Delegation from Council to the Chief Executive Officer authorised by Council resolution on 4 August 2021;***
- 4. The duties and functions set out in the instrument must be performed, and the powers set out in the instruments must be executed, in accordance with any guidelines or policies of Council that it may from time to time adopt.***

CARRIED

9.1 PROPOSED LOCAL ROADS AND COMMUNITY INFRASTRUCTURE ROUND 4 FUNDING DISTRIBUTION

Responsible Officer: Director Infrastructure Services

Introduction:

Council has received \$1,080,798 in funding through Round 4 of the Local Roads and Community Infrastructure program and is required to allocate funding for projects to be submitted for consideration by the Federal Government. This report sets out the proposed allocation of funding from Council source revenue and Local Roads and Community Infrastructure Round 4 (LRCI4).

There have been recent community consultation sessions which have identified several priority community projects that would benefit from LRCI4 funding allocations.

Discussion:

Davis Park Upgrades

The Davis Park upgrades continue to be the major advocacy and grant funding priority of Council alongside continued efforts for road funding. As these funding opportunities are usually from different grant sources – there is usually not a requirement for Council to prioritise one above the other, however as LRCI4 can be utilised for road or community infrastructure. This report recommends that Davis Park upgrades be given preference in the apportioning of funds.

Davis Park, Nhill has been the subject of several funding applications for upgrades to facilities including the clubrooms, changing rooms for football and netball and public seating following the demolition of the grandstand.

A short history of the proposed upgrades for Davis Park since 2018 include:

2018

1. Davis Park grandstand was closed for public use by the Council in April 2018 following concerns about its structural integrity and safety of users.
2. An independent Structural Assessment was carried out in May 2018.
3. Council submitted a grant application for funding of \$471,803 to the Federal Government's, Community Sport Infrastructure Fund in 2018 for the construction of a new grandstand at a total cost of \$562,653.
4. The council received notification in December 2018 that the application was unsuccessful, despite scoring highly and being recommended for funding. Due to the high number of applications another round was to be held in early 2019 for which our application would be eligible.
5. Council began discussions with NDSC in early 2018 to have plans prepared for new clubrooms that required the existing clubrooms to be demolished and the construction of new clubrooms to be undertaken.

2019

1. The council received notification on 26 April 2019 that the second-round application to the Federal Government's Community Sport Infrastructure Fund application was also unsuccessful.
*Council did not have to re-submit the application as it was carried over from round 1.
2. Schematic plans were finalised for the new clubrooms in April 2019.
3. A Cost Plan for the construction of new club rooms was received in September 2019 – estimated cost \$1,325,000.
4. At its meeting in October 2019, Council resolved to demolish the grandstand.
5. Due to the Council resolution in October 2019 for the grandstand to be demolished, NDSC changed their focus to constructing new club rooms incorporating undercover tiered seating to be constructed where the former grandstand was located.
6. Plans were prepared in November 2019 for the new proposal.

2020

1. The demolition of the grandstand occurred in March 2020.
2. The Victorian Government called for applications through the Community Sports Infrastructure Stimulus Program (CSISP). Applications were for funding between \$1M to a maximum of \$10M with a minimum of 10% co-contribution.
3. Following discussions with the club in June 2020, based on new schematic designs and cost plans received from an independent architect, Council submitted a grant application for funding.
4. In late 2020 Council received notification that the submission was not successful but was advised that due to the high number of applications an additional round was to be opened to which Council was invited to re-submit the application.

2021

1. The Round 2 application was submitted in March 2021 and Council received notification in May 2021 that this application was also unsuccessful.
2. Following continued unsuccessful grant applications, Council and NDSC then set about identifying the main priority as opportunities for funding through the Federal Government's Local Roads and Community Infrastructure were potentially available. A revised designed Community Function Centre / Clubrooms located where the grandstand was previously located was identified as the main priority if it incorporated undercover tiered spectator seating.
Council considered this an option as there are more external funding programs available for sporting facilities (change rooms, courts, lighting etc) while funding for community facilities is more difficult to obtain.
Council called for quotations to once again prepare designs and appointed a contractor in July 2021
3. Plans for new raised clubrooms were prepared in August 2021.
4. Based on the plans provided a Quantity Surveyor prepared a cost plan for the proposed Community Function Centre / Clubrooms at a cost of \$2,205,500.
5. As there were insufficient funds available to construct the new clubrooms other options were discussed, again, with the need for undercover / tiered spectator seating the priority. At a meeting between Council and NDSC, an option to construct new AFL compliant football change rooms with undercover seating facing the oval was considered a suitable alternative.
6. Council then obtained a cost plan in October 2021 for this facility at a cost of \$907,500.
7. As Council considered this option feasible, a subsequent meeting was held with NDSC, to further explore and plan for the AFL compliant change room's option. However, NDSC stated that the proposal for a new Community Function Centre / Clubrooms remained their preferred option.

2022

1. A meeting with NDSC was held in June 2022, in relation to a potential submission for a grant application for funding to undertake the development of a Davis Park Master Plan or alternate ways to progress Davis Park Upgrades.

As the submission of a grant application for a Master Plan for Davis Park may have had a negative impact on any potential State Government election commitments, it was decided not to submit the application.

2023

1. A letter was received by the Nhill and District Sporting Club setting out the priorities for the Davis Park Upgrades with the initial focus on changerooms and seating.

The Nhill and District Sporting Club wrote to Council in March 2023 requesting information relating to expenditure to date on the proposal to upgrade Davis Park facilities and the expenditure on maintenance since 2018 related to Davis Park.

There has been close to \$85,000 spent on the drafting of designs for the Davis Park upgrades as the priorities and funding opportunities have become available and required different approaches. Additional funds will need to be expended to have tender ready documentation prepared for expenditure of funding, estimated to be \$25,000.

In relation to the maintenance expenditure at Davis Park since 2018 – there has been approximately \$45,000 spent over the five years. This does not include insurance, utilities, mowing, cleaning, inspections or litter removal. Due to the way in which council accounts – expenditure on the grandstand is not a specific line item and would require forensic transaction drilling to determine.

Council has made provision for \$10,000 of building maintenance in the 2023/24 proposed budget for Davis Park – in addition to allocations across insurance, mowing, cleaning, inspections and litter removal.

Council is looking to undertake a Sport and Recreation Strategy incorporating recreation reserves, bowling greens, tennis facilities, golf facilities, aquatic facilities and passive recreation including walking tracks and lakes to consider future investment across the Shire.

Community projects

There have been requests for an official Cane Ball court at the Nhill Tennis Club in the available space adjacent to the disability carparking area to be utilised for the local Karen population. This would allow additional utilisation of the new facilities located on the site and can be accommodated for \$40,000.

The Rainbow Skate Park does not currently have shade, and this makes it difficult for families to utilise it in the hotter climate as there is no adequate shade for supervision and respite. Recent shade structures at Dimboola and Nhill have been well received and it is recommended that a shade structure be erected at Rainbow for a cost of \$30,000.

The Dimboola Toddler Pool requires significant upgrades to meet the needs of the community – its current depth and size are not compatible with the higher usage at the pool and upgrades to the value of \$70,000 are required.

Council has had repeated requests from the early years and child community for more adventurous playgrounds, as such an allocation of \$100,000 through LRCI4 would see the four communities share in upgrades to their playgrounds.

Council adopted the Nhill Streetscape Plan with staged implementation. Stage 2 of the Nhill Streetscape plan involves a pathway, landscaping, and signage linking Goldsworthy Park to Jaypex Park to the value of \$80,798.

The Riverside Caravan Park at Dimboola continues to reach capacity and requires additional powered sites and ability for 24-hour park access through an electric boom gate. Upgrades to accommodate further sites and all hour's access are a \$60,000 investment.

Options:

1. That Council seeks an alternate funding model for the projects proposed.
2. That Council does not fund any or all of the projects listed.

Link to Council Plan:

Our community

Support health living and provide services and activities for people of all ages and abilities.

Built and natural environment

Well maintained physical assets and infrastructure to meet community needs.

Financial Implications:

There is currently a budget of Council revenue for Davis Park upgrades of \$525,000 which has been rolled over and added to for several years as a contribution to leverage grant funding opportunities.

Council is forecast to receive \$1,080,798 in round 4 of LRCI as per the allocations made in the October 2022 budget release. The exact amount will be confirmed when the application portal is opened in June 2023 by the relevant federal government department. The allocations for the previous LRCI rounds have been aligned with the allocation Council receives for their Road to Recovery grant.

It is not intended that additional funds for stage one of Davis Park upgrades be sought from the state government – however future development upgrades of the netball courts and changerooms as well as new club function rooms will need to be predominantly funded through external grant sources including local contributions.

Risk Management Implications:

Projects of the scale of Davis Park upgrades with this level of stakeholder needs, scrutiny and scope requires careful project management to ensure realistic expectations around delivery on budget and on time. A well-qualified project manager and a designated project steering group with clear roles and responsibilities will be crucial to project delivery and success.

The upgrades at Davis Park have been required for close to a decade and recent unsuccessful grant applications have contributed to a strained relationship between Council and the Nhill and District Sporting Club in relation to expectations of delivery and support. This in turn is also causing reputational damage to Council and fractured relationships with funding authorities including Sport and Recreation Victoria.

This report is based on the assumption that the LRCI4 funding guidelines will permit the funds to be used for upgrades at Davis Park, if the upgrades are not permissible then alternate funding will need to be sought through other funding streams at a federal and state level. In addition – the estimated costs of stage one upgrades to the AFL changerooms and grandstand are based on a cost increase of no greater than 20% on the previous cost plan that was undertaken at Davis Park when funding was sought in late 2021 for a similar design. Subject to the prices received through the tender process – the project may need to be further staged or rescope or additional funding sources obtained.

Council is committed to responding to the needs of the community raised through community consultation sessions. The need for recreation across football, netball, cane ball, skate parks, pools and playgrounds is being responded to through the proposed allocation of LRCI4 funding. In addition, the economic development associated with fit for purpose caravan parks are also reflected in the proposed allocations.

Relevant legislation:

The *Local Government Act 2020* sets out overarching principles which include:

- Council decisions are made and actions taken in accordance with the relevant law
- Priority to be given to achieving the best outcomes for the municipal community, including future generations,
- The economic, social and environmental sustainability of the municipal district
- The municipal district is to be engaged in strategic planning and decision making

The decision to fund upgrades to Davis Park must be made with consideration to the above principles.

Community engagement:

There has been extensive engagement over several years with a committee representing the Nhill and District Sporting Club and the need for improvements to Davis Park have repeatedly been raised at Nhill consultation sessions for the Council Plan and Community Action Plans.

There has been consultation between Council, the Nhill Karen community and the Nhill Tennis Club in relation to the design and siting of a Cane Ball court.

There has been ongoing community consultation in the development of the LRCI4 funding through community sessions in the four townships.

Gender equality implications:

A gender impact assessment has been undertaken for the proposal at Davis Park.

Conflict of Interest:

Under section 130(2) of the *Local Government Act 2020*, officers providing advice to Council must disclose any conflict of interest, including the type of interest.

Officer Responsible – Ms Jessie Holmes, Director Infrastructure Services

In providing this advice as the Officer Responsible, I have no disclosable interests in this report.

Author – Ms Jessie Holmes, Director Infrastructure Services

In providing this advice as the Author, I have no disclosable interests in this report.

Communications Strategy:

That a letter be sent to the Nhill and District Sporting Club outlining the funds available and timeframe for expenditure on the first stage of the Davis Park upgrades.

A meeting to be held between the Karen community representatives, Council and the Nhill Tennis Club to progress development of a dedicated Cane ball court.

Public announcements of funding allocations following advice around approval once projects are submitted to LRIC4 and assessed by the relevant department.

Next Steps:

Seek approval from LRIC4 through the relevant federal government department for the allocation of funds to the Davis Park upgrades and the other projects listed in this report in June 2023 when the application portal is opened.

RECOMMENDATION:

That Council:

1. ***Allocates Local Roads and Community Infrastructure Round 4 funding of \$1,080,798 as follows:***
 - (a) ***\$700,000 towards upgrades at Davis Park incorporating the AFL changerooms and grandstand;***
 - (b) ***\$40,000 towards a Cane Ball court at Nhill Tennis Club site;***
 - (c) ***\$30,000 towards the Rainbow Skate Park shade structure;***
 - (d) ***\$70,000 towards the Dimboola Toddler Pool upgrades;***
 - (e) ***\$100,000 towards Shire wide Playground upgrades;***
 - (f) ***\$80,798 towards Stage 2 of the Nhill Streetscape Plan Implementation;***
and
 - (g) ***\$60,000 to Dimboola Riverside Holiday Park upgrades.***
2. ***Carries forward own source funds of \$525,000 into the 23/24 financial year for upgrades at Davis Park incorporating the AFL changerooms and grandstand.***

9.2 GOVERNANCE UPDATES

Responsible Officer: Director Corporate and Community Services

Attachment Numbers: 5 – 6

Introduction:

This report seeks Council adoption of the Public Art Policy and formal rescindment of the Social Media Policy (Council).

Discussion:

Public Art Policy

Hindmarsh Shire Council's Public Art Policy aims to support the delivery of dynamic, contemporary public art to our diverse communities in a creative celebration of place, culture, heritage and environment. The first and current iteration of this policy was developed in 2018, and the review undertaken incorporated learnings from the application period of the document and additional principles that align with the ongoing values and goals of Council. New provisions within the Policy include –

- Amendments and additions to the guiding principles of the policy, including climate considerations and supporting local artists and businesses.
- Increased emphasis on community consultation and engagement with all aspects of the project to foster community ownership of the project.

The Public Art Policy was made available for public consultation from Thursday 6 April to 2023 to Thursday 20 April 2023. No community feedback was received.

Social Media Policy

The Social Media Policy (Council) was the subject of a scheduled review, whereby it was identified that the substantive content of the policy was primarily concerned with operational functions of Council. The Policy contains the principles and processes through which Council staff and volunteers, as delegated and authorised by the CEO, manage Council-affiliated social media pages. Should this policy be rescinded by Council, an appropriate iteration of an operational Social Media Management Policy would be developed to be adopted by the Chief Executive Officer.

Directives around the use of Social Media are also contained within Councillor and Employee Codes of Conduct as well as the Governance Rules and Election Period Policy. Council's objectives around effective and strategic communication is contained within the Council Plan and Vision, as well as embedded across various policies and procedures.

Options:

1. Council can choose to adopt the Public Art Policy and rescind the Social Media Policy;
2. Council can choose to make amendments to the Public Art Policy;
3. Council can choose to not adopt the Public Art Policy and to retain the Social Media Policy (Council) as a Council policy.

Link to Council Plan:

Strong governance practices

Financial Implications:

NIL

Risk Management Implications:

Public Art Policy

Maintaining a clear and comprehensive Public Art Policy provides for the transparent and effective use of public funds to enhance the aesthetic and livability of Hindmarsh Shire Council. Strengthening the guiding principles ensure that any action taken is aligned with the strategic direction of Council and Council's values.

Relevant legislation:

Local Government Act 2020

Local Government Act 1989

Community engagement:

The Public Art Policy was made available to the public for consultation from Thursday 6 April to 2023 to Thursday 20 April 2023.

Gender equality implications:

A Gender Impact Assessment was conducted for the amended Public Art Policy. No GIA is required for the Social Media Policy as the decision to rescind the policy has no direct or significant impact on the public.

Conflict of Interest:

Under section 130(2) of the *Local Government Act 2020*, officers providing advice to Council must disclose any conflict of interest, including the type of interest.

Officer Responsible – Monica Revell, Director Corporate and Community Services

In providing this advice as the Officer Responsible, I have no disclosable interests in this report.

Author – Petra Croot, Manager Governance and Human Services

In providing this advice as the Author, I have no disclosable interests in this report.

Communications Strategy:

All policies and delegations will be placed on Council's website, will be available for public viewing on request and will be distributed to Council staff.

Next Steps:

As above.

RECOMMENDATION:

Council adopts the Public Art Policy and rescinds the Social Media Policy (Council).

MOVED: CRS R Gersch/M Albrecht

Council adopts the Public Art Policy and rescinds the Social Media Policy (Council).

CARRIED

Attachment Numbers: 5 – 6

9.3 COUNCIL PLAN 2021-2025 PROGRESS REPORT

Responsible Officer: Director Corporate and Community Services

Introduction:

This report provides Council with a progress update on the actions for 2022/2023 taken against the Council Plan 2021-2025.

Discussion:

Council’s main strategic document the Council Plan 2021-2025 was developed and adopted on 22 September 2021. The document contains strategic objectives under four Themes Our Community; Built and Natural Environment; Competitive and Innovative Economy; and Good Governance & Financial Sustainability with annual actions on how Council will achieve the objective of the plan.

Progress on the 2022/2023 actions against the Plan are included below:

Theme One – Our Community

Action Item	Update on Action	Status
Monthly and fortnightly e-newsletters distributed through emails and available on Council’s website	Q3. Council continues to prepare and circulate fortnightly e-newsletters and monthly newsletters. Monthly Newsletters are printed for collection at all libraries, Council offices and a variety of businesses in Dimboola, Jeparit, Nhill and Rainbow. Council is now also including a 2-page newsletter with Community Care Accounts when they are being sent out each month.	Ongoing
Establish LGBTIQ+ Focus Groups to advise Council on key projects and initiatives	Q3. The LGBTIQ+ Advisory Committee met on Wednesday 8 February and Wednesday 12 April 2023.	Ongoing
Councillors and Council Officers attend advisory committees including Town Committees, Wimmera Mallee Pioneer Museum and Yurunga Homestead meetings	Q3. Councillors and Council Officers attend Town Advisory Committees, Wimmera Mallee Pioneer Museum and Yurunga Homestead meetings.	Ongoing
Advocate for after school care and an increase childcare in Hindmarsh Shire.	Q3. Emerge attended the March 2023 briefing session to discuss services and challenges with Councillors.	Ongoing
Implement the Hindmarsh	Q3. 2023 Youth Councillors became familiar	Ongoing

<p>Shire Youth Strategy</p>	<p>with the youth Strategy at their retreat in February to ensure they are all working towards the same goals and outcomes. Council and Youth Council continue to work with community groups and organisations to further implement the Hindmarsh Shire Youth Strategy and dedicated to strengthening relationships within our community to help with implementation and success of the strategy.</p>	
<p>Work with various agencies to host and promote school holiday activities throughout the Shire.</p>	<p>Q3. Further relationships have been established with facilitators to bring about new, exciting, and past activities that have been well received by the community. Activities benefit the health and wellbeing of our Youth and are focused on their wants and needs throughout school holidays. We work closely with schools for promotion and have plans to work with local neighborhood houses to collaborate and host activities in the future.</p>	<p>Ongoing</p>
<p>Continue to support early years services in Hindmarsh Shire</p>	<p>Q3. A meeting was held with the six Councils who have been nominated for the pre-prep roll out to advocated for appropriate resources.</p>	<p>Ongoing</p>
<p>Partner with Nhill Learning Centre to ensure barriers and views of the Karen and other multicultural communities are considered</p>	<p>Q3. A multicultural waste session was held on Wednesday 29 March 2023 to launch the video on the three bins (Red – waste; Yellow – recycling; and Purple – glass). The videos were presented with English and Karen voice overs. Council’s Youth Officer is working closely with the Centre for Multicultural Youth who are creating positive activities and opportunities at Nhill Learning Centre. Council is strengthening their relationship and supporting CMY where appropriate to bring about more opportunities for our Karen and other multicultural community and young people.</p>	<p>Ongoing</p>
<p>Support and host youth events that are accessible to all Hindmarsh Shire youth.</p>	<p>Q3. Continue to actively seek events and opportunities inclusive of all young people. In-depth discussions happening at Youth Council meetings to ensure broader personalities and hobbies are being addressed and events organised to suit these. Youth Council continue to evaluate the accessibility of all their events and opportunities for young people and are</p>	<p>Ongoing</p>

	extremely passionate about addressing the entire youth community.	
Key documents translated into Karen	Q3. The cat desexing program poster and waste information session poster was translated into Karen.	Ongoing
Undertake Cultural Audit and Develop Strategy	Q3. Work has commenced on the cultural audit with the consultant aiming to have the work completed by 30 June 2023.	Underway
Support our ageing community through hosting seniors concert, social connection activities including movie matinees and morning teas, and delivery of community care service	Q3. Monthly class movies continue to be shown with people enjoying the films and an opportunity to connect. Cuppa Connections continue in each of the libraries on a weekly basis. Planning is underway for the delivery of digital literacy to seniors in Hindmarsh Shire Libraries.	Ongoing
Support local community events such as the Rainbow Desert Enduro, Nhill Friday Fiestas in February, Peter Taylor Barefoot Tournament etc.	Q3. Council officers continue to support event organisers through a range of different channels including permit processing, promotion and assistance with traffic management plans.	Ongoing
Celebrate volunteers week, International Day of People with Disability and Harmony day	Q3. Council celebrated Harmony Day with a citizenship ceremony and celebration which included guest speakers, videos coordinated by Hindmarsh Shire Youth Councillors in Nhill who recorded videos of their peers and teachers who discussed culture and what it meant to them, 3 Karen young people involved in a recent photography project ran by Meg Lee called "Happy Snaps" also recorded a video for Harmony Day and openly discussed their culture and background. A multicultural morning tea followed these presentations where we celebrated food from several different cultures and cuisines.	Ongoing
Support culturally significant days including for first nations people	Q3. Planning is underway for an activity to celebrate NAIDOC week.	Ongoing
Provide community action grants to support Hindmarsh community groups and organisations	Q3. Community Action Grants closed on Friday 10 February and a recommendation went to Council on Wednesday 1 March 2023. 4 out of 5 applications were deemed successful and Council are now receiving acceptance of grant forms from applicants.	Ongoing

Continue to advocate for funding for the Rural Outreach Program	Q3. Council places quarterly posts on Facebook to promote this valuable service to our community. Officers advocate for continuation of this important program at every opportunity.	Ongoing
Advocate for and host a range of learning and skill development opportunities for all ages throughout Hindmarsh	Q3. Planning is underway for the delivery of digital literacy for seniors training in Hindmarsh Shire Libraries.	Ongoing
Support and coordinate the volunteer taxi service in Nhill	Q3. Council continues to coordinate and support the Volunteer Taxi Service in Nhill.	Ongoing
Work with community groups including Senior Citizens to re-establish following the COVID-19 pandemic	Q1. Council's Community Development and Social Support Officer continues to liaise with Senior Citizens. Q2. Many community groups struggled to regroup post-lockdown, but have found new ways to operate. HSC assisted Nhill Senior Citizens to re-establish. The group regularly liaised with HSC regarding Covid safety requirements. Club president reported the numbers are returning and they have a number of new members in 2022.	Ongoing
Consider community garden opportunities in Dimboola	Q3. A community garden was prioritised at the Dimboola Community Planning meeting on 27 March 2023 for the development of the Community Plan.	Underway

Theme Two – Built & Natural Environment

Action Item	Update on Action	Status
Seal Dimboola Civic Hub Carpark; laneway between Lochiel Street and public amenities and Road between Wimmera Street and Carpark.	Q3. Works have been completed for the sealing of the carpark, laneway and road. Lighting in the car park will be completed in mid-June with lighting along the laneway and Lochiel Street between the road and the gardens completed in April.	Completed
Implement glass collection throughout the Shire	Q3. Glass bins were delivered in March 2023 in preparation for first collection on 14 April 2023 and advertising undertaken in local newspapers.	Underway
Work with Hindmarsh Landcare in addressing	Q3. Maps provided and returned to Council identifying target areas for spraying. A	Underway

pest and weed problems throughout Hindmarsh including the weed Gazania which is spreading along roadside verges.	contractor has been engaged to undertake works in Q4.	
Seek funding for BMX dirt tracks, pocket parks, dog parks	Q3. Council was advised by Rainbow Oasis that they were successful in obtaining funding for BMX Track.	Ongoing
Hold free green waste month in September and encourage residents to tidy their properties	Q3. No update	Ongoing
Implementation of Nhill streetscape plan	Q3. Planning has progressed with cost estimates obtained for the construction of the Nhill Lake Pathway. Discussions are being held on the capacity for Council staff to undertake the works or if quotations will need to be sought for a third party to undertake the works.	Underway
Installation of solar heating on Nhill swimming pool	Q3. Council is still awaiting consent for works from the Department of Education and Training (DET). A contractor has been engaged to undertake the installation once consent has been received.	Ongoing
Develop playground strategy	Q3. Consultation to occur in Q4 with early years and young people alongside guardians.	Underway
Seek funding for all abilities access to the swimming pool and changeroom at Dimboola Swimming Pool	Q3. All ability hoists were installed in Q3 at Dimboola and Rainbow Swimming Pools.	Underway
Seek funding to develop a Masterplan for the Dimboola Recreation Reserve	Q3. No update.	Delayed
Seek funding to undertake a solar assessment on Council buildings and halls	Q3. No update.	Delayed
Construction of shade structures at Dimboola and Nhill Skateparks	Q3. Shelters at Dimboola and Nhill Skateparks have been constructed and seating installed. Security lighting will be installed in Q4.	Underway

Consider opportunities and seek funding for lighting in public areas	Q3. Funding opportunities for increased lighting will continue to be monitored.	Ongoing
Ensure Council representation on Western Highway Action Committee, Wimmera Regional Transport Group and Hindmarsh Landcare Network	Q3. Council continues to have representatives on the Western Highway Action Committee, Regional Transport Group and Hindmarsh Landcare Network	Ongoing
Continue to advocate for funding for Davis Park improvements	Q3. Minor amendments have been made to existing plans. A report will be presented to the May 2023 Council meeting regarding allocating funding from the LRCI phase 4 program.	Ongoing

Theme Three – Competitive and Innovative Economy

Action Item	Update on Action	Status
Upgrades to ensuites at Dimboola Caravan Park	Q3. Quotes received were higher than budgeted, rescoped works now being quoted.	Ongoing
Provide the business assistance grants program	Q3. Two submissions were received for Round 2 of the Business Assistance Grants program with both applications obtaining funding.	Ongoing
Promote Hindmarsh as a tourism destination to stop, stay and play	Q3. No update	Ongoing
Partner with West Vic Business to provide events and education for Hindmarsh businesses to come together, network and learn	Q3. Council hosted a Hindmarsh Business Networking Session in Dimboola in March. We are planning the next quarterly meeting for Jeparit, with a date yet to be determined.	Ongoing
Tourism information available in Hindmarsh Shire business	Q3. No update	Ongoing
Seek funding for continued development of Hindmarsh Shire Caravan Parks including a Masterplan for Nhill Caravan Park	Q3. Construction of the six new accommodation units is progressing well with an estimated mid-year delivery date. Council will call for quotations for the Nhill Caravan Park Master Plan during April / May 2023.	Underway
Implementation of Council's economic development strategy	Q3. A consultant has been appointed to develop the Economic Development Strategy with the Community Planning Sessions	Underway

	including discussion regarding the Economic Development Strategy, and feedback being sought from the community.	
Seek funding and implement components of the Wimmera Mallee Pioneer Museum Masterplan	Q3. No update.	Ongoing
Support Wimmera Development Association housing strategy	Q3. Council continues to attend WDA housing strategy meetings.	Ongoing
Commence Silo Art at Llew Schilling Silo in Rainbow and Arkona Silo	Q3. Design is now complete, and the project will be advertised for tender in late April 2023. The tender period will be open through to early June. Other site works are ongoing – replacement garage permit approved, and materials ordered.	Underway
Construct new amenities at Rainbow Caravan Park	Q3. Final designs are being prepared and building permit application process is underway.	Underway

Theme Four – Good Governance & Financial Sustainability

Action Item	Update on Action	Status
Implementation of strategies identified in the Workforce Plan	Q3. Staff Learning and Development Policy in draft form to be taken to Senior Management Team – this policy allows for transition planning in line with equal employment opportunity principles. Council has registered for the 2023 People Matters Survey to collect data relating to gender equality indicators. An additional recruitment presentation relating to governance has been drafted and is being reviewed by Human Resources. A video is being developed by Council in collaboration with local stakeholders to market Hindmarsh Shire as an attractive area to live and work within. Position Descriptions have been reviewed as part of the Infrastructure Restructure and our performance and development review framework is currently under review.	Ongoing
Online streaming of Council meetings through Council's Facebook page	Q3. Council continues to livestream the Council meetings with links to the recordings included on the Council website.	Ongoing
Consideration of employing a trainee, or apprentice when	Q3. Council continues to consider opportunities on a case-by-case basis as positions become vacant or new positions are available.	Ongoing

vacancies arise throughout the year		
Community conversation sessions held annually in our four main towns	Q3. Community Consultation Sessions are being planned for mid-May 2023. Community Planning consultations were held in each town in late March / early April for input into the community plans and economic development strategy.	Ongoing
Drop-in sessions held allowing for community input on key documents or projects	Q3. No update	Ongoing
Update Long Term Financial Plan	Q3. The updated Long Term Financial Plan is currently being updated as part of the 2023/2024 annual budget development.	Ongoing
Quarterly finance reporting to Council	Q3. The second quarter finance report was presented to Council on 1 February 2023.	Ongoing
Ensure Council representation on Wimmera Development Association, Rural Council's Victoria, and Municipal Association of Victoria	Q3. Council continues to have representatives on the WDA, RCV and MAV.	Ongoing
Quarterly Council plan reporting to Council	Q3. The second quarter update was presented to Council on 1 February 2023	Ongoing
Implementation of gender equality action plan	Q3. Aboriginal and Torres Strait Islander cultural awareness training is scheduled for 22 May 2023. The LGBTQI+ Advisory Committee continues to contribute to planning around LGBTQI+ matters and days of significance. Council will complete the 2023 People Matters Survey to provide measurable data on gender equality in our workforce. The Policy Framework was reviewed to ensure that gender is accounted for when reviewing or developing policies.	Ongoing
Collaborate with Horsham Rural City Council, and Loddon Shire to implement the Rural Council Transformation Project	Q3. Council staff are continuing to work with Civica, Loddon and Horsham on the new structures required for the Altitude software.	Ongoing
Audit & Risk Committee meetings review and	Q3. Council's Risk register is provided at each Audit & Risk Committee meeting for discussion	Ongoing

consider Council risks at each meeting	and consideration.	
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Link to Council Plan:

The Council Plan is the overarching plan that sets the strategic objectives for Council over the four-year term and provides annual actions to achieve the plan under the four key themes.

Financial Implications:

Council’s annual budget allocates funding to complete initiatives.

Risk Management Implications:

The preparation of the Council Plan, incorporating the Health and Wellbeing Plan, and Community Vision is a statutory requirement.

Relevant legislation:

The Council Plan was developed under the *Local Government Act 2020* and Public Health and *Wellbeing Act 2008*.

Community engagement:

Community engagement was undertaken as part of the development and adoption of the Council Plan 2021-2025.

Gender equality implications:

A gender impact assessment was not required.

Conflict of Interest:

Under section 130(2) of the *Local Government Act 2020*, officers providing advice to Council must disclose any conflict of interest, including the type of interest.

Author and Officer Responsible – Monica Revell, Director Corporate & Community Services
In providing this advice as the Author and Officer Responsible, I have no disclosable interests in this report.

RECOMMENDATION:

That Council receives the Council Plan 2021-2025 third quarter actions 2022/2023 update.

MOVED: CRS R Gersch/M Albrecht

That Council receives the Council Plan 2021-2025 third quarter actions 2022/2023 update.

CARRIED

9.4 FINANCIAL REPORT FOR THE PERIOD ENDING 31 MARCH 2023

Responsible Officer: Director Corporate and Community Services
Attachment Number: 7

Introduction:

The Financial Report for the third quarter of the 2022/2023 financial year has been prepared, including explanations of variances where applicable, and is presented for the information of Council.

RECOMMENDATION:

That Council notes the Financial Report for the period ending 31 March 2023 as presented.

MOVED: CRS R Ismay/D Nelson

That Council notes the Financial Report for the period ending 31 March 2023 as presented.

CARRIED

Attachment Number: 7

9.5 COUNCIL PLAN DRAFT ACTION PLAN 2023/2024

Responsible Officer: Director Corporate and Community Services
Attachment Number: 8

Introduction:

This report presents the Council Plan draft Action Plan 2023/2024 and recommends advertising the draft Action Plan 2023/2024 for public submissions.

Discussion:

At the Council meeting held on Wednesday 22 September 2021 Council resolved to adopt the Council Plan 2021-2025, incorporating the Health and Wellbeing Plan, and Community Vision 2040.

The Council Plan 2021-2025 incorporates the Community Vision and Public Health and Wellbeing Plan (Plan). In developing the Vision, Council Plan and Health and Wellbeing Plan Council considered the needs and aspirations raised by our communities. Council engaged with the community by conducting an online survey and holding in person community conversation sessions.

In developing the Plan, it was intended to be a living document that will be reviewed and updated annually. The plan contains annual actions, allowing Council to adapt to our changing environment and inform the budget for each financial year.

The development of the 2023/2024 Action Plan was informed through community consultation in the initial development of the plan along with consultation sessions held during March and October 2022.

The draft action plan continues to work towards the vision: Working together to be a connected, inclusive and prosperous community.

This vision will be achieved through values with transparent and accountable actions and decisions, inclusion, and collaboration with residents, showing respect and integrity to all; and being proactive and responsible encouraging innovation.

Actions for 2023/2024 are set against four key themes:

- Our Community
- Built and Natural Environment
- Competitive and Innovative Economy
- Governance and Financial Sustainability.

The Health and Wellbeing Actions 2023/2024 focus on five key areas:

- Healthy Eating
- Active Living
- Social Connectivity

- Improving Mental Health
- Preventing all forms of violence and injury.

The draft Action Plan 2023/2024 will be made available to allow for submissions for the period Thursday 4 May 2023 to Friday 2 June 2023. Submissions will be considered at the Council meeting held on Wednesday 28 June 2023.

Options:

Council must prepare and advertise its Council Plan 2021-2025 and Community Vision 2040 pursuant to the *Local Government Act 2020*. The Health and Wellbeing Plan must be prepared pursuant to the *Public Health and Wellbeing Act 2008*.

Link to Council Plan:

The Council Plan is the overarching plan that sets the strategic objectives for Council over the four-year term and provides initiatives and activities under the four key themes. The annual action plan details action items to be undertaken during the financial year.

Financial Implications:

Actions for 2023/2024 will be contained within the annual budget 2023/2024 and long-term financial plan.

Risk Management Implications:

The preparation of the Council Plan, incorporating the Health and Wellbeing Plan, and Community Vision is a statutory requirement.

Relevant legislation:

Local Government Act 2020

Public Health and Wellbeing Act 2008

Community engagement:

The Council Plan 2021-2025, incorporating the Health and Wellbeing Plan, and Community Vision 2040 was developed following consultation with the community through an online survey and in person community conversation sessions. The Annual Action Plan is informed by the initial Council Plan discussions and subsequent community conversation sessions where round table discussions were held and participated were asked to consider and discuss a series of questions with Councillors and staff members.

Gender equality implications:

No gender impact assessment is required.

Conflict of Interest:

Under section 130(2) of the *Local Government Act 2020*, officers providing advice to Council must disclose any conflict of interest, including the type of interest.

Author & Officer Responsible – Monica Revell, Director Corporate & Community Services

In providing this advice as the Author & Officer Responsible, I have no disclosable interests in this report.

Communications Strategy:

Copies of the draft Council Plan Actions 2023/2024 will be available at Council's Customer Service Centres and on Council's website.

RECOMMENDATION:

That Council:

- 1. approves the draft Council Plan Actions 2023/2024 incorporating the Health and Wellbeing Plan Actions 2023/2024 for the purposes of public consultation;***
- 2. gives public notice of the preparation of the draft Council Plan Actions 2023/2024 incorporating the Health and Wellbeing Plan Actions 2023/2024 inviting written submissions from the public for the period Thursday 4 May 2023 to Friday 2 June 2023;***
- 3. considers public submissions and the formal adoption of the Council Plan Actions 2023/2024 incorporating the Health and Wellbeing Plan Actions 2023/2024 at the Council meeting on Wednesday 28 June 2023.***

MOVED: CRS R Gersch/D Nelson

That Council:

- 1. approves the draft Council Plan Actions 2023/2024 incorporating the Health and Wellbeing Plan Actions 2023/2024 for the purposes of public consultation;***
- 2. gives public notice of the preparation of the draft Council Plan Actions 2023/2024 incorporating the Health and Wellbeing Plan Actions 2023/2024 inviting written submissions from the public for the period Thursday 4 May 2023 to Friday 2 June 2023;***
- 3. considers public submissions and the formal adoption of the Council Plan Actions 2023/2024 incorporating the Health and Wellbeing Plan Actions 2023/2024 at the Council meeting on Wednesday 28 June 2023.***

CARRIED

Attachment Number: 8

10 COUNCIL COMMITTEES

10.1 LGBTIQ+ ADVISORY COMMITTEE

Responsible Officer: Chief Executive Officer

Attachment Number: 9

Introduction:

The LGBTIQ+ Advisory Committee held a meeting on 12 April 2023. The purpose of this report is to note the minutes and consider any recommendations from this meeting. A copy of the minutes is included as an attachment for the information of Council.

RECOMMENDATION:

That Council:

- 1. notes the minutes of the LGBTIQ+ Advisory Committee Meeting held on 12 April 2023; and***
- 2. renames the LGBTIQ+ Advisory Committee to Hindmarsh Pride Committee.***

MOVED: CRS D Nelson/R Ismay

That Council:

- 1. notes the minutes of the LGBTIQ+ Advisory Committee Meeting held on 12 April 2023; and***
- 2. renames the LGBTIQ+ Advisory Committee to Hindmarsh Pride Committee.***

CARRIED

Attachment Number: 9

10.2 WIMMERA MALLEE PIONEER MUSEUM COMMUNITY ASSET COMMITTEE

Responsible Officer: Chief Executive Officer
Attachment Number: 10

Introduction:

The Wimmera Mallee Pioneer Museum Community Asset Committee held a meeting on 21 March 2023. The purpose of this report is to note the minutes from this meeting. A copy of the minutes is included as an attachment for the information of Council.

RECOMMENDATION:

That Council notes the minutes of the Wimmera Mallee Pioneer Museum Community Asset Committee meeting held on 21 March 2023.

MOVED: CRS R Gersch/R Ismay

That Council notes the minutes of the Wimmera Mallee Pioneer Museum Community Asset Committee meeting held on 21 March 2023.

CARRIED

Attachment Number: 10

10.3 YURUNGA HOMESTEAD COMMUNITY ASSET COMMITTEE

Responsible Officer: Chief Executive Officer
Attachment Number: 11

Introduction:

The Yurunga Homestead Community Asset Committee held a meeting on 23 March 2023. The purpose of this report is to note the minutes from this meeting. Copies of the minutes is included as an attachment for the information of Council.

RECOMMENDATION:

That Council notes the minutes of the Yurunga Homestead Community Asset Committee meeting held on 23 March 2023.

MOVED: CRS D Nelson/M Albrecht

That Council notes the minutes of the Yurunga Homestead Community Asset Committee meeting held on 23 March 2023.

CARRIED

Attachment Number: 11

11 LATE REPORTS

No late reports.

12 NOTICES OF MOTION

No notices of motions.

13 OTHER BUSINESS

No other business.

14 CONFIDENTIAL REPORTS

In accordance with Section 66 (2) (a) of the *Local Government Act 2020*, Council may close the meeting to the public to consider confidential information. Confidential information is defined by part IV of the *Freedom of Information Act 1982*, and by Section 3 of the *Local Government Act 2020* as being:

- a) Council business information, being information that would prejudice the Council's position in commercial negotiations if prematurely released;
- b) security information, being information that if released is likely to endanger the security of Council property or the safety of any person;
- c) land use planning information, being information that if prematurely released is likely to encourage speculation in land values;
- d) law enforcement information, being information which if released would be reasonably likely to prejudice the investigation into an alleged breach of the law or the fair trial or hearing of any person;
- e) legal privileged information, being information to which legal professional privilege or client legal privilege applies;
- f) personal information, being information which if released would result in the unreasonable disclosure of information about any person or their personal affairs;
- g) private commercial information, being information provided by a business, commercial or financial undertaking that—
 - i. relates to trade secrets; or
 - ii. if released, would unreasonably expose the business, commercial or financial undertaking to disadvantage;
- h) confidential meeting information, being the records of meetings closed to the public under section 66(2)(a);
- i) internal arbitration information, being information specified in section 145;
- j) Councillor Conduct Panel confidential information, being information specified in section 169;

- k) information prescribed by the regulations to be confidential information for the purposes of this definition;
- l) information that was confidential information for the purposes of section 77 of the Local Government Act 1989

RECOMMENDATION:

That the meeting be closed in accordance with section 66 (2) (a) of the Local Government Act 2020, to consider reports that contain confidential information as defined by section (3) of the Local Government Act 2020, and/or Part IV of the Freedom of Information Act 1982:

14.1 REQUEST FOR QUOTATION – SUPPLY, CONSTRUCTION AND INSTALLATION OF PEDESTRIAN BRIDGES – RFQ 2022-2023 – Q23 – this report contains “Council business information, being information that would prejudice the Council’s position in commercial negotiations if prematurely released” insofar as it pertains to contractual matters.

MOVED: CRS R Gersch/D Nelson

That the meeting be closed in accordance with section 66 (2) (a) of the Local Government Act 2020, to consider reports that contain confidential information as defined by section (3) of the Local Government Act 2020, and/or Part IV of the Freedom of Information Act 1982:

14.1 WIMMERA RIVER DISCOVERY TRAIL VARIATION AND REQUEST FOR QUOTATION – SUPPLY, CONSTRUCTION AND INSTALLATION OF PEDESTRIAN BRIDGES – RFQ 2022-2023 – Q23 – this report contains “Council business information, being information that would prejudice the Council’s position in commercial negotiations if prematurely released” insofar as it pertains to contractual matters.

CARRIED

15 LATE CONFIDENTIAL REPORTS

16 MEETING CLOSE

There being no further business, Cr B Ireland declared the meeting closed at 4:22pm.

HINDMARSH SHIRE COUNCIL

Draft Budget 2023-24



Pictured: Jeparit residents enjoying a cuppa and complimentary morning tea at the Jeparit Library

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Disclaimer

The information contained in this document is for general guidance only. It is not professional advice and should not be used, relied upon or treated as a substitute for specific professional advice. Given the changing nature of laws, rules and regulations, and the inherent hazards of electronic communication, there may be delays, omissions or inaccuracies in information contained in this document.

The model budget, including financial statements, has been prepared in accordance with the requirements of the *Local Government Act 2020* and the *Local Government (Planning and Reporting) Regulations 2020*. While every effort has been made to ensure that the information contained in this document has been accurate and complies with relevant Victorian legislation, each Council remains responsible to ensure that the budget they prepare is compliant with all statutory requirements.

Mayor and CEO's Introduction

We are pleased to present Hindmarsh Shire Council's draft 2023/24 Budget.

In September 2021 Hindmarsh Shire Council adopted the Council Plan 2021-2025 and Community Vision, a longer term look at where our residents see Hindmarsh Shire in 20 years time.

The draft budget is based on the Council Plan 2021-2025 Key Result Areas of:

- Our Community
- Built and Natural Environment
- Competitive and Innovative Economy
- Governance and Financial Sustainability

The draft 2023/24 budget has been developed to balance the retention of existing community service levels, maintenance and renewal of assets, and new initiatives to improve the amenity and make Hindmarsh a better place to live.

The draft 2023/24 budget includes capital works expenditure of \$7.41m. Renewal expenditure for 2023/24 is \$5.93m. A number of larger grant funded projects are budgeted to be completed during 2023/24 including:

- Upgrade to Davis Park
- Flood recovery work to Dimboola Minyip Rd and Lorquon-Netherby Rd
- Tarranyurk East Rd
- Woorak-Ni-Ni-Lorquon Rd

The budget proposes a rate increase of 3.5% in line with the Essential Services Commission (ESC) calculation method, which applies the increase to the average rates payable per assessment. This ensures Council is compliant with the State Government's Fair Go Rates System (FGRS) which has capped rate increases by Victorian Councils to 3.5% in 2023/24. Council has not applied for a rate cap variation for 2023/24.

Property revaluations are now completed annually, and although Council's rate increase is 3.5%, individual rate increases are impacted by the changes in property values. This means if your property value increases by more than the average property valuation for that category, then your rate increase may be more than 3.5%. However, if your property value increases by less than the average property valuation for that category, then your rate increase may be less than 3.5%. In some cases individual rates may be less than the previous year.

Key Initiatives

The proposed key initiatives for the 2023/24 financial year are outlined below. Further details are included in the relevant sections of the budget document.

Empowered Communities

- \$7,500 to each of the Shire's four Town Committees. This funding can be used as seed funding for grants that will fund works important to the community in each town. This funding assists community events that bring people to Hindmarsh.
- Hindmarsh Youth Council funding of \$10,000 to allow this successful initiative to continue.
- \$20,000 in Community Action Grants which will enable community groups to apply for funding for events, minor facility upgrades, small equipment and community assistance.
- \$35,000 for Community Events.

Infrastructure

- Reseals and Final Seals: Council will undertake reseal and final seal projects totalling \$120,000 based on condition audits in 2023/24 including Mr Elgin Rd.
- Sealed Road Construction: Council will undertake sealed road construction projects totalling \$2,416,000 in 2023/24. These include: Dimboola Minyip Rd, Lorquon-Netherby Rd & Lorquon Rd, Tarranyurk East Rd and Woorak-Ni-Ni-Lorquon Rd as well as asphaltting Western Beach Rd.
- Road Resheet Projects: Council will undertake resheeting Dimboola Minyip Rd during 2023/24 totalling \$882,588.
- Footpaths: Footpath projects totalling \$130,000 will be undertaken during 2023/24. These include: William St, Nhill and Bow St, Rainbow.
- Unsealed Road Construction. Council will undertake 14 unsealed road construction projects totalling \$994,150 during 2023/24. These include: Tarranyurk East Rd, Tarranyurk West Rd, Weirs Rd, C Werner Rd and Propodollah Extension.

We are pleased to present the draft 2023/2024 budget to the Hindmarsh community and look forward to implementing the many programs and initiatives.

We encourage you to read the draft 2023/24 budget and make a submission by visiting one of our Customer Service Centres or online at www.hindmarsh.vic.gov.au/have-your-say by close of business on Thursday 22 June 2023.

Cr Brett Ireland

Mayor

Greg Wood

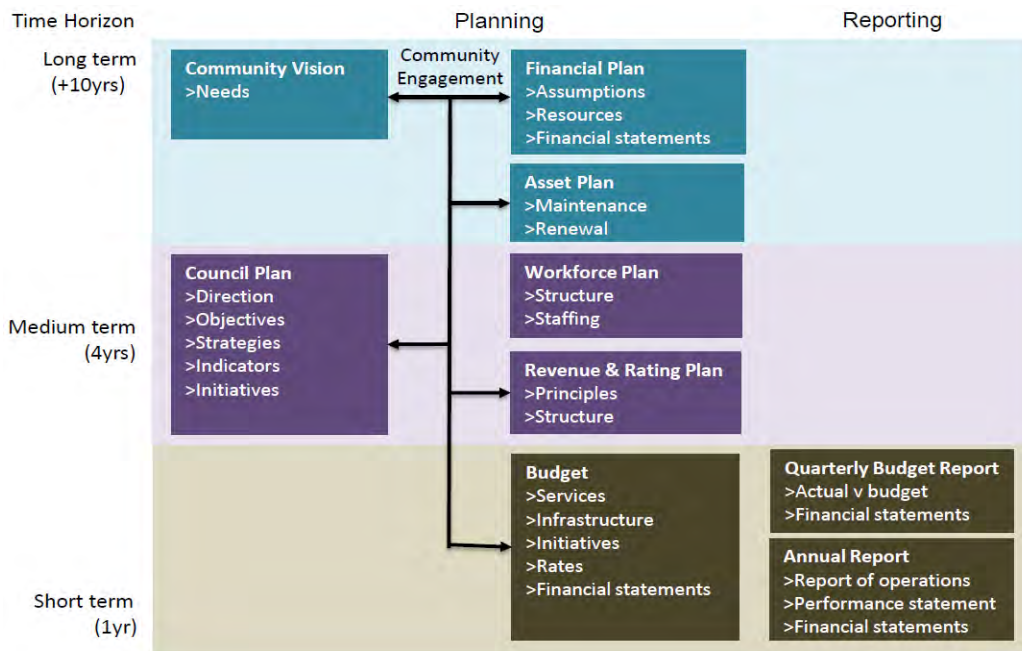
Chief Executive Officer

1. Link to the Integrated Strategic Planning and Reporting Framework

This section describes how the Budget links to the achievement of the Community Vision and Council Plan within an overall integrated strategic planning and reporting framework. This framework guides the Council in identifying community needs and aspirations over the long term (Community Vision and Financial Plan), medium term (Council Plan, Workforce Plan, and Revenue and Rating Plan) and short term (Budget) and then holding itself accountable (Annual Report).

1.1 Legislative planning and accountability framework

The Budget is a rolling four-year plan that outlines the financial and non-financial resources that Council requires to achieve the strategic objectives described in the Council Plan. The diagram below depicts the integrated strategic planning and reporting framework that applies to local government in Victoria. At each stage of the integrated strategic planning and reporting framework there are opportunities for community and stakeholder input. This is important to ensure transparency and accountability to both residents and ratepayers.



Source: Department of Jobs, Precincts and Regions

The timing of each component of the integrated strategic planning and reporting framework is critical to the successful achievement of the planned outcomes.

1.1.2 Key planning considerations

Service level planning

Although councils have a legal obligation to provide some services— such as animal management, local roads, food safety and statutory planning—most council services are not legally mandated, including some services closely associated with councils, such as libraries, building permits and sporting facilities. Further, over time, the needs and expectations of communities can change. Therefore councils need to have robust processes for service planning and review to ensure all services continue to provide value for money and are in line with community expectations. In doing so, councils should engage with communities to determine how to prioritise resources and balance service provision against other responsibilities such as asset maintenance and capital works.

Community consultation needs to be in line with a councils adopted Community Engagement Policy and Public Transparency Policy.

1.2 Our purpose

Our Vision

- Working together to be a connected, inclusive and prosperous community.

Our mission

1. Increase accessible services to enable the community to be healthy, active and engaged.
2. Provide infrastructure essential to support the community; and to protect and enhance our natural environment.
3. Foster a sustainable and diversified local economy where economic growth is encouraged and supported.
4. Promote user friendly services to ensure transparency, good governance and financial sustainability.
5. Advance gender equality, equity and inclusion for all.

Our values

Hindmarsh Shire Council is committed to:

- Transparent and accountable actions and decisions
- Inclusion and collaboration with residents
- Showing respect and integrity to all
- Being proactive and responsible by encouraging innovation

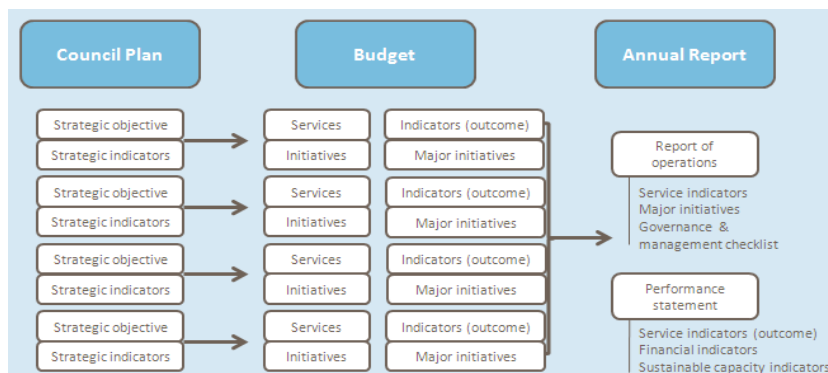
1.3 Strategic objectives

Council delivers services and initiatives under 47 service categories. Each contributes to the achievement of one of the four Key Result Areas (KRA) set out in the Council Plan for the years 2021-2025. The following table lists the four KRA as described in the Council Plan.

Strategic Objective	Description
Our Community	<ul style="list-style-type: none">• A community well informed and engaged.• Communities that feel safe and are resilient.• Provide arts and cultural activities that strengthen social connection.• A range of effective and accessible services to support the health and wellbeing of our community.• Support healthy living and provide services and activities for people of all ages and abilities.• A range of transport options.• Assist our community to recover from COVID-19.• A diverse community.• Recognise, respect and support Traditional Owners.• Digital connectivity to support learning and work.
Built and Natural Environment	<ul style="list-style-type: none">• Well-maintained physical assets and infrastructure to meet community and organisational needs.• Environmentally sustainable practices.• Attractive streetscapes.
Competitive and Innovative Economy	<ul style="list-style-type: none">• Facilitating and supporting economic development..• Develop and promote local tourism opportunities that attract visitation.
Good Governance & Financial Sustainability	<ul style="list-style-type: none">• Strong governance practices• Long-term financial sustainability.• Ensure responsible risk management principles.• A skilled Council and workforce capable of meeting community needs.• Gender equity, respect and leadership.

2. Services and service performance indicators

This section provides a description of the services and initiatives to be funded in the Budget for the 2023/24 year and how these will contribute to achieving the strategic objectives outlined in the Council Plan. It also describes several initiatives and service performance outcome indicators for key areas of Council's operations. Council is required by legislation to identify initiatives, major initiatives and service performance outcome indicators in the Budget and report against them in their Annual Report to support transparency and accountability. The relationship between these accountability requirements in the Council Plan, the Budget and the Annual Report is shown below:



Source: Department of Jobs, Precincts and Regions

2.1 Strategic Objective 1: Our Community

To achieve our KRA **Our Community**, our mission is to increase accessible services to enable the community to be health, active and engaged. The services, initiatives, major initiatives and service performance indicators for each business area are described over the following pages.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Community Development	Councils Community Development Team works with community groups, organisations and individuals to assist communities reach their aspirations and be healthy, active and engaged.	Operating Expenditure	252,592	401,228	177,509
		Operating Revenue	77,944	500,775	-
		NET Expenses (Revenue)	174,648	(99,547)	177,509
		Capital Expenditure	4,500	625,000	-

Initiatives:

- Establish stronger links with the indigenous community through the Barengi Gadjin Land Council, Goolum Goolum Aboriginal Cooperative and Wurega Aboriginal Corporation.
- Continue to support the integration of migrants into the community.
- Support and celebrate volunteering and work collaboratively with volunteer groups.
- Provide ongoing financial assistance and operational support for town committees to ensure they remain strong and focused conduits between community and Council and that their statutory obligations are met.
- Commence work towards outcomes and projects identified and prioritised in the Dimboola and Nhill Community Precinct Plans.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Maternal and Child Health Centres	Maintain Maternal and Child Health facilities in Dimboola and Nhill. Council provides support to early years' services through the Municipal Early Years Plan. Council does not provide Maternal and Child Health Services. This service is provided by West Wimmera Health Services in Dimboola, Jeparit, Nhill and Rainbow.	Operating Expenditure	8,003	17,497	17,542
		Operating Revenue	-	-	-
		NET Expenses (Revenue)	8,003	17,497	17,542
		Capital Expenditure	-	-	-

Initiatives:

- Maintain the Dimboola and Nhill Maternal and Child Health Centres.

Service	Indicator	Performance Measure	Computation
As Council does not have operational control over the delivery of Maternal and Child Health Services, the prescribed indicators for performance and prescribed measures have not been included in this budget.			

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Kindergarten Services	Provision of Kindergarten services in Dimboola, Jeparit, Nhill and Rainbow under contract with Horsham District Kindergarten Association. Council does not directly deliver Kindergarten Services.	Operating Expenditure	137,292	122,137	134,235
		Operating Revenue	88,976	62,604	60,980
		NET Expenses (Revenue)	48,316	59,533	73,255
		Capital Expenditure	20,210	-	-

Initiatives:

- Maintain all kindergartens in Dimboola, Jeparit, Nhill and Rainbow, and ensure buildings comply with Department of Education and Training regulations.
- Review and implement Municipal Early Years Plan.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Youth Services	Improve the wellbeing of and opportunities for youth within the Shire.	Operating Expenditure	122,664	199,352	154,298
		Operating Revenue	65,000	75,000	42,750
		NET Expenses (Revenue)	57,664	124,352	111,548
		Capital Expenditure	-	-	-

Initiatives:

- Facilitation of youth activities including school holiday activities as well as FreeZa and Engage! events.
- Broaden the engagement of young people in the Shire and continue to facilitate the Hindmarsh Youth Council.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Aged & Disability Services *	Council's Aged and Disability Services aim to support people in their own homes and communities by providing services that promote and maintain independence. The program assists frail older people, people with a disability and their carers. These services provide basic support and maintenance to people living at home or who are at risk of premature or inappropriate admission to long-term residential care.	Operating Expenditure	1,005,188	1,142,263	434,920
		Operating Revenue	1,050,814	1,036,597	330,587
		NET Expenses (Revenue)	(45,626)	105,666	104,333
		Capital Expenditure	1,827	23,549	-

Initiatives:

Deliver the full range of services provided by Council's Aged and Disability Services department including:

- **Assessments** occur in the client's home and are required to determine a person's eligibility to receive state or federally funded services. These assessments define a person's capabilities, are goal oriented and delivered to suit client needs.
- **Delivered Meals** and **Centre Based Meals** service provides a nutritious, appetising and culturally appropriate main meal delivered to the consumer's home or to a community centre where meals are eaten in a social setting.
- **Personal Care** provides assistance with those tasks which a person would normally do themselves but because of illness, disability or frailty they are unable to perform without the assistance of another person, including:
 - o Bathing, showering or sponging;
 - o Dressing and undressing;
 - o Shaving, hair care and grooming;
 - o Eating, drinking, cooking, and meal preparation;
 - o Mobility;
 - o Toileting;
 - o Self-medication;
 - o Transporting to medical and other related appointments.
- **Respite Care** services support the caring relationship by providing the carers of frail older people and people of any age with a disability, with a break from their caring responsibilities. It also provides an opportunity for the person being cared for to have a break or an outing without their usual carer.
- **Home Care / Domestic Assistance** services are to maintain a safe, secure, healthy home environment for frail older people and people with a disability. While cleaning tasks form an essential part of Home Care it is more than a cleaning service. It is focused on enhancing the consumers independence by providing basic levels of assistance required to maintain the home.
- **Property Maintenance** provides assistance with maintenance and minor modifications of the consumer's home, garden or yard to maintain the home in a safe and habitable condition

* Council will cease delivery of in-home based care during 2023/24. Council will continue to operate the service until it is transitioned to an external provider.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Health Promotion	To protect and enhance the health of the community.	Operating Expenditure	351,054	229,947	160,741
		Operating Revenue	116,229	66,152	31,000
		NET Expenses (Revenue)	234,825	163,795	129,741
		Capital Expenditure	2,169	-	-

Initiatives:

- Education and enforcement of the legislative regulations pertaining to food preparation, storage and handling, accommodation houses, hairdressers and other licensed premises.
- Issue permits for the installation of septic tanks.
- Work with communities to educate on and improve environmental health issues.
- Continue to implement Municipal Public Health and Community Wellbeing Plan.

Service	Indicator	Performance Measure	Computation
Food safety	Health and safety	Critical and major non-compliance notifications. (Percentage of critical and major non-compliance notifications that are followed up by Council).	[Number of critical non-compliance notifications and major non-compliance notifications about a food premises followed up / Number of critical non-compliance notifications and major non-compliance notifications about food premises] x100

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Libraries	Provision of permanent library services in Dimboola and Nhill, and improving services to Jeparit and Rainbow.	Operating Expenditure	305,862	394,412	409,619
		Operating Revenue	514,860	378,133	129,156
		NET Expenses (Revenue)	(208,998)	16,279	280,463
		Capital Expenditure	693,642	166,556	56,000

Initiatives:

- Support library based initiatives to encourage people to enhance their learning.

Major Initiatives:

- Improve security for clients and staff

Service	Indicator	Performance Measure	Computation
Libraries	Participation	Active library borrowers. (Percentage of the municipal population that are active library borrowers in the last 3 financial years).	[Number of active library borrowers over last 3 financial years / municipal population over last 3 financial years] x100

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Arts, Culture and Community Events	Promote and support activities relating to arts, culture and community events throughout the Shire.	Operating Expenditure	125,611	124,873	131,179
		Operating Revenue	23,477	700	-
		NET Expenses (Revenue)	102,134	124,173	131,179
		Capital Expenditure	-	-	-

Initiatives:

- Promote and support activities during Volunteer Week, Children's Week, Youth Week, and Senior's Week.
- Promote activities to celebrate International Day of Disabled Persons and Harmony Day.
- Support community groups to identify external grant opportunities.
- Assist community groups and project working groups to manage and implement projects in accordance with funding agreements.
- Encourage social connectedness through New Resident Meet and Greet Barbecues in Dimboola, Jeparit, Nhill and Rainbow.
- Promote and support regional community events.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Recreation Programs	Providing a range of recreation programs that encourage an active and healthy life.	Operating Expenditure	14,006	14,713	15,167
		Operating Revenue	-	-	-
		NET Expenses (Revenue)	14,006	14,713	15,167
		Capital Expenditure	-	-	-

Initiatives:

- Support from staff to achieve long term infrastructure needs in relation to sports and recreation.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Public Order & Safety	Educate the community about public order and safety and enforce Council's compliance with the local laws when required. Operate the school crossing on the Western Highway in Nhill and maintain school crossings throughout the Shire.	Operating Expenditure	259,250	227,621	209,966
		Operating Revenue	87,987	95,200	81,250
		NET Expenses (Revenue)	171,263	132,421	128,716
		Capital Expenditure	-	-	-

Initiatives:

- Educate the community in responsible pet ownership.
- Education and enforcement in animal control and local laws, with a particular focus on animal registration and littering.
- Operation and maintenance of the animal pound.
- Enforcement of breaches of animal control regulations.
- Assist with the identification and implementation of initiatives that ensures residents' safety and wellbeing are met.
- Continue implementation of Domestic Animal Management Plan.

Service	Indicator	Performance Measure	Computation
Animal Management	Health and safety	Animal management prosecutions. (Number of successful animal management prosecutions).	Number of successful animal management prosecutions

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Early Years	Lead a joint effort that will give Hindmarsh children the best start in life, working collaboratively with community and early years providers.	Operating Expenditure	23,591	37,941	29,401
		Operating Revenue	-	-	-
		NET Expenses (Revenue)	23,591	37,941	29,401
		Capital Expenditure	-	-	-

2.2 Strategic Objective 2: Built & Natural Environment

To achieve our KRA **Built and Natural Environment**, our mission is to provide infrastructure essential to support the community; and to protect and enhance our natural environment.

Service area	Description of services provided	2021/22	2022/23	2023/24
		Actual	Forecast	Budget
	Operating Expenditure	4,212,715	4,953,321	4,592,042
Local Roads & Bridges	Provide safe, all-weather access to residences and allow for efficient transport of goods to and from the Shire. <ul style="list-style-type: none"> The aim of the road network is to provide property access for local traffic. Council endeavours to provide all-weather access to existing residential homes and dry weather access roads to non-residential properties. Council's road network comprises 573 kilometres of sealed roads, 845 kilometres of gravel roads (all-weather) and approximately 1470 kilometres of earth roads (dry-weather only, some contain gravel sections, though not maintained to an all-weather standard). The network also comprises six bridges and a significant number of large culverts. VicRoads is responsible for main roads including highways and marked routes. Similarly, state government agencies are responsible for roads and tracks within declared parks such as the Little Desert, Big Desert and along the Wimmera River. 			
	Operating Revenue	4,329,509	1,627,317	3,688,926
	NET Expenses (Revenue)	(116,794)	3,326,004	903,116
	Capital Expenditure	6,772,087	4,698,805	4,060,010

Routine Maintenance:

The primary aim of the routine maintenance program is to keep the existing network in a serviceable condition. Council's aim is to conduct inspections and provide maintenance according to the Road Management Plan (RMP) which includes:

- Inspection frequency by road classification;
- Risk assessment and response times;
- Services levels and standards; and
- Assessment with roads hierarchy.

Council will undertake programmed inspections in a timely manner to identify defects. These defects are programmed for repair in accordance with the RMP which take account of the road hierarchy and seriousness of the defect.

In addition, reactive inspections are carried out in response to customer action requests. These inspections are carried out within one week of the request and required repairs scheduled as per the RMP. All customer action requests are co-ordinated through Council's asset management system.

Other activities carried out include:

- Sealed roads - shoulder grading, pavement patching, crack sealing, edge repairs and line-marking.
- Unsealed roads - grading of gravel roads on an annual or as needs basis where funds allow.
- Formed only roads – grading on an as needs priority basis as funds allow (on average once in every 5 years).
- Replacement and maintenance of road signage and guideposts.

Capital Expenditure: (Refer to Capital Works Program for further details)

Council's capital expenditure on road assets is split into two basic categories. These are new/upgrade or renewal.

The majority of Council's capital expenditure is spent on renewal to ensure that the current service levels are maintained. In 2016, Council appointed an external road condition assessor to benchmark the performance of Council's road assets. The results of this assessment determined that the level of expenditure required to maintain the network to a serviceable level is \$2.5 million

Council aims to divide the renewal expenditure into the following asset classes:

- Sealed pavement and shoulders - Council's goal is to reconstruct \$800,000 per year. The average useful life of this asset class is 80 years.
- Bituminous seals - Council's goal is to reseal \$800,000 per year. The average useful life of this asset class is 20 years.
- Sealed shoulders - Council's goal is to resheet \$220,000 per year. The average useful life of this asset class is 15 years.
- Unsealed roads - Council's goal is to resheet \$500,000 per year. The average useful life of this asset class is 25 years.
- Bridges - The average useful life of this asset class is 100 years.

Major Initiatives:

- Undertake repairs to roads damaged during the November 2022 floods
- Continue sealed road construction on the Woorak Ni-Ni Lorquon Road
- Undertake shoulder resheets of the Dimboola Minyip Road
- Undertake sealed construction on the Antwerp-Warracknabeal Road

Service	Indicator	Performance Measure	Computation
Roads	Satisfaction	Satisfaction with sealed local roads (Community satisfaction rating out of 100 with how Council has performed on the condition of sealed roads)	Community satisfaction rating out of 100 with how Council has performed on the condition of sealed roads.

Additional grants may become available, and natural disaster recovery works may be undertaken during the financial year, however the extent and timing is yet to be determined. Any additional works will be funded/reimbursed by the state/commonwealth and will not impact on the budgeted result of Council.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Drainage Management	Well maintained, fit for purpose drainage systems within townships.	Operating Expenditure	476,159	652,321	543,628
		Operating Revenue	-	-	-
		NET Expenses (Revenue)	476,159	652,321	543,628
		Capital Expenditure	24,165	271,233	34,839

Initiatives:

- Maintenance of Council's drainage systems including open drains and culverts, an extensive underground drain network and kerb and channel.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Paths & Trails	Well maintained pedestrian access, including disabled access to critical and popular destinations around our townships.	Operating Expenditure	240,449	242,838	251,848
		Operating Revenue	5,000	300,000	-
		NET Expenses (Revenue)	235,449	(57,162)	251,848
		Capital Expenditure	313,204	1,284,940	129,839

Initiatives: (Refer to the Capital Works Program for further details).

- Council will inspect and maintain the existing network of 40 kilometres of footpaths in accordance with Council's Road Management Plan.
- Maintenance will include grinding to remove tripping edges and removal of hazards.

Major Initiatives:

- Footpath construction William St Nhill
- Footpath Construction Bow St, Rainbow

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Tree Management	Conduct maintenance, inspections and replanting works on Council road reserves, parks and gardens, and recreation reserves.	Operating Expenditure	220,568	443,179	375,807
		Operating Revenue	-	9,500	-
		NET Expenses (Revenue)	220,568	433,679	375,807
		Capital Expenditure	-	-	-

Initiatives:

- Undertake reactive and programmed inspections in accordance with Council's Road Management Plan in relation to nature strip trees that impede footpaths.
- Trim, remove and replace urban trees as necessary. Maintenance of trees is prioritised to ensure a safe passage for pedestrian, access for vehicle traffic and to protect infrastructure.
- Undertake proactive inspections of trees located in high trafficked areas such as parks and recreation reserves for safety purposes.
- Trim and remove rural trees as necessary for road safety purposes.
- Liaise with Powercor and its agencies in relation to trimming and removal of trees under power lines.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Town Beautification	Maintain and redevelop public open spaces in Dimboola, Jeparit, Nhill and Rainbow.	Operating Expenditure	698,914	714,684	796,511
		Operating Revenue	12,300	6,000	-
		NET Expenses (Revenue)	686,614	708,684	796,511
		Capital Expenditure	71,658	206,216	155,000

Initiatives:

- Mechanical street sweeping of commercial and urban areas eight times per year.
- Cleaning and maintenance of 17 public toilets located within the four towns.
- Maintenance of grassed parks and open spaces to enhance the amenity of each town.
- Delivery of reactive and programmed inspections in relation to Council-controlled playgrounds.
- Maintenance of playground equipment and soft fall at the 14 playgrounds within the four towns.

Major Initiatives:

- Nhill Streetscape Plan Implementation - Phase 2.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Community Centres & Public Halls	Maintenance, renewal and upgrade of Council-owned and controlled community centres and halls, and support of communities that undertake these activities on behalf of Council. To protect and enhance the health of the community.	Operating Expenditure	230,487	249,372	277,330
		Operating Revenue	4,616	6,900	5,000
		NET Expenses (Revenue)	225,871	242,472	272,330
		Capital Expenditure	14,653	108,684	175,000

Initiatives:

- Maintenance of all Council owned and controlled community centres and halls.
- Inspections and safety audits of community centres and halls.
- Implementation and monitoring of hire agreements for community centres and halls.
- Continue to promote the Nhill Memorial Community Centre to fully utilise the digital projection equipment upgrade.
- Public Halls assistance grants.

Major Initiatives:

- Remedial works on the Nhill Memorial Community Centre.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Recreation Facilities	Maintenance, renewal and upgrade of Council owned and controlled recreational land, buildings and facilities. Council also supports groups that undertake these activities on behalf of Council.	Operating Expenditure	911,025	945,690	1,080,437
		Operating Revenue	198,939	3,100	6,000
		NET Expenses (Revenue)	712,086	942,590	1,074,437
		Capital Expenditure	364,456	2,489,956	940,000

Initiatives:

- Undertake capital works on the Nhill Memorial Community Centre
- Maintenance of Council-owned and controlled recreational buildings and facilities.
- Undertake Davis Park renewal
- Repairs to the Nhill Historical Society
- Caravan Park upgrades

Major Initiatives:

- Davis Park upgrades - AFL compliant changerooms and tiered seating.

Service	Indicator	Performance Measure	Computation
Acquatic Facilities	Utilisation	Utilisation of aquatic facilities (Number of visits to aquatic facilities per head of municipal population).	Number of visits to aquatic facilities / Municipal population

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Waste Management	Management of Council's transfer stations and collection and disposal of domestic waste and recyclables across the Shire.	Operating Expenditure	1,274,483	1,592,899	1,432,926
		Operating Revenue	1,331,971	1,368,575	1,433,142
		NET Expenses (Revenue)	(57,488)	224,324	(216)
		Capital Expenditure	-	460,000	-

Initiatives:

- Weekly kerbside collection of garbage bins.
- Fortnightly kerbside collection of recycle bins.
- Manage the operations of transfer stations.
- Regular removal of litter from commercial and urban areas.
- One free green waste month per year.
- Roll out of mobile glass bins for residents.

Service	Indicator	Performance Measure	Computation
Waste Collection	Waste diversion	Kerbside collection waste diverted from landfill (Percentage of garbage, recyclables and green organics collected from kerbside bins that is diverted from landfill)	$\frac{\text{[Weight of recyclables and green organics collected from kerbside bins / Weight of garbage, recyclables and green organics collected from kerbside bins]} \times 100$

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Quarry Operations	Management of Council-owned and controlled quarries and gravel pits for extraction of gravel for road making.	Operating Expenditure	406,793	251,952	255,080
		Operating Revenue	412,858	2,500	2,500
		NET Expenses (Revenue)	(6,065)	249,452	252,580
		Capital Expenditure	-	-	-

Initiatives:

- Coordinate the timely extraction and crushing of suitable quarry materials to ensure sufficient quantities are available for Council's maintenance and capital projects.
- Ensure quarries are operated and rehabilitated in line with work authority guidelines and statutory obligations.
- Researching and exploring new gravel supplies.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Waterway Management	Management of Council-controlled waterways including weir pools and lakes.	Operating Expenditure	95,530	99,542	97,351
		Operating Revenue	22,631	-	-
		NET Expenses (Revenue)	72,900	99,542	97,351
		Capital Expenditure	-	-	-

Initiatives:

- Maintenance of navigational aids on Council-controlled waterways including Dimboola and Jeparit weir pools and Lake Hindmarsh.
- Implement management arrangements for the Dimboola and Jeparit weirs.
- Provide water allocation to assist maintenance of water levels of Nhill Lake.

Service area	Description of services provided	2019/20 Actual	2021/22 Forecast	2022/23 Budget	
Environmental Management	Manage, protect and enhance Council's natural assets in conjunction with Government departments and environmental groups.	Operating Expenditure	209,498	185,287	159,489
		Operating Revenue	79,464	75,000	75,000
		NET Expenses (Revenue)	130,034	110,287	84,489
		Capital Expenditure	-	-	-

Initiatives:

- Continue to work with local Landcare groups.
- Implement Council's Roadside Management Strategy.
- Eradication of pest plants and pest animals.
- Explore innovative waste management options for green waste.
- Continue to support the Wimmera Mallee Sustainability Alliance.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Fire Prevention	Identification of potential fire hazards and prevention of loss of life and property caused by fire.	Operating Expenditure	111,641	140,777	150,447
		Operating Revenue	36,958	45,000	35,000
		NET Expenses (Revenue)	74,683	95,777	115,447
		Capital Expenditure	-	-	-

Initiatives:

- Conduct annual inspections of properties that may pose a fire risk.
- Issue notices to property owners to remove potential fire risks.
- Slashing or spraying of roadsides to reduce fire hazards.
- Review the Municipal Fire Management Plan.

2.3 Strategic Objective 3: Competitive and Innovative Economy

To achieve our KRA **Competitive and Innovative Economy**, our mission is to foster a sustainable and diversified local economy where economic growth is encouraged and supported.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Economic Development	Facilitate an environment that is conducive to a sustainable and growing local business sector and provides opportunities for residents to access employment.	Operating Expenditure	314,921	246,767	146,649
		Operating Revenue	287,766	7,500	7,500
		NET Expenses (Revenue)	27,155	239,267	139,149
		Capital Expenditure	28,461	50,000	50,000

Initiatives:

- Support and promote work experience, apprenticeships and cadetships.
- Represent Council at local, regional and state shows and expos in order to market the Shire's liveability, tourism assets and opportunities.
- Support local business associations and local businesses.
- Membership of Rural Councils Victoria and the Wimmera Development Association.
- Support and promote caravan and camping accommodation within the Shire.
- Support the Nhill Aerodrome Masterplan Advisory committee.
- Provide support and advocate on behalf of newly migrated residents.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Tourism	To develop a thriving Wimmera Mallee Tourism industry predominantly based on, but not limited to, the Shire's heritage and environmental assets.	Operating Expenditure	216,170	331,601	302,206
		Operating Revenue	201,309	705,700	-
		NET Expenses (Revenue)	14,861	(374,099)	302,206
		Capital Expenditure	213,199	1,356,610	139,796

Initiatives:

- Promote and maintain a Hindmarsh Tourism website.
- Work collaboratively with Wimmera Mallee Tourism, the Wimmera Mallee region's Indigenous Tourism Group and Hindmarsh Visitor Information Centre Volunteers.
- Assist community based groups and project working groups to manage projects promoting tourism growth.
- Work with Yurunga Homestead and Wimmera Mallee Pioneer Museum Committees of Management to assist them to promote and market their respective assets in order for them to realise their tourism potential.
- Implement the recommendations in the Wimmera Mallee Pioneer Museum master plan.
- Support innovative community-driven events and festivals that stimulate growth in the region.
- Continue to replace old town entry and tourism signs with newly designed signs.

Major Initiatives:

- Nhill Historical Society veranda and roof urgent works.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Private Works	Provision of private civil works services. • Provide quotations for private works undertaken by Council's works department to residents, contractors and other authorities. • Potential private works include grading of farm driveways, grading of fence lines, construction of driveway cross-overs, and supply of labour, plant and materials. • Private works also include repair to Council's infrastructure caused by repair work to third party assets.	Operating Expenditure	370,216	391,567	442,726
		Operating Revenue	343,253	398,000	508,000
		NET Expenses (Revenue)	26,964	(6,433)	(65,274)
		Capital Expenditure	-	-	-

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Caravan Parks and Camping Grounds	Maintenance, renewal and upgrade of Council Caravan Parks and Camping Grounds.	Operating Expenditure	508,352	569,067	596,271
		Operating Revenue	1,357,964	1,497,000	730,000
		NET Expenses (Revenue)	(849,613)	(927,933)	(133,729)
		Capital Expenditure	1,276,104	2,762,501	166,000

Initiatives:

- Support caravan parks and camping grounds accommodation managers within the Shire.
- Maintenance and enhancement of buildings and grounds at Council caravan parks and camping grounds.
- Continue the implementation of the Riverside Holiday Park, Dimboola master plan.

Major Initiatives:

- New New powered sites for Dimboola Holiday Park.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Land Use Planning	To ensure that any development that occurs in Hindmarsh Shire is carried out in accordance with relevant planning policies, principals and controls.	Operating Expenditure	254,561	245,601	291,086
		Operating Revenue	100,655	74,000	81,500
		NET Expenses (Revenue)	153,906	171,601	209,586
		Capital Expenditure	-	-	-

Initiatives:

- Provide customers with advice on planning scheme requirements.
- Prepare and assess planning scheme amendments and consider planning permit applications.
- Represent Council at Panel Hearings and at Victorian Civil and Administrative Tribunal.
- Undertake planning scheme compliance checks when necessary.
- Process subdivisions and planning certificates.
- Implement actions from the Wimmera Southern Mallee Regional Growth Plan.

Service	Indicator	Performance Measure	Computation
Statutory Planning	Decision making	Council planning decisions upheld at VCAT (Percentage of planning application decisions subject to review by VCAT and that were not set aside)	$\frac{\text{[Number of VCAT decisions that did not set aside Council's decision in relation to a planning application / Number of VCAT decisions in relation to planning applications]} \times 100$

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Building Control	To provide statutory and private building services to the community	Operating Expenditure	205,336	272,643	245,713
		Operating Revenue	51,218	41,500	49,000
		NET Expenses (Revenue)	154,118	231,143	196,713
		Capital Expenditure	-	-	-

Initiatives:

- To carry out Council's statutory private building requirements.
- Issuing of building permits and certificates.
- Receipt and recording of building permits undertaken by private building surveyors.
- Undertake building enforcement and compliance checks.
- Provision of reports to the Building Control Commission.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Aerodrome	Manage and maintain the Nhill Aerodrome	Operating Expenditure	115,153	115,868	94,069
		Operating Revenue	13,169	155,000	5,000
		NET Expenses (Revenue)	101,984	(39,132)	89,069
		Capital Expenditure	-	300,000	30,000

Initiatives:

- Scheduled inspections and maintenance at the Nhill Aerodrome.
- Provide support to the Nhill Aerodrome Masterplan Advisory Committee to update and implement the Nhill Aerodrome Master Plan.

2.4 Strategic Objective 4: Good Governance and Financial Sustainability

To achieve our KRA **Good Governance and Financial Sustainability**, our mission is to promote user friendly services to ensure transparency, good governance and financial sustainability, and to advance gender equality, equity and inclusion for all.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Civic Governance & Leadership		Operating Expenditure	968,651	1,077,627	1,227,525
	To ensure that Council provides effective leadership and that its decisions are transparent, inclusive and based on sound recommendations and advice.	Operating Revenue	-	-	-
		NET Expenses (Revenue)	968,651	1,077,627	1,227,525
		Capital Expenditure	1,405	-	-

Initiatives:

- Management support for the Mayor and Council.
- Regular media releases and newsletters to inform the community of current issues.
- Lobbying of politicians and government departments.
- Advocacy on behalf of the community on key local government issues.
- Memberships include Municipal Association of Victoria, Rural Council Victoria, North West Municipalities Association and Wimmera Development Association.
- Community Satisfaction Survey.

Service	Indicator	Performance Measure	Computation
Governance	Satisfaction	Satisfaction with Council decisions (Community satisfaction rating out of 100 with how Council has performed in making decisions in the interests of the community)	Community satisfaction rating out of 100 with how Council has performed in making decisions in the interests of the community

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Customer Service Centres		Operating Expenditure	479,714	513,619	584,074
	Operation and maintenance of customer service centres to provide facilities from which Council can efficiently deliver services to the community. Provision of information to ratepayers and the general public on a broad range of services provided by Council and other government agencies.	Operating Revenue	-	-	-
		NET Expenses (Revenue)	479,714	513,619	584,074
		Capital Expenditure	2,283	24,057	180,000

Initiatives:

- Seek improvement in the community satisfaction survey conducted annually.
- Provision of licensing and registration services on behalf of VicRoads.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Council Elections		Operating Expenditure	1,836	-	4,000
	Efficient and effective running of Elections by the Victorian Electoral Commission on behalf of Council.	Operating Revenue	4,671	500	-
		NET Expenses (Revenue)	(2,835)	(500)	4,000
		Capital Expenditure	-	-	-

Service area	Description of services provided	2019/20 Actual	2021/22 Forecast	2022/23 Budget	
Financial Management		Operating Expenditure	469,235	491,473	530,444
	To ensure the efficient and effective allocation of resources through sound financial planning and management that secures the long term financial viability of the municipality.	Operating Revenue	7,725,049	3,995,976	6,860,872
		NET Expenses (Revenue)	(7,255,814)	(3,504,503)	(6,330,428)
		Capital Expenditure	-	-	-

Initiatives:

- Preparation of Council's annual budget, including the capital works budget, and refinement of Council's 10 year financial plan to aide in Council's long term financial sustainability.
- Preparation of Council's Annual Financial Report.
- Preparation of management reports to Council and Senior Managers.
- Support of the internal and external audit functions.
- Continued lobbying of governments for additional funding and resources.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Rating and Valuations		Operating Expenditure	206,305	228,367	232,748
	Management of Council's rating system, including valuation of properties and the levying of rates and charges.	Operating Revenue	8,124,640	8,244,551	8,512,912
		NET Expenses (Revenue)	(7,918,336)	(8,016,184)	(8,280,164)
		Capital Expenditure	-	-	-

Initiatives:

- Review and implementation of Council's Rating Plan.
- Maintenance of property and valuation records, including supplementary valuations.
- Administering Pensioner rate concessions on behalf of the State Government.
- Issue of quarterly Rates and Valuations notices.
- Collection of rates and legal action where necessary.
- Issue of Land Information Certificates.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Records Management		Operating Expenditure	57,886	81,102	106,779
	Effective and efficient recording, storage, retrieval and disposal of records in line with the standards of the Public Records Office of Victoria.	Operating Revenue	-	-	-
		NET Expenses (Revenue)	57,886	81,102	106,779
		Capital Expenditure	-	-	-

Initiatives:

- Further enhance the MagiQ records module.
- Provide training and development for staff to implement further efficiencies and features in the records management system.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Information Technology		Operating Expenditure	301,416	360,922	420,250
	Using Information Technology as a tool to connect with the community and provide efficient and effective services.	Operating Revenue	-	-	-
		NET Expenses (Revenue)	301,416	360,922	420,250
		Capital Expenditure	65,206	104,500	85,000

Major Initiatives:

- Continue the collaboration with neighbouring Councils in the Rural Council's Transformation Project.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Risk Management		Operating Expenditure	475,704	565,818	687,523
	Monitor and manage Council's risks in relation to operations, employment and infrastructure.	Operating Revenue	1,022	72,000	35,000
		NET Expenses (Revenue)	474,681	493,818	652,523
		Capital Expenditure	-	-	-

Initiatives:

- Monitor and review the Risk Register.
- Regular review of the risks and control measures by Senior Management.
- Ensuring that Council's assets and interests are insured adequately against risk.
- Management of WorkCover Authority insurance and work place injury claims.
- Advise staff and contractors in relation to Workplace Health and Safety.
- Ensure that Council is aware of, and complies with, all of its statutory obligations.
- Integrate risk management into all Council projects, conducting risk assessments at the strategic, planning and implementation stages.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Contract Management		Operating Expenditure	251,261	202,725	202,911
	Preparation of contract specifications, administration of tender processes and management of Council's contracted services.	Operating Revenue	-	-	-
		NET Expenses (Revenue)	251,261	202,725	202,911
		Capital Expenditure	-	-	-

Initiatives:

- Tender preparation and specification development.
- Supervision and management of contracted Council services.
- Ensure that Council's tendering processes (including letting of tenders and appointment of contractors) comply with Council purchasing policies and statutory obligations.
- Ensure value for money and best products are achieved.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Payroll and Human Resources Services	Operating Expenditure	303,166	369,908	389,840	
	Provision of payroll services to Council employees and the provision of Human Resources services to management.	Operating Revenue	-	-	-
	NET Expenses (Revenue)	303,166	369,908	389,840	
	Capital Expenditure	-	-	-	

Initiatives:

- Review payroll processes for employees.
- Ensure compliance with legislation and Council's Enterprise Agreement.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Emergency Management	Operating Expenditure	61,344	78,337	81,476	
	Provide support to the community in the areas of emergency preparedness, emergency response and emergency recovery.	Operating Revenue	-	-	-
	NET Expenses (Revenue)	61,344	78,337	81,476	
	Capital Expenditure	-	-	-	

Initiatives:

- Training for staff undertaking emergency management roles.
- Actively participate in the Wimmera Emergency Management Cluster with Horsham Rural City Council, Yarriambiack Shire Council, and West Wimmera Shire Council.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Depots & Workshops	Operating Expenditure	213,420	1,300,690	1,281,731	
	Operation of Council's depots and workshops including the provision of heavy plant and equipment.	Operating Revenue	-	32,000	16,000
	NET Expenses (Revenue)	213,420	1,268,690	1,265,731	
	Capital Expenditure	2,057,667	2,063,666	1,145,000	

Initiatives:

- Securely house plant, equipment and materials.
- Provide a base for the outdoor staff.
- Provide a location to carry out maintenance and repairs of Council's plant and equipment.
- Purchase and maintain plant and equipment to enable the delivery of works.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Asset Management	Operating Expenditure	239,069	393,739	274,183	
	Provision of skills, resources and systems to ensure the most efficient and effective management of Council's assets.	Operating Revenue	2,696	1,500	2,000
	• Ensure that Council targets the correct level of asset expenditure to achieve and maintain the desired levels of service into the foreseeable future.	NET Expenses (Revenue)	236,374	392,239	272,183
	• Ensure that Council's asset renewal expenditure targets the most critical assets.	Capital Expenditure	-	-	-
	• Provide regular condition and defect audits of Council's assets to ensure safety and levels of service are maintained.				
• Provide Council's asset valuations.					

Initiatives:

- Continued review of Council's roads hierarchy and Road Management Plan.
- Management and maintenance of Council's electronic asset management system. The system is used as a repository for infrastructure asset data, and used to manage asset related inspections and corrective actions, and customer action requests.
- Further develop Council's electronic asset management system to store and manage all of Council's asset related data.
- Protect and monitor Council's assets in relation to private works including:
 - o Inspections
 - o Road Opening Permits
 - o Act as a planning referral body
- An asset inspection program which includes:
 - o Up to three (3) road inspections per year (including a night time inspection);
 - o Monthly inspections of kindergartens, playgrounds, exercise equipment and skate parks across the four (4) towns;
 - o Swimming pool inspections four (4) times per year;
 - o Six (6) bridge and numerous car park inspections twice per year;
 - o 542 Fire Plug inspections annually;
 - o Tree inspections twice per year in high use public areas; and
 - o Reactive inspections as a result of Customer Action Requests.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Fleet Management	Ensure that Council's vehicle fleet is managed, maintained and replaced in the most efficient and efficient way possible.	Operating Expenditure	216,846	239,506	217,864
		Operating Revenue	83,973	80,000	86,200
		NET Expenses (Revenue)	132,873	159,506	131,664
		Capital Expenditure	250,127	525,373	246,000

Initiatives:

- Timely maintenance of fleet vehicles.
- Purchase and replacement of fleet vehicles in accordance with Council policy.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Accounts Payable	Payment of invoices in an efficient and timely manner.	Operating Expenditure	36,977	38,428	37,412
		Operating Revenue	-	-	-
		NET Expenses (Revenue)	36,977	38,428	37,412
		Capital Expenditure	-	-	-

Initiatives:

- Maintenance of secure payment systems and processes.
- Payment of invoices in accordance with Council's payment terms (within 30 days).
- All payments to be made via EFT or Direct Credit.

Service area	Description of services provided	2021/22 Actual	2022/23 Forecast	2023/24 Budget	
Accounts Receivable	Receive of payments from debtors in an efficient and timely manner.	Operating Expenditure	13,866	18,410	18,030
		Operating Revenue	-	-	-
		NET Expenses (Revenue)	13,866	18,410	18,030
		Capital Expenditure	-	-	-

Initiatives:

- Monthly invoicing of accounts.
- Ensure Council's Outstanding Debtor are followed up in a timely manner.
- Regular reports to management on outstanding debtors.

2.5 Reconciliation with budgeted operating result

	Net Cost	Expenditure	Revenue
Our Community	1,198,853	1,874,576	675,723
Built & Natural Environment	6,048,469	10,012,895	3,964,426
Competitive & Innovative Economy	737,720	2,118,720	1,381,000
Good Governance & Financial Sustainability	(692,988)	6,296,789	6,989,777
Total	7,292,055	20,302,981	13,010,926

Deficit before funding sources

7,292,055

Funding sources added in:

Rates and charges revenue	8,523,207
Waste charge revenue	1,281,142
Total funding sources	9,804,349
Operating (surplus)/deficit for the year	(2,512,294)

3. Financial Statements

This section presents information in regard to the Financial Statements and Statement of Human Resources. The budget information for the year 2023/24 has been supplemented with projections to 2026/27

This section includes the following financial statements prepared in accordance with the *Local Government Act 2020* and the *Local Government (Planning and Reporting) Regulations 2020*.

Comprehensive Income Statement

Balance Sheet

Statement of Changes in Equity

Statement of Cash Flows

Statement of Capital Works

Statement of Human Resources

Comprehensive Income Statement

For the four years ending 30 June 2027

		Forecast Actual 2022/23 \$'000	Budget 2023/24 \$'000	2024/25 \$'000	Projections 2025/26 \$'000	2026/27 \$'000
	NOTES					
Income / Revenue						
Rates and charges	4.1.1	9,434	9,804	10,098	10,401	10,713
Statutory fees and fines	4.1.2	197	203	209	216	222
User fees	4.1.3	1,652	1,606	1,654	1,704	1,755
Grants - operating	4.1.4	2,316	5,502	5,430	5,593	5,761
Grants - capital	4.1.4	6,565	4,770	2,081	2,081	2,081
Contributions - monetary	4.1.5	18	12	12	13	13
Net gain (or loss) on disposal of property, infrastructure, plant and equipment		332	480	300	300	300
Share of net profits (or loss) of associates and joint ventures		17	-	-	-	-
Other income	4.1.6	435	443	430	443	456
Total income / revenue		20,964	22,820	20,215	20,750	21,301
Expenses						
Employee costs	4.1.7	8,250	8,062	7,747	7,961	8,179
Materials and services	4.1.8	6,271	5,860	6,065	6,277	6,747
Depreciation	4.1.9	5,460	4,839	5,080	5,330	5,330
Other expenses	4.1.10	1,537	1,548	1,602	1,658	1,716
Total expenses		21,518	20,308	20,494	21,225	21,972
Surplus/(deficit) for the year		(553)	2,512	(278)	(475)	(670)
Total comprehensive result		(553)	2,512	(278)	(475)	(670)

Balance Sheet

For the four years ending 30 June 2027

		Forecast Actual 2022/23 \$'000	Budget 2023/24 \$'000	2024/25 \$'000	Projections 2025/26 \$'000	2026/27 \$'000
	NOTES					
Assets						
Current assets						
Cash and cash equivalents		2,070	2,018	1,949	2,191	1,673
Trade and other receivables		1,825	1,600	1,920	2,208	2,506
Inventories		505	507	523	522	522
Other assets		54	23	24	25	25
Total current assets	4.2.1	4,454	4,149	4,415	4,946	4,727
Non-current assets						
Investment in Wimmera Development Association		295	295	295	295	295
Property, infrastructure, plant & equipment		213,513	216,129	215,579	214,537	214,061
Total non-current assets	4.2.1	213,808	216,424	215,874	214,832	214,356
Total assets		218,262	220,573	220,289	219,778	219,083
Liabilities						
Current liabilities						
Trade and other payables		2,153	1,903	1,823	1,709	1,604
Trust funds and deposits		102	81	81	81	81
Provisions		2,215	2,264	2,332	2,402	2,474
Total current liabilities	4.2.2	4,470	4,249	4,236	4,192	4,159
Non-current liabilities						
Provisions		218	238	246	253	261
Total non-current liabilities	4.2.2	218	238	246	253	261
Total liabilities		4,688	4,487	4,482	4,445	4,419
Net assets		213,574	216,086	215,808	215,333	214,663
Equity						
Accumulated surplus		79,329	81,842	81,563	81,089	80,418
Reserves		134,244	134,244	134,244	134,244	134,244
Total equity		213,574	216,086	215,808	215,333	214,663

Statement of Changes in Equity

For the four years ending 30 June 2027

		Total	Accumulated Surplus	Revaluation Reserve
	NOTES	\$'000	\$'000	\$'000
2023 Forecast Actual				
Balance at beginning of the financial year		214,127	79,882	134,245
Surplus/(deficit) for the year		(553)	(553)	-
Net asset revaluation increment/(decrement)		-	-	-
Balance at end of the financial year		213,574	79,329	134,245
2024 Budget				
Balance at beginning of the financial year		213,574	79,329	134,245
Surplus/(deficit) for the year		2,512	2,512	-
Net asset revaluation increment/(decrement)		-	-	-
Balance at end of the financial year	4.3.1	216,086	81,841	134,245
2025				
Balance at beginning of the financial year		216,086	81,841	134,245
Surplus/(deficit) for the year		(278)	(278)	-
Net asset revaluation increment/(decrement)		-	-	-
Balance at end of the financial year		215,808	81,563	134,245
2026				
Balance at beginning of the financial year		215,808	81,563	134,245
Surplus/(deficit) for the year		(475)	(475)	-
Net asset revaluation increment/(decrement)		-	-	-
Balance at end of the financial year		215,333	81,088	134,245
2027				
Balance at beginning of the financial year		215,333	81,088	134,245
Surplus/(deficit) for the year		(670)	(670)	-
Net asset revaluation increment/(decrement)		-	-	-
Balance at end of the financial year		214,663	80,418	134,245

Statement of Cash Flows

For the four years ending 30 June 2027

	Notes	Forecast	Budget	Projections		
		Actual	2023/24	2024/25	2025/26	2026/27
		2022/23	2023/24	2024/25	2025/26	2026/27
		\$'000	\$'000	\$'000	\$'000	\$'000
		Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)
Cash flows from operating activities						
Rates and charges		9,414	9,784	10,098	10,401	10,713
Statutory fees and fines		33	27	209	216	222
User fees		1,926	2,047	1,654	1,704	1,755
Grants - operating		2,316	5,552	5,430	5,593	5,761
Grants - capital		6,115	4,770	2,081	2,081	2,081
Contributions - monetary		18	12	12	12	12
Interest received		210	240	252	252	252
Other receipts		1,045	203	178	191	204
Net GST refund / payment		-	-	-	-	-
Employee costs		(8,204)	(8,016)	(7,747)	(7,961)	(8,179)
Materials and services		(7,185)	(6,129)	(6,386)	(6,581)	(7,050)
Trust funds and deposits repaid		-	(20)	(20)	(20)	(20)
Other payments		(1,537)	(1,548)	(1,602)	(1,658)	(1,716)
Net cash provided by/(used in) operating activities	4.4.1	4,152	6,923	4,160	4,231	4,036
Cash flows from investing activities						
Payments for property, infrastructure, plant and equipment		(17,394)	(7,455)	(4,530)	(4,288)	(4,854)
Proceeds from sale of property, infrastructure, plant and equipment		332	480	300	300	300
Net cash provided by/ (used in) investing activities	4.4.2	(17,062)	(6,975)	(4,230)	(3,988)	(4,554)
Net increase/(decrease) in cash & cash equivalents		(12,910)	(52)	(70)	243	(518)
Cash and cash equivalents at the beginning of the financial year		14,980	2,070	2,018	1,949	2,191
Cash and cash equivalents at the end of the financial year		2,070	2,018	1,949	2,191	1,673

Statement of Capital Works

For the four years ending 30 June 2027

	NOTES	Forecast	Budget	Projections		
		Actual				
		2022/23	2023/24	2024/25	2025/26	2026/27
		\$'000	\$'000	\$'000	\$'000	\$'000
Property						
Land		-	-	-	-	-
Total land		-	-	-	-	-
Buildings		4,594	1,180	250	250	250
Total buildings		4,594	1,180	250	250	250
Total property		4,594	1,180	250	250	250
Plant and equipment						
Plant, machinery and equipment		2,113	1,291	1,250	1,250	1,250
Fixtures, fittings and furniture		5	5	5	5	5
Computers and telecommunications		105	85	60	60	60
Library books		56	50	40	40	40
Total plant and equipment		2,278	1,431	1,355	1,355	1,355
Infrastructure						
Roads		3,897	3,822	2,350	2,280	2,150
Bridges		424	-	10	10	330
Footpaths and cycleways		1,285	130	140	185	383
Drainage		271	35	-	-	246
Recreational, leisure and community facilities		-	-	175	38	40
Kerb & Channel		378	100	250	170	100
Other infrastructure		4,395	757	-	-	-
Total infrastructure		10,650	4,844	2,925	2,683	3,249
Total capital works expenditure	4.5.1	17,522	7,455	4,530	4,288	4,854
Represented by:						
New asset expenditure		5,432	357	-	-	-
Asset renewal expenditure		7,451	5,934	4,495	4,288	4,854
Asset expansion expenditure		-	180	-	-	-
Asset upgrade expenditure		4,638	984	35	-	-
Total capital works expenditure	4.5.1	17,522	7,455	4,530	4,288	4,854
Funding sources represented by:						
Grants		11,328	4,770	2,081	2,081	2,081
Contributions		-	-	-	-	-
Council cash		6,194	2,685	2,449	2,207	2,773
Total capital works expenditure	4.5.1	17,522	7,455	4,530	4,288	4,854

* Future Capital works reflect what Council requires to meet its capital renewal target.

Statement of Human Resources

For the four years ending 30 June 2027

	Forecast	Budget	Projections		
	Actual				
	2022/23	2023/24	2024/25	2025/26	2026/27
	\$'000	\$'000	\$'000	\$'000	\$'000
Staff expenditure					
Employee costs - operating	7,211	8,062	7,744	7,961	8,179
Employee costs - capital	1,039	894	918	944	970
Total staff expenditure	8,250	8,956	8,662	8,905	9,149
	FTE	FTE	FTE	FTE	FTE
Staff numbers					
Employees	98.6	96.1	91.8	91.8	91.8
Total staff numbers	98.6	96.1	91.8	91.8	91.8

A summary of human resources expenditure categorised according to the organisational structure of Council is included below:

Department	Budget 2023/24 \$'000	Comprises			
		Permanent		Casual \$'000	Temporary \$'000
		Full Time \$'000	Part time \$'000		
Civic Governance	768	768	-	-	-
Corporate and Community Services	2,643	1,658	911	75	-
Infrastructure	4,650	4,155	356	139	-
Total permanent staff expenditure	8,062	6,581	1,267	214	-
Other employee related expenditure	-				
Capitalised labour costs	894				
Total expenditure	8,956				

A summary of the number of full time equivalent (FTE) Council staff in relation to the above expenditure is included below:

Department	Budget 2023/24	Comprises			
		Permanent		Casual	Temporary
		Full Time	Part time		
Civic Governance	4	4	-	-	-
Corporate and Community Services	28	17	9	2	-
Infrastructure	65	57	5	3	-
Total staff	96	78	13	5	-

**Summary of Planned Human Resources Expenditure
For the four years ending 30 June 2027**

	2023/24 \$'000	2024/25 \$'000	2025/26 \$'000	2026/27 \$'000
Civic Governance				
Permanent - Full time	768	789	811	833
Women	495	509	523	537
Men	273	281	288	296
Total Civic Governance	768	789	811	833
Corporate and Community Services				
Permanent - Full time	1,658	1,633	1,678	1,724
Women	1,158	1,119	1,150	1,182
Men	500	514	528	543
Permanent - Part time	911	517	531	546
Women	911	517	531	546
Men	0	0	0	0
Total Corporate and Community Services	2,569	2,150	2,209	2,270
Infrastructure				
Permanent - Full time	4,155	4,269	4,387	4,507
Women	128	132	135	139
Men	4,027	4,138	4,252	4,368
Permanent - Part time	356	366	376	386
Women	292	300	308	317
Men	64	66	68	69
Total Infrastructure	4,511	4,635	4,763	4,893
Casuals, temporary and other expenditure	214	173	178	183
Capitalised labour costs	894	918	944	970
Total staff expenditure	8,062	7,747	7,961	8,179

	2023/24 FTE	2024/25 FTE	2025/26 FTE	2026/27 FTE
Civic Governance				
Permanent - Full time	4.0	4.0	4.0	4.0
Women	3.0	3.0	3.0	3.0
Men	1.0	1.0	1.0	1.0
Total Civic Governance	4.0	4.0	4.0	4.0
Corporate and Community Services				
Permanent - Full time	17.0	16.0	16.0	16.0
Women	12.0	11.0	11.0	11.0
Men	5.0	5.0	5.0	5.0
Permanent - Part time	8.5	6.0	6.0	6.0
Women	8.5	6.0	6.0	6.0
Men	0.0	0.0	0.0	0.0
Total Corporate and Community Services	25.5	22.0	22.0	22.0
Infrastructure				
Permanent - Full time	57.0	57.0	57.0	57.0
Women	1.0	1.0	1.0	1.0
Men	56.0	56.0	56.0	56.0
Permanent - Part time	4.7	4.8	4.8	4.8
Women	3.2	3.2	3.2	3.2
Men	1.5	1.5	1.5	1.5
Total Infrastructure	61.7	61.8	61.8	61.8
Casuals and temporary staff	4.9	4.0	4.0	4.0
Capitalised labour	13.0	13.0	13.0	13.0
Total staff numbers	96.1	91.8	91.8	91.8

4. Notes to the financial statements

This section presents detailed information on material components of the financial statements. Council needs to assess which components are material, considering the dollar amounts and nature of these components.

4.1 Comprehensive Income Statement

4.1.1 Rates and charges

Rates and charges are required by the Act and the Regulations to be disclosed in Council's budget.

As per the *Local Government Act 2020*, Council is required to have a Revenue and Rating Plan which is a four year plan for how Council will generate income to deliver the Council Plan, program and services and capital works commitments over a four-year period.

In developing the Budget, rates and charges were identified as an important source of revenue. Planning for future rate increases has therefore been an important component of the financial planning process. The Fair Go Rates System (FGRS) sets out the maximum amount councils may increase rates in a year. For 2023/24 the FGRS cap has been set at 3.50%. The cap applies to both general rates and municipal charges and is calculated on the basis of council's average rates and charges.

The level of required rates and charges has been considered in this context, with reference to Council's other sources of income and the planned expenditure on services and works to be undertaken for the community.

To achieve these objectives while maintaining service levels and a strong capital expenditure program, the average general rate and the municipal charge will increase by 3.50% in line with the rate cap.

This will raise total rates and charges for 2023/24 to \$370,383.

4.1.1(a) The reconciliation of the total rates and charges to the Comprehensive Income Statement is as follows:

	2022/23		2023/24	Change	%
	Forecast	Actual	Budget		
	\$'000				
General rates*	7,403	7,403	7,676	273	3.69%
Municipal charge*	749	749	747	(2)	-0.29%
Kerbside collection and recycling	1,118	1,118	1,218	100	8.90%
General waste charge	56	56	63	7	13.00%
Windfarm in lieu of rates	108	108	100	(8)	-7.05%
Total rates and charges	9,434	9,434	9,804	370	3.93%

*These items are subject to the rate cap established under the FGRS

4.1.1(b) The rate in the dollar to be levied as general rates under section 158 of the Act for each type or class of land compared with the previous financial year

Type or class of land	2022/23 cents/\$CIV*	2023/24 cents/\$CIV*	Change
Residential properties	0.00287260	0.00208960	-27.26%
Farm Land	0.00258530	0.00188070	-27.25%
Business, Industrial & Commercial Land	0.00258530	0.00188070	-27.25%
Recreational & Cultural Land	0.00143630	0.00104480	-27.26%
Urban Vacant Land	0.00574520	0.00417920	-27.26%

4.1.1(c) The estimated total amount to be raised by general rates in relation to each type or class of land, and the estimated total amount to be raised by general rates, compared with the previous financial year

Type or class of land	2022/23	2023/24	Change	
	\$'000	\$'000	\$'000	%
Residential properties	1,124	1,049	(75)	-6.69%
Farm Land	6,088	6,462	375	6.16%
Business, Industrial & Commercial Land	152	124	(29)	-18.90%
Recreational & Cultural Land	3	3	(0)	-14.10%
Urban Vacant Land	36	39	3	8.55%
Total amount to be raised by general rates	7,403	7,676	273	3.69%

4.1.1(d) The number of assessments in relation to each type or class of land, and the total number of assessments, compared with the previous financial year

Type or class of land	2022/23	2023/24	Change	
	Number	Number	Number	%
Residential properties	2,548	2,559	11	0.43%
Farm Land	2,087	2,102	15	0.72%
Business, Industrial & Commercial Land	326	326	-	0.00%
Recreational & Cultural Land	15	15	-	0.00%
Urban Vacant Land	167	170	3	1.80%
Total number of assessments	5,143	5,172	29	0.56%

4.1.1(e) The basis of valuation to be used is the Capital Improved Value (CIV)

4.1.1(f) The estimated total value of each type or class of land, and the estimated total value of land, compared with the previous financial year

Type or class of land	2022/23	2023/24	Change	
	\$'000	\$'000	\$'000	%
Residential properties	395,759	502,048	106,289	26.86%
Farm Land	2,355,908	3,436,238	1,080,330	45.86%
Business, Industrial & Commercial Land	59,071	65,752	6,681	11.31%
Recreational & Cultural Land	2,208	2,608	400	18.12%
Urban Vacant Land	6,309	9,224	2,915	46.21%
Total value of land	2,819,254	4,015,869	1,196,614	42.44%

4.1.1(g) The municipal charge under Section 159 of the Act compared with the previous financial year

Type of Charge	Per Rateable Property	Per Rateable Property	Change	
	2022/23	2023/24	\$	%
Municipal	200	200	-	0.00%

4.1.1(h) The estimated total amount to be raised by municipal charges compared with the previous financial year

Type of Charge	2022/23	2023/24	Change	
	\$	\$	\$	%
Municipal	749,000	746,800	(2,200)	-0.29%

4.1.1(i) The rate or unit amount to be levied for each type of service rate or charge under Section 162 of the Act compared with the previous financial year

Type of Charge	Per Rateable Property	Per Rateable Property	Change	
	2022/23	2023/24	\$	%
Kerbside waste/recycling collection charge	393	453	60	15.27%
General waste charge	13	17	4	30.77%
Total	406	470	64	15.76%

4.1.1(j) The estimated total amount to be raised by each type of service rate or charge, and the estimated total amount to be raised by service rates and charges, compared with the previous financial year

Type of Charge	2022/23	2023/24	Change	
	\$	\$	\$	%
Kerbside waste/recycling collection charge	1,118,150	1,217,664	99,514	8.90%
General waste charge	56,175	63,478	7,303	13.00%
Total	1,174,325	1,281,142	106,817	9.10%

4.1.1(k) The estimated total amount to be raised by all rates and charges compared with the previous financial year

Type of Charge	2022/23	2023/24	Change	
	\$'000	\$'000	\$'000	%
General Rates*	7,403	7,676	273	3.69%
Municipal charge*	749	747	(2)	-0.29%
Kebside collection and recycling	1,118	1,218	100	8.90%
General waste charge	56	63	7	13.00%
Windfarm in lieu of rates	108	100	(8)	-7.05%
Total Rates and charges	9,434	9,804	370	3.93%

*These items are subject to the rate cap established under the FGSR

4.1.1(l) Fair Go Rates System Compliance

Hindmarsh Shire Council is required to comply with the State Government's Fair Go Rates System (FGRS). The table below details the budget assumptions consistent with the requirements of the Fair Go Rates System.

	2022/23	2023/24
Total Rates	\$ 8,152	\$ 8,423
Number of rateable properties	5,143	5,172
Base Average Rate	1.58508	1.62862
Maximum Rate Increase (set by the State Government)	1.75%	3.50%
Capped Average Rate	\$ 1,588	\$ 1,634
Maximum General Rates and Municipal Charges Revenue	\$ 8,167,501	\$ 8,450,635
Budgeted General Rates and Municipal Charges Revenue	\$ -	\$ -
Budgeted Supplementary Rates	\$ -	\$ -
Budgeted Total Rates and Municipal Charges Revenue	\$ 8,152,051	\$ 8,423,207

4.1.1(m) Any significant changes that may affect the estimated amounts to be raised by rates and charges

There are no known significant changes which may affect the estimated amounts to be raised by rates and charges. However, the total amount to be raised by rates and charges may be affected by:

- The variation of returned levels of value (e.g. valuation appeals)
- Changes of use of land such that rateable land becomes non-rateable land and vice versa
- Changes of use of land such that residential land becomes business land and vice versa.

4.1.1(n) Differential rates

Rates to be levied

The rate and amount of rates payable in relation to land in each category of differential are:

- A general rate of 0.20896% (0.0020896 cents in the dollar of CIV) for all residential properties;
- A general rate of 0.18807% (0.0018807 cents in the dollar of CIV) for all farming properties
- A general rate of 0.18807% (0.0018807 cents in the dollar of CIV) for all Business, Industrial & Commercial properties
- A general rate of 0.104483% (0.0010448 cents in the dollar of CIV) for all recreation and cultural land
- A general rate of 0.41792% (0.0041792 cents in the dollar of CIV) for all urban vacant land.

Each differential rate will be determined by multiplying the Capital Improved Value (CIV) of each rateable land (categorised by the characteristics described below) by the relevant percentages indicated above.

Council considers that each differential rate will contribute to the equitable and efficient carrying out of council functions. Details of the objectives of each differential rate, the types of classes of land, which are subject to each differential rate and the uses of each differential rate, are set out below.

Residential Land

Residential Land is any land which less than 2 hectares in area and is occupied for the principal purpose of providing private housing; or provides multi-unit private dwellings for families or individuals.

The objective of this differential rate is to ensure that all rateable land makes an equitable financial contribution to the cost of carrying out the functions of Council, including, but not limited to, the:

- Construction and maintenance of infrastructure assets;
- Development of health and community services; and
- Provision of general support services.

Farm Land

Farm land is any rateable land:

- That is not less than 2 hectares in area;
- That is used primarily for grazing (including agistment, dairying, pig farming, poultry farming, fish farming, tree farming, bee keeping, viticulture, horticulture, fruit growing or the growing of crops of any kind or for any combination of these activities);
- That is used by a business
- That has a significant and substantial commercial purpose of character;
- That seeks to make a profit on a continuous or repetitive basis from its activities on the land; and
- That is making a profit from its activities on the land, or that has a reasonable prospect of making a profit from its activities on the land if it continues to operate in the way that it is operating.

The objective of this differential rate is to ensure that all rateable land makes an equitable financial contribution to the cost of carrying out the functions of Council, including, but not limited to, the:

- Construction and maintenance of infrastructure assets;
- Development of health and community services; and
- Provision of general support services.

Business, Industrial and Commercial Land

Business, Industrial and Commercial land is any rateable land:

- That is generally less than 2 hectares in area;
- That is used by a business
- That has a significant and substantial commercial purpose of character;
- That seeks to make a profit on a continuous or repetitive basis from its activities on the land; and
- That is making a profit from its activities on the land, or that has a reasonable prospect of making a profit from its activities on the land if it continues to operate in the way that it is operating.

The objective of this differential rate is to ensure that all rateable land makes an equitable financial contribution to the cost of carrying out the functions of Council, including, but not limited to, the:

- Construction and maintenance of infrastructure assets;
- Development of health and community services; and
- Provision of general support services.

Recreational and Cultural Land

Recreational and Cultural Land is any rateable land that;

- Which is used for sporting, recreational or cultural purposes or similar activities; or
- Land which is used primarily as agricultural showgrounds.

The objective of this differential rate is to ensure that all rateable land makes an equitable financial contribution to the cost of carrying out the functions of Council, including, but not limited to, the:

- Construction and maintenance of infrastructure assets;
- Development of health and community services; and
- Provision of general support services.

Urban Vacant Land

Urban Vacant Land is any rateable land within the residential zone which does not contain a dwelling suitable for habitation.

The objective of this differential rate is to ensure that all rateable land makes an equitable financial contribution to the cost of carrying out the functions of Council, including, but not limited to, the:

- Construction and maintenance of infrastructure assets;
- Development of health and community services;
- Provision of general support services;
- To encourage land owners to develop land; and
- To ease a chronic housing shortage within the Shire.

4.1.2 Statutory fees and fines

	Forecast Actual	Budget	Change	
	2022/23	2023/24		
	\$'000	\$'000	\$'000	%
Infringements and costs	54	49	(5)	-8.88%
Town Planning Fees	77	87	11	13.73%
Swimming Pools	3	8	4	114.35%
Animal Registrations	62	60	(2)	-3.23%
Other	1	-	(1)	-100.00%
Total statutory fees and fines	196	203	7	3.70%

Statutory fees and fines consist of fees and fines levied in accordance with legislation and include animal registrations and town planning fees. Increases in statutory fees are made in accordance with legislative requirements.

4.1.3 User fees

	Forecast Actual	Budget	Change	
	2022/23	2023/24		
	\$'000	\$'000	\$'000	%
Aged and health services **	396	116	(280)	-70.64%
Garbage/recycling	142	139	(3)	-1.94%
Caravan park/camp ground	597	730	133	22.28%
Private works	398	508	110	27.64%
Building	35	36	1	2.86%
Other Commercial Fees	84	77	(8)	-9.06%
Total user fees	1,652	1,606	(46)	-2.79%

User fees relate mainly to the recovery of service delivery costs through the charging of fees to users of Council's services. These include fees for aged care services, aerodrome leases, movie screenings, caravan parks and camping grounds, transfer stations and private works.

** As of 2023/24 Hindmarsh Shire Council will no longer provide Home Care services to the community. The budgeted costs allow for Council to provide the services until they are transitioned to a new external provider.

4.1.4 Grants

Grants are required by the Act and the Regulations to be disclosed in Council's budget.

	Forecast Actual	Budget	Change	
	2022/23	2023/24		
	\$'000	\$'000	\$'000	%
Grants were received in respect of the following:				
Summary of grants				
Commonwealth funded grants	5,260	9,852	4,592	87%
State funded grants	3,620	420	(3,200)	-88%
Total grants received	8,881	10,272	1,391	16%
(a) Operating Grants				
Recurrent - Commonwealth Government				
Financial Assistance Grants	1,162	4,937	3,775	325%
General home care	165	129	(36)	-22%
Environmental planning	32	16	(16)	-50%
Recurrent - State Government				
Aged care	493	101	(392)	-79%
School crossing supervisors	8	8	0	0%
Libraries	129	129	0	0%
Youth	75	43	(32)	-43%
Seniors Week	3	3	0	0%
Immunisation Services	4	-	(4)	-100%
Facilitated Playgroup	63	61	(2)	-3%
Infrastructure	85	75	(10)	-12%
Total recurrent grants	2,218	5,502	3,284	148%
Non-recurrent - Commonwealth Government				
Queens Jubilee Tree Planting	10	-	(10)	-100%
Non-recurrent - State Government				
Family and Children	1	-	(1)	-100%
Community Health	30	-	(30)	-100%
State Library Innovation	23	-	(23)	-100%
Kerbside Reform Support	27	-	(27)	-100%
Animal Welfare	7	-	(7)	-100%
Total non-recurrent grants	98	-	(98)	-100%
Total operating grants	2,316	5,502	3,186	138%
(b) Capital Grants				
Recurrent - Commonwealth Government				
Roads to recovery	1,081	1,081	-	0%
Recurrent - State Government				
Total recurrent grants	1,081	1,081	-	0%
Non-recurrent - Commonwealth Government				
Regional Airports Program	150	-	(150)	-100%
Regional Infrastructure Grant	500	-	(500)	-100%
Flood Recovery	500	1,985	1,485	297%
Local Roads and Infrastructure Program	2,162	1,705	(457)	-21%
Infrastructure	-	-	-	-
Non-recurrent - State Government				
Buildings	1,050	-	(1,050)	-100%
Plant and Equipment	76	-	-	-
Infrastructure	1,047	-	(1,047)	-100%
Total non-recurrent grants	5,484	3,689	(1,795)	-33%
Total capital grants	6,565	4,770	(1,795)	-27%
Total Grants	8,881	10,272	1,391	0

4.1.5 Contributions

	Forecast Actual		Budget	Change	
	2022/23	2023/24			
	\$'000	\$'000	\$'000	%	
Monetary	18	12	(6)	-32.20%	
Total contributions	18	12	(6)	-32.20%	

4.1.6 Other income

	Forecast Actual		Budget	Change	
	2022/23	2023/24			
	\$'000	\$'000	\$'000	%	
Interest	210	240	30	14.29%	
Sales	28	21	(8)	-26.79%	
Recoupments	191	177	(14)	-7.43%	
Other	6	6	0	0.00%	
Total other income	435	443	8	1.91%	

Other income includes the sale of scrap metal and garbage bin parts as well as internal recoupments.

4.1.7 Employee costs

	Forecast Actual		Budget	Change	
	2022/23	2023/24			
	\$'000	\$'000	\$'000	%	
Wages and salaries	7,336	6,448	(888)	-12.11%	
WorkCover	121	200	79	64.87%	
Superannuation	464	857	393	84.73%	
Training/travel/accommodation	132	219	87	65.85%	
Other	197	340	142	72.11%	
Total employee costs	8,250	8,062	(187.31)	-2.27%	

Employee costs include all labour related expenditure such as wages, salaries and direct overheads. Direct overheads include allowances, leave entitlements, employer superannuation, WorkCover premiums, fringe benefit tax and protective clothing.

4.1.8 Materials and services

	Forecast Actual		Budget	Change	
	2022/23	2023/24			
	\$'000	\$'000	\$'000	%	
Aerodrome, saleyard and commercial operations	165	168	4	2.12%	
Building maintenance	203	238	35	17.35%	
Community development, tourism, economic development, childrens' and youth services	385	106	(279)	-72.51%	
Home and community care	201	61	(141)	-69.85%	
Information technology	406	561	155	38.04%	
Libraries	63	58	(6)	-9.06%	
Office administration	557	573	16	2.87%	
Parks, reserves, camp grounds and caravan parks	220	221	1	0.58%	
Plant and fleet operations	1,281	1,331	50	3.94%	
Quarry operations	161	155	(6)	-3.74%	
Rating & valuation	28	29	1	3.64%	
Roads, footpaths & drainage management	967	823	(144)	-14.93%	
Swimming pool maintenance & management	296	383	87	29.37%	
Statutory services	372	350	(22)	-5.82%	
Waste	967	804	(164)	-16.90%	
Total materials and services	6,271	5,860	(412)	-6.57%	

Materials and services include the purchases of consumables as well as payments to contractors for the provision of services.

4.1.9 Depreciation

	Forecast Actual	Budget	Change	
	2022/23	2023/24		
	\$'000	\$'000	\$'000	%
Property	439	404	(35)	-7.93%
Plant & equipment	1,276	1,184	(92)	-7.18%
Infrastructure	3,745	3,250	(495)	-13.22%
Total depreciation	5,460	4,839	(621.41)	-11.38%

Depreciation is an accounting measure which attempts to allocate the value of an asset over its useful life. This relates to Council's property, plant and equipment as well as infrastructure assets such as roads, drains and footpaths.

4.1.10 Other expenses

Add additional tables for each material component of the Comprehensive Income Statement

	Forecast Actual	Budget	Change	
	2022/23	2023/24		
	\$'000	\$'000	\$'000	%
Councillor allowances	208	221	13	6.04%
Advertising	64	68	4	6.31%
Insurance	385	418	32	8.34%
Audit fees	76	79	3	3.68%
Waste management costs	280	325	45	16.07%
Utilities & telecommunications	384	392	8	1.95%
Postage	26	24	(2)	-7.69%
Council contributions	180	117	(64)	-35.28%
Bank charges	34	34	0	0.00%
Fire service levy	25	25	0	0.00%
Memberships & subscriptions	165	183	17	10.46%
Legal fees	54	77	77	143.93%
Other expenses	(345)	(414)	(68)	19.84%
Total other expenses	1,537	1,548	11	0.71%

Other expenses includes the transfer of waste to facilities outside Hindmarsh Shire, Fire Service Levy which is payable to the State Government, the cost of use of major plant and equipment which is recovered through internal charges, as well administration expenses.

4.2 Balance Sheet

4.2.1 Assets

Current Assets (\$0.305 million decrease) and non-current assets (\$2.7311 million increase).

Cash and cash equivalents include cash and investments such as cash held in the bank and in petty cash, the value of investments in deposits of highly liquid investments with short term maturities of three months or less.

Property, infrastructure, plant and equipment is the largest component of Council's worth and represents the value of all the land, buildings, roads, vehicles, equipment etc. which has been built up by Council over many years. The increase in this balance is due to the net result of the capital works program, depreciation of assets and the written down value of assets.

4.2.2 Liabilities

Current liabilities (\$0.221 million decrease) and non-current liabilities (\$201 million increase).

Trade and other payables are those to who Council owes money as at 30 June. Provisions include Employee Costs (current) which are accrued long services leave, annual leave and rostered days off owing to employees, as well as the future rehabilitation of Quarries and Landfill.

4.2.3 Borrowings

Council does not hold any borrowings but does hold a \$2 million overdraft facility to cover a short term cash deficit which may arise from a timing variance. Council does not propose any new long term borrowings into the near future.

4.3 Statement of changes in Equity

4.3.1 Equity

Total equity always equals net assets and is made up of the following components:

- Asset revaluation reserve which represents the difference between the fair value of the asset and the historic cost.
- Accumulated surplus which is the value of all net assets less reserves that have accumulated over time. The increase in accumulated surplus of \$2.512m results directly from the operating profit for the year.

4.4 Statement of Cash Flows

4.4.1 Net cash flows provided by/used in operating activities

Operating activities refers to the cash generated in the normal service delivery functions of Council. Cash remaining after paying for the provision of services to the community may be available for investment in capital works.

4.4.2 Net cash flows provided by/used in investing activities

Investing activities refers to cash generated or used in the enhancement or creation of infrastructure and other assets. These activities also include the acquisition or sale of other assets such as vehicles, property and equipment.

4.5 Capital works program

This section presents a listing of the capital works projects that will be undertaken for the 2023/24 year, classified by expenditure type and funding source. Works are also disclosed as current budget or carried forward from prior year.

4.5.1 Summary

	Forecast Actual	Budget	Change	%
	2022/23	2023/24		
	\$'000	\$'000	\$'000	
Property	4,594	1,180	(3,414)	-74.31%
Plant and equipment	2,278	1,431	(847)	-37.18%
Infrastructure	10,650	4,844	(5,806)	-54.52%
Total	17,522	7,455	(10,067)	-57.46%

	Project Cost \$'000	New \$'000	Asset expenditure types			Summary of Funding Sources		
			Renewal	Upgrade	Expansion	Grants	Contrib.	Council cash
			\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
Property	1,180	-	1,180	-	-	700	-	480
Plant and equipment	1,431	-	1,431	-	-	-	-	1,431
Infrastructure	4,844	357	3,323	984	180	4,070	-	774
Total	7,455	357	5,934	984	180	4,770	-	2,685

4.5.2 Current Budget

Capital Works Area	Project Cost \$'000	New \$'000	Asset expenditure types			Summary of Funding Sources		
			Renewal \$'000	Upgrade \$'000	Expansion \$'000	Grants \$'000	Contrib. \$'000	Council cash \$'000
PROPERTY								
Land								
Land Improvements								
Buildings								
NMCC Capital Works	100	-	100	-	-	-	-	100
Essential Building Renewal	75	-	75	-	-	-	-	75
Davis Park Renewal	700	-	700	-	-	700	-	-
Nhill Historical Society	80	-	80	-	-	-	-	80
WSM Caravan Park Upgrades	50	-	50	-	-	-	-	50
Building Maintenance	175	-	175	-	-	-	-	175
TOTAL PROPERTY	1,180	-	1,180	-	-	700	-	480
PLANT AND EQUIPMENT								
Plant, Machinery and Equipment								
Jeparit Town Truck	100	-	100	-	-	-	-	100
Water Truck	270	-	270	-	-	-	-	270
Water Truck	270	-	270	-	-	-	-	270
Patching Truck	370	-	370	-	-	-	-	370
Minor Plant	35	-	35	-	-	-	-	35
Utility	45	-	45	-	-	-	-	45
Utility	45	-	45	-	-	-	-	45
Utility	45	-	45	-	-	-	-	45
Sedan	52	-	52	-	-	-	-	52
Sedan	59	-	59	-	-	-	-	59
Fixtures, Fittings and Furniture								
Office Furniture	5	-	5	-	-	-	-	5
Computers and Telecommunications								
workstations & Ipads	40	-	40	-	-	-	-	40
<i>IT Capital Projects</i>	45	-	45	-	-	-	-	45
Library books								
<i>Books</i>	50	-	50	-	-	-	-	50
TOTAL PLANT AND EQUIPMENT	1,431	-	1,431	-	-	-	-	1,431

Capital Works Area	Project Cost \$'000	New \$'000	Asset expenditure types			Summary of Funding Sources		
			Renewal \$'000	Upgrade \$'000	Expansion \$'000	Grants \$'000	Contrib. \$'000	Council cash \$'000
INFRASTRUCTURE								
Roads								
Dimboola Minyip Road	1,146	-	1,146	-	-	1,146	-	-
Lorquon-Netherby Rd & Lorquon Rd	518	-	518	-	-	518	-	-
Tarranyurk East Rd	322	-	322	-	-	322	-	-
Woorak-Ni-Ni-Lorquon Rd *	331	-	-	331	-	331	-	-
Dimboola Minyip Road	88	-	88	-	-	88	-	-
Tarranyurk East Rd *	55	-	-	55	-	55	-	-
Tarranyurk West Rd *	137	-	-	137	-	137	-	-
Western Beach Rd *	100	-	-	100	-	100	-	-
Starick Rd	48	-	48	-	-	48	-	-
Weirs Rd	155	-	155	-	-	155	-	-
Mt Elgin Rd *	20	-	-	20	-	20	-	-
Reseals	100	-	100	-	-	100	-	-
Nossacks Rd	64	-	64	-	-	64	-	-
Drendel Rainbow Rd	40	-	40	-	-	16	-	24
C Werner Rd N	101	-	101	-	-	101	-	-
Propodollah Netherby Rd	68	-	68	-	-	68	-	-
P Colberts Rd	55	-	55	-	-	55	-	-
F Wheatons Rd	58	-	58	-	-	58	-	-
Lorquon Woorak West Rd	41	-	41	-	-	41	-	-
Propodollah Extension	70	-	70	-	-	70	-	-
Hazeldene Rd	24	-	24	-	-	24	-	-
Designs and vegetation assessments	40	-	40	-	-	-	-	40
Heinrich Rd	77	-	77	-	-	-	-	77
Indoor Salaries	164	-	164	-	-	-	-	164
Kerb & Channel								
Designs	15	-	15	-	-	-	-	15
Albert St Rainbow *	85	-	-	-	85	85	-	-
Bridges								
Footpaths and Cycleways								
Williams St Nhill *	50	-	-	-	50	50	-	-
Bow St Rainbow *	45	-	-	-	45	37	-	8
Indoor Salaries	35	-	35	-	-	-	-	35
Drainage								
Indoor Salaries	35	-	35	-	-	-	-	35

Capital Works Area	Project Cost \$'000	New \$'000	Asset expenditure types			Summary of Funding Sources		
			Renewal \$'000	Upgrade \$'000	Expansion \$'000	Grants \$'000	Contrib. \$'000	Council cash \$'000
Aerodromes								
Nhill Aerodrome Runway	30	-	30	-	-	-	-	30
Other Infrastructure								
Bus Shelter Screen Dimboola	20	-	20	-	-	-	-	20
Dimboola Town Clock	10	-	10	-	-	-	-	10
Nhill Streetscape Plan Implementation	125	125	-	-	-	80	-	45
Security Cameras Nhill Library	6	6	-	-	-	-	-	6
Playgrounds	100	-	-	100	-	100	-	-
Caneball Court	40	40	-	-	-	40	-	-
Dimboola toddler pool	70	-	-	70	-	70	-	-
Skate park facilities	30	30	-	-	-	30	-	-
Council contribution for grant funded projects	50	50	-	-	-	-	-	50
Silo Art	40	40	-	-	-	-	-	40
Tourism Signage	20	-	-	20	-	-	-	20
Park Cabins fit outs	50	-	-	50	-	-	-	50
Dimboola Caravan Park Capital Works Includes visitor access	66	66	-	-	-	61	-	5
Depots and Workshops	100	-	-	100	-	-	-	100
TOTAL INFRASTRUCTURE	4,844	357	3,323	984	180	4,070	-	774
TOTAL NEW CAPITAL WORKS	7,455	357	5,934	984	180	4,770	-	2,685

Projects marked with an asterisk (*) are subject to the receipt of funding.

**Summary of Planned Capital Works Expenditure
For the years ending 30 June 2025, 2026 & 2027**

2024/25	Asset Expenditure Types					Funding Sources				
	Total \$'000	New \$'000	Renewal \$'000	Expansion \$'000	Upgrade \$'000	Total \$'000	Grants \$'000	Contributions \$'000	Council Cash \$'000	Borrowings \$'000
Property										
Land	-	-	-	-	-	-	-	-	-	-
Total Land	-	-	-	-	-	-	-	-	-	-
Buildings	250	-	250	-	-	250	-	-	250	-
Total Buildings	250	-	250	-	-	250	-	-	250	-
Total Property	250	-	250	-	-	250	-	-	250	-
Plant and Equipment										
Plant, machinery and equipment	1,250	-	1,250	-	-	1,250	-	-	1,250	-
Fixtures, fittings and furniture	5	-	5	-	-	5	-	-	5	-
Computers and telecommunications	60	-	60	-	-	60	-	-	60	-
Library books	40	-	40	-	-	40	-	-	40	-
Total Plant and Equipment	1,355	-	1,355	-	-	-	-	-	1,355	-
Infrastructure										
Roads										
<i>5-Chain Rd</i>	50	-	50	-	-	50	50	-	-	-
<i>Heinrich Rd</i>	40	-	40	-	-	40	40	-	-	-
<i>J Bones Rd</i>	205	-	205	-	-	205	205	-	-	-
<i>McKenzie Antwerp Rd</i>	120	-	120	-	-	120	120	-	-	-
<i>Jeparit East</i>	120	-	120	-	-	120	120	-	-	-
<i>Stasinowsky</i>	70	-	70	-	-	70	70	-	-	-
<i>Intersection Lake & Railway St</i>	100	-	100	-	-	100	100	-	-	-
<i>Designs</i>	30	-	30	-	-	30	-	-	30	-
<i>Vegetation</i>	10	-	10	-	-	10	-	-	10	-
<i>Re-Sheet as per Audit</i>	250	-	250	-	-	250	-	-	250	-
<i>As identified in the 2023-24 Audit</i>	1,355	-	1,355	-	-	1,384	1,376	-	8	-
Bridges										
<i>As identified in the 2023-24 Audit</i>	10	-	10	-	-	10	-	-	10	-
Footpaths and cycleways										
<i>Lloyd St, Dimboola</i>	35	-	-	-	35	6	-	-	6	-
<i>As identified in the 2023-24 Audit</i>	105	-	105	-	-	105	-	-	105	-
Drainage										
Kerb & Channel	250	-	250	-	-	250	-	-	250	-
Recreational, leisure and community facilities	175	-	175	-	-	175	-	-	175	-
Other infrastructure	-	-	-	-	-	-	-	-	-	-
Total Infrastructure	2,925	-	2,890	-	35	2,925	2,081	-	844	-
Total Capital Works Expenditure	4,530	-	4,495	-	35	4,530	2,081	-	2,449	-

2025/26	Asset Expenditure Types					Funding Sources				
	Total \$'000	New \$'000	Renewal \$'000	Expansion \$'000	Upgrade \$'000	Total \$'000	Grants \$'000	Contributions \$'000	Council Cash \$'000	Borrowings \$'000
Property										
Land	-	-	-	-	-	-	-	-	-	-
Land improvements	-	-	-	-	-	-	-	-	-	-
Total Land	-	-	-	-	-	-	-	-	-	-
Buildings	250	-	250	-	-	250	-	-	250	-
Total Buildings	250	-	250	-	-	250	-	-	250	-
Total Property	250	-	250	-	-	250	-	-	250	-
Plant and Equipment										
Plant, machinery and equipment	1,250	-	1,250	-	-	1,250	-	-	1,250	-
Fixtures, fittings and furniture	5	-	5	-	-	5	-	-	5	-
Computers and telecommunications	60	-	60	-	-	60	-	-	60	-
Library books	40	-	40	-	-	40	-	-	40	-
Total Plant and Equipment	1,355	-	1,355	-	-	-	-	-	1,355	-
Infrastructure										
Roads										
<i>As identified in the 2024-25 Audit</i>	2,280	-	2,280	-	-	2,280	2,081	-	199	-
Bridges	10	-	10	-	-	10	-	-	10	-
Footpaths and cycleways	-	-	-	-	-	-	-	-	-	-
<i>As identified in the 2024-25 Audit</i>	185	-	185	-	-	185	-	-	185	-
Drainage	-	-	-	-	-	-	-	-	-	-
<i>Major Culverts</i>	-	-	-	-	-	-	-	-	-	-
Recreational, leisure and community facilities	38	-	38	-	-	38	-	-	38	-
Kerb & Channel	170	-	170	-	-	170	-	-	170	-
Waste management	-	-	-	-	-	-	-	-	-	-
Parks, open space and streetscapes	-	-	-	-	-	-	-	-	-	-
Aerodromes	-	-	-	-	-	-	-	-	-	-
Off street car parks	-	-	-	-	-	-	-	-	-	-
Other infrastructure	-	-	-	-	-	-	-	-	-	-
Total Infrastructure	2,683	-	2,683	-	-	2,683	2,081	-	602	-
Total Capital Works Expenditure	4,288	-	4,288	-	-	4,288	2,081	-	2,207	-

2026/27	Asset Expenditure Types					Funding Sources				
	Total \$'000	New \$'000	Renewal \$'000	Expansion \$'000	Upgrade \$'000	Total \$'000	Grants \$'000	Contributions \$'000	Council Cash \$'000	Borrowings \$'000
Property										
Land	-	-	-	-	-	-	-	-	-	-
Land improvements	-	-	-	-	-	-	-	-	-	-
Total Land	-	-	-	-	-	-	-	-	-	-
Buildings	250	-	250	-	-	250	-	-	250	-
Total Buildings	250	-	250	-	-	250	-	-	250	-
Total Property	250	-	250	-	-	250	-	-	250	-
Plant and Equipment										
Plant, machinery and equipment	1,250	-	1,250	-	-	1,250	-	-	1,250	-
Fixtures, fittings and furniture	5	-	5	-	-	5	-	-	5	-
Computers and telecommunications	60	-	60	-	-	60	-	-	60	-
Library books	40	-	40	-	-	40	-	-	40	-
Total Plant and Equipment	1,355	-	1,355	-	-	-	-	-	1,355	-
Infrastructure										
Roads										
<i>As identified in the 2025-26 Audit</i>	2,150	-	2,150	-	-	2,150	2,081	-	69	-
Bridges	-	-	-	-	-	-	-	-	-	-
<i>As identified in the 2025-26 Audit</i>	330	-	330	-	-	330	-	-	330	-
Footpaths and cycleways	-	-	-	-	-	-	-	-	-	-
<i>As identified in the 2025-26 Audit</i>	383	-	383	-	-	383	-	-	383	-
Drainage	-	-	-	-	-	-	-	-	-	-
<i>As identified in the 2025-26 Audit</i>	246	-	246	-	-	246	-	-	246	-
Kerb & Channel	100	-	100	-	-	100	-	-	100	-
Recreational, leisure and community facilities	40	-	40	-	-	40	-	-	40	-
Other infrastructure	-	-	-	-	-	-	-	-	-	-
Total Infrastructure	3,249	-	3,249	-	-	3,249	2,081	-	1,168	-
Total Capital Works Expenditure	4,854	-	4,854	-	-	4,854	2,081	-	2,773	-

5. Revenue and Rating Plan

The *Local Government Act 2020* requires Council to prepare a Revenue and Rating Plan to cover a minimum period of four years following each Council election. The Revenue and Rating Plan establishes the revenue raising framework within which the Council proposes to work.

The purpose of the Revenue and Rating Plan is to determine the most appropriate and affordable revenue and rating approach for the Hindmarsh Shire Council which, in conjunction with other incomes sources, will adequately finance the objectives in the Council Plan.

This plan is an important part of Council's integrated planning framework, all of which is created to help Council achieve its vision of "a caring, active community enhanced by its liveability, environment and economy."

Strategies outlined in this plan align with the objectives contained in the Council Plan and will feed into our budgeting and long-term financial planning documents, as well as other strategic planning documents under our Council's strategic planning framework.



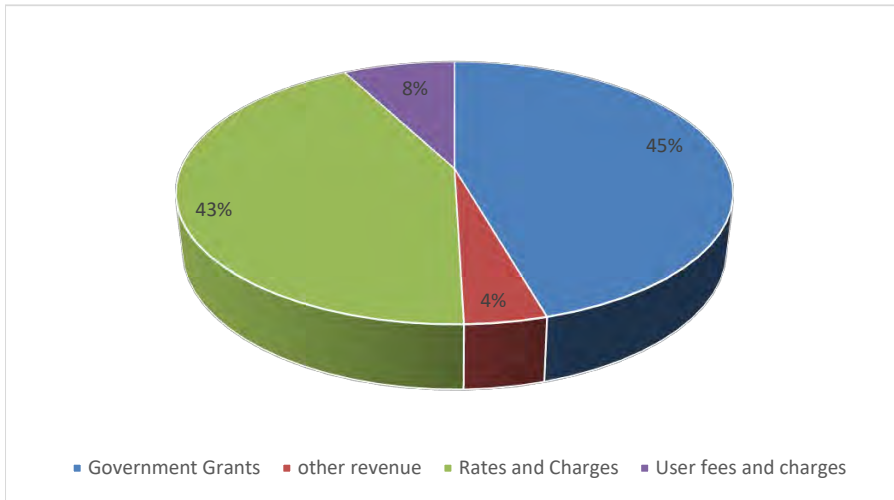
This plan will explain how Council calculates the revenue needed to fund its activities and how the funding burden will be apportioned between ratepayers and other users of Council facilities and services.

In particular, this plan will set out decisions that Council has made in relation to rating options available to it under the *Local Government Act 2020* to ensure the fair and equitable distribution of rates across property owners. It will also set out principles that are used in decision making for other revenue sources such as fees and charges.

It is also important to note that this plan does not set revenue targets for Council, it outlines the strategic framework and decisions that inform how Council will go about calculating and collecting its revenue.

1. REVENUE SOURCES

Council provides a number of services and facilities to our local community, and in doing so, must collect revenue to cover the cost of providing these services and facilities.



Council's revenue sources include:

- Rates and charges including kerbside collection and recycling
- Grants from other levels of Government
- User fees and charges including Statutory Fees and Fines
- Other revenue including contributions, interest from investments and sale of assets

Rates are the most significant revenue source for Council and make up roughly 45-50% of its annual income.

The introduction of rate capping under the Victorian Government's Fair Go Rates System (FGRS) has brought a renewed focus to Council's long-term financial sustainability. The FGRS continues to restrict Council's ability to raise revenue above the rate cap unless applications is made to the Essential Services Commission for a variation. Maintaining service delivery levels and investing in community assets remain key priorities for Council. This strategy will address Council's reliance on rate income and provide options to actively reduce that reliance.

Council revenue can also be adversely affected by changes to funding from other levels of government. Some grants are tied to the delivery of Council services, whilst many are tied directly to the delivery of new community assets, such as roads or recreational facilities. It is important for Council to be clear about what grants it intends to apply for and the obligations that grants create in the delivery of services such as infrastructure.

2. COMMUNITY ENGAGEMENT

The Revenue and Rating Plan outlines Council's decision-making process on how revenues are calculated and collected. The following public consultation process has been and will be followed to ensure due consideration and feedback is received from relevant stakeholders.

The Revenue and Rating Plan community engagement process is:

- Draft Revenue and Rating Plan prepared by officers;
- Draft Revenue and Rating Plan placed on public exhibition following adoption at the June 2023 Council meeting calling for public submissions;
- Community engagement through local news outlets, social media and community consultation meetings;
- Receiving of public submissions from Thursday 1 June 2023 to Wednesday 21 June 2023: and
- Draft Revenue and Rating Plan presented to the June Council meeting for adoption.

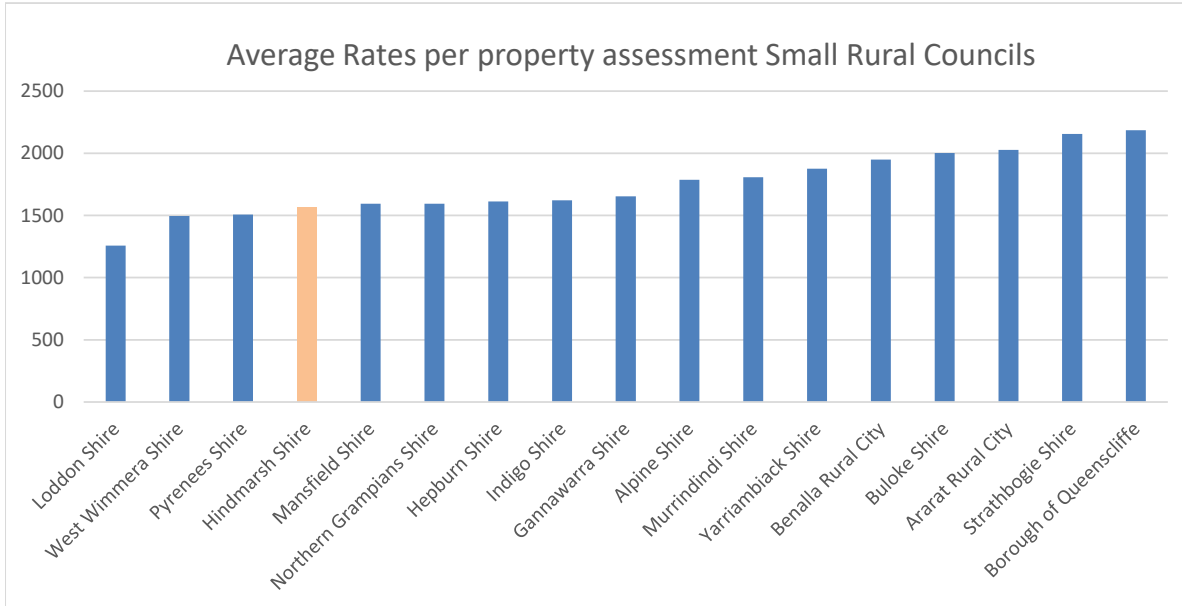
3. LEGISLATIVE FRAMEWORK

Raising of revenue including the levying of rates and charges by Hindmarsh Shire Council is legislated by the *Local Government Act 2020*, and the *Valuation of Land Act 1960*. The rates and charges provision is contained within the *Local Government Act 1989* pending the outcome of the Local Government Rating System Review.

4. ASSESSMENT OF CURRENT RATING LEVELS

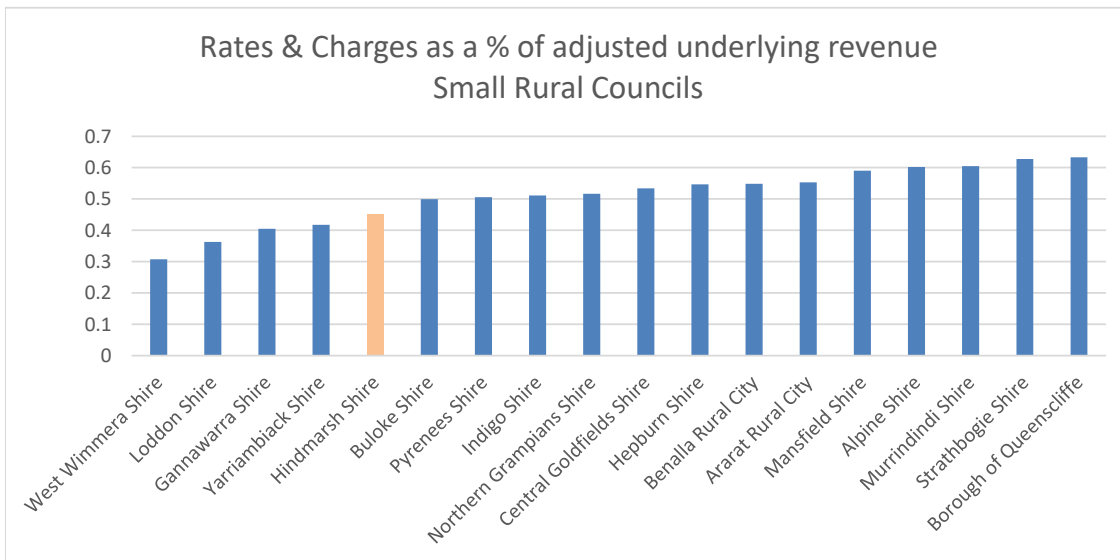
Comparing the relativity of rating levels between Council's can be a difficult exercise due to debate over the most appropriate methods to use and the inability to take into account the intricacies of rating structures in different Council's. Each local government sets rates based on an assessment of the desires, wants and needs of its community and as each community is different, direct comparisons can be difficult. For example, cash holdings of municipalities vary and Council's have significantly different infrastructure needs and geographic sizes. Each municipality also has significantly different levels of capital works, funding structures for capital works and varying levels of debt.

On a rates per assessment basis, Hindmarsh Shire was well within the average for the group of small rural Council's in the 2021/22 financial year.



*source Know Your Council, 2021/22 Annual Reporting data

The graph below, showing that Council is at the lower end of its peer group in terms of rates as a percentage of overall revenue, is an indication of the focus Council places on raising revenue from sources other than rate payers, such as grant revenue.



*source Know Your Council, 2021/22 Annual Reporting data

5. RATE CAPPING

The Fair Go Rates System (FGRS) sets out the maximum amount Council's may increase rates in financial year. For 2023/24 the rate cap is set at 3.5% (2022/23 – 1.75%). The cap applies to both general rates and municipal charges and is calculated based on the average rates payable per assessment.

6. RATES AND CHARGES

Rates are property taxes that allow Councils to raise revenue to fund essential public services which cater to their municipal population. Importantly it is a taxation system that includes flexibility for Councils to utilise different tools in its rating structure to accommodate issues of equity and to ensure fairness in rating for all ratepayers.

Council has established a rating structure comprised of three key elements. These are:

- General Rates – Based on property values using the Capital Improved Valuation methodology, which are indicative of capacity to pay and form the central basis of rating under the *Local Government Act 2020*;
- Service Charges – A 'user pays' component for Council services to reflect the recovery of the expenses of Council from ratepayers who benefit from a service; and
- Municipal Charge – A 'fixed rate' portion per property to cover some of the administrative costs of Council.

Striking a proper balance between these elements will help to improve equity in the distribution of the rate burden across residents.

Hindmarsh Shire Council uses the capital improved value (CIV) system of valuation. This means the sum that the land might be expected to realise at the time of valuation if offered for sale on any reasonable terms and conditions which a genuine seller might in ordinary circumstances be expected to require.

The formula for calculating General Rates, excluding any additional charges, arrears or additional supplementary rates is:

- Valuation (Capital Improved Value) x Rate in the Dollar (Differential Rate Type).

The rate in the dollar for each rating differential category is included in Council's annual budget.

Property Valuations

The *Valuation of Land Act 1960* is the principle legislation in determining property valuations. Under the *Valuation of Land Act 1960*, the Victorian Valuer-General conducts property valuations on an annual basis.

Council needs to be mindful of the impacts of revaluations on various property types in implementing differential rates to ensure that rises and falls in Council rates remain affordable and that rating 'shocks' are mitigated to some degree.

Supplementary Valuations

Supplementary valuations are carried out for a variety of reasons including renovations, new constructions, extensions, installation of swimming pools, rezoning, subdivisions, amalgamations, occupancy changes and corrections. The Victorian Valuer-General is tasked with undertaking supplementary valuations and advises Council annually on the basis of valuation and Australian Valuation Property Classification Code (AVPCC) changes.

Supplementary valuations bring the value of the affected property into line with the general valuation of other properties within the municipality. Objections to supplementary valuations can be lodged in accordance with Part 3 of the *Valuation of Land Act 1960*. Any objection must be lodged with Council within two months of the issuance of the supplementary rate notice.

Objections to property values

Part 3 of the *Valuation of Land Act 1960* provides that a property owner may lodge an objection against the valuation of a property or the Australian Valuation Property Classification Code (AVPCC) within two months of the issue of the original or amended supplementary Rates and Valuation Charges Notice (Rates Notice), or within four months if the notice was not originally issued to the occupier of the land.

Objections to a valuation shown on Council's valuation and rates notice can be lodged electronically with the Victorian State Government's objection portal. Council's website provides further information on Rating Valuation Objections.

Rates differentials

Council makes a further distinction when applying general rates by applying rating differentials based on the purpose for which the property is used. That is, whether the property is used for residential, farming or Commercial/Industrial. This distinction is based on the concept that different property categories should pay a fair and equitable contribution, taking into account the benefits those properties derive from the local community.

Hindmarsh Shire Council's rating structure comprises five differential rates. These rates are structure in accordance with the requirements of Section 158 of the *Local Government Act 1989* and the Ministerial guidelines for Differential Rating 2013.

The differential rates are currently set as follows:

- General 100%
- Farm 90% (a discount of 10% for farms)
- Commercial/Industrial 90% (a discount of 10% for businesses)
- Recreational 50% (a discount of 50% for recreational and cultural properties)
- Urban Vacant 200% (a penalty of 100% for urban vacant land in Nhill, Dimboola, Jeparit and Rainbow).

Note: The term 'discount' in relation to farms and businesses means the difference between the rate in the dollar applied to farms and businesses, and the rate in the dollar applied to residential properties. Similarly, the term 'penalty' means the difference between the rate in the dollar applied to urban vacant land and the rate in the dollar applied to residential properties. The rate in the dollar is the figure that is multiplied by a properties capital improved valuation to calculate the rates.

The highest differential rate must be no more than four times the lowest differential rate.

Differential definitions

The definition of each differential rate is set out below:

General

General rates applies to land which is not Farm / Commercial / Industrial / Recreational / or Urban Vacant.

The objective of the general rate is to ensure that all rateable land makes an equitable financial contribution to the cost of carrying out the functions of Hindmarsh Shire. The money raised by general rates will be applied to the items of expenditure described in the Hindmarsh Shire Council budget.

The characteristics of the planning scheme zoning are applicable to the determination of vacant land which will be subject to the rate of residential land. The vacant land affected by this rate is that which is zoned residential under the Hindmarsh Shire Council Planning Scheme. The classification of the land will be determined by the occupation of that land for its best use and have reference to the planning scheme zoning. The use of land is any permitted under the Hindmarsh Shire Council Planning scheme.

The types and classes of rateable land within this rate are those having the relevant characteristics described below:

- a. Used primarily for residential purposes; or
- b. Any land that is not defined as Farm Land / Commercial / Industrial / Recreational / or Urban Vacant.

This rate is applicable to land within the municipal district. The types of buildings on the land within this rate are all buildings already constructed on the land or which will be constructed prior to the expiry of the 2022/23 financial year.

Farm

Farm land applies to land which is not Residential / Commercial / Industrial / Recreational / or Urban Vacant and which is 'farm land' within the meaning of section 2(1) of the *Valuation of Land Act 1960*.

The objective of the farm rate is to encourage farming and to provide moderate rate relief to farmers whose property values have remained high and to ensure that all rateable land makes an equitable financial contribution to carrying out the functions of Hindmarsh Shire. The money raised by farm rates will be applied to items of expenditure described in the Hindmarsh Shire Council budget.

The characteristics of the planning zoning are applicable to the determination of farm land which will be subject to the rate of farm land. The classification of the land will be determined by the occupation of that land for its best use and have reference to the planning scheme zoning.

The types and classes of rateable land within this rate are those having the relevant characteristics described below:

- a. Used primarily for primary production purposes; or
- b. Any land that is not defined as General Land or Commercial / Industrial Land.

This rate is applicable to land within the municipal district. The types of buildings on this land are buildings already constructed on the land or which will be constructed prior to the expiry of the 2022/23 financial year.

Commercial / Industrial

Commercial / Industrial land applies to land which is not Residential / Farm / Recreational / or Urban Vacant. Commercial / Industrial land is any land which is:

- a. used primarily for carrying out the manufacture or production of, or trade in goods or services (including tourist facilities) and in the case of a business providing accommodation for tourists, is prescribed accommodation under the *Public Health and Wellbeing Act (Vic) 2008*; or
- b. unoccupied building erected which is zoned Commercial or Industrial under the Hindmarsh Shire Council Planning Scheme; or
- c. Unoccupied land which is zoned Commercial or Industrial under the Hindmarsh Shire Council Planning Scheme.

The objective of the commercial / industrial rate is to encourage economic development and to ensure that all rateable land makes an equitable financial contribution to carrying out the functions of Hindmarsh Shire. The money raised by commercial / industrial rates will be applied to items of expenditure described in the Hindmarsh Shire Council budget.

The characteristics of the planning scheme zoning are applicable to the determination of vacant land which will be subject to the rate applicable to Commercial / Industrial Land. The classification of land will be determined by the occupation of that land for its best use and have reference to the planning scheme zoning.

The types and classes of rateable land within this rate are those having the relevant characteristics described below:

- a. Used primarily for commercial purposes; or
- b. Any land that is not defined as General Land or Farm Land or Recreational Land.

This rate is applicable to land within the municipal district. The types of buildings on this land are buildings already constructed on the land or which will be constructed prior to the expiry of the 2022/23 financial year.

Recreational

Recreational and cultural land applies to land as defined under the *Cultural and Recreational Lands Act 1963*.

The objective of the recreational rate is to recognise the contribution that these community organisations and volunteers make to the Hindmarsh Shire in the provision of sporting, cultural and recreational activities. The money raised by recreational rates will be applied to items of expenditure described in the Hindmarsh Shire Council budget.

The characteristics of the planning scheme zoning are applicable to the determination of Recreational and Cultural land.

The types and classes of rateable land is less than 1500m² within this rate are those having the relevant characteristics described below:

- a. Occupied by a body which exists for cultural or recreational purposes and applies its profits in promoting the furthering of this purpose; or
- b. Owned by the body, by the Crown or by Council;
- c. Not agricultural show grounds.

This rate is applicable to land within the municipal district. The types of buildings on this land are buildings already constructed on the land or which will be constructed prior to the expiry of the 2022/23 financial year.

Urban Vacant

Urban Vacant land applies to any land which is not Residential / Farm / Commercial / Industrial / or Recreational; and which no dwelling has been erected in the four towns.

The objective of the urban vacant rate is to encourage development of vacant land and to ensure that all rateable land makes an equitable financial contribution to carrying out the functions of Hindmarsh Shire. The money raised by urban vacant rates will be applied to items of expenditure described in the Hindmarsh Shire Council budget.

The characteristics of the planning scheme zoning are applicable to the determination of vacant land which will be subject to the rate applicable to residential land.

They types and classes of rateable land within this rate are those having the relevant characteristics described below:

- Residential land within the four towns (Dimboola, Jeparit, Nhill and Rainbow) on which no dwelling has been erected.

This rate is applicable to land within the municipal district.

Municipal charge and general waste charge

Council also levies a municipal charge and general waste charge.

The Municipal charge is a fixed charge per property or assessment regardless of the valuation of the property. It operates in combination with the general rates based on Capital Improved Value.

Council has proposed the municipal charge will remain steady for 2023/24 at \$200. The municipal charge is designed to recoup some of the administrative costs of Council, and to ensure that lower valued properties pay a fair amount of rates. Council believes that the \$200 municipal charge achieves these objectives.

The budgeted municipal charge for 2023/24 is \$746,800 which is approximately 10% of the total revenue from rates and charges.

The general waste charge was introduced in 2018/19 to cover waste costs not covered by the kerbside collection / recycling charge. This includes urban area litter removal and commercial area litter removal.

Council has proposed the general waste charge will increase for 2023/24 to \$17 (\$15 in 2022/2023). The general waste charge is applied using the same criteria as the Municipal charge.

7. SERVICE RATES AND CHARGES

Council may declare a service rate or charge under section 162 of the *Local Government Act 1989* for the provision of the following services:

- Provision of water supply
- Collection and disposal of refuse
- Provision of sewage services
- Any other prescribed service.

Kerbside waste and recycling collection

Council levies a kerbside waste and recycling collection charge.

The purpose of this charge is to meet the costs of waste disposal and recycling activities throughout the Hindmarsh Shire area, including development and rehabilitation of landfill sites and the operating of transfer stations.

The kerbside waste and recycling collection charge is proposed to increase to \$453 in 2023/24 (\$418 in 2022/23). The increase in the charge reflects the introduction of glass recycling in 2023/24. Unfortunately, Council's garbage and recycling costs are impacted significantly by the global recycling crisis and the State Government's landfill levies.

8. SPECIAL RATES AND CHARGES

Council may declare a special rate or charge under section 163 of the *Local Government Act 1989*.

Council does not have any current special rates and charges schemes in place.

9. PAYMENT OF RATES AND CHARGES

In accordance with section 167(1) of the *Local Government Act 1989* ratepayers have the option of paying rates and charges by way of four instalments. Payments are due on the prescribed dates belows:

- 1st Instalment: 30 September
- 2nd Instalment: 30 November
- 3rd Instalment: 28 February
- 4th Instalment: 31 May

Council offers a range of payment options including:

- In person at Council Customer Service Centres (cheques, money orders, EFTPOS, credit/debit cards and cash);
- BPay;
- Australia Post (over the counter, over the phone via credit card and on the internet);
- By mail (cheques and money orders only);
- Direct Debit (weekly, fortnightly, monthly, by instalment or annually);
- Centrepay.

10. PENALTY INTEREST

Interest is charged on all overdue rates in accordance with Section 172 of the *Local Government Act 1989*. The interest rate applied is fixed under section 2 of the *Penalty Interest Rates Act 1983*, which is determined by the Minister and published by notice in the Government Gazette.

11. PENSIONER REBATES

Holders of Centrelink or Veteran Affairs Pension Concession card or a Veteran Affairs Gold card which stipulates TPI or War Widow may claim a rebate on their sole or principal place of residence. Upon initial application, ongoing eligibility is maintained, unless rejected by Centrelink or the Department of Veteran Affairs during the annual verification procedure. Upon confirmation of an eligible pensioner concession status, the pensioner rebate is deducted from the rate account before payment is required by the ratepayer. Eligible pensioners are also entitled to receive a concession on the Fire Services Property Levy.

12. FINANCIAL HARDSHIP

Council is committed to assisting ratepayers who are experiencing financial difficulty. Council has approved a financial hardship policy which provides guidance for the collection of rates and charges where the ratepayer is experiencing financial hardship.

Ratepayers experiencing financial hardship should contact Council's Rates Department to confidentially discuss their situation.

13. DEBT RECOVERY

Council makes every effort to contact ratepayers at their correct address but it is the ratepayers' responsibility to properly advise Council of changes to their contact details. The *Local Government Act 1989* section 230 and 231 requires both the vendor and buyer of property, or their agents (eg solicitors and or conveyancers), to notify Council by way of notice of disposition or acquisition of an interest in land.

In the event that an account becomes overdue, Council will issue an overdue reminder notice which will include accrued penalty interest. In the event that the account remains unpaid, Council may take legal action without further notice to recover the overdue amount. All fees and court costs incurred will be recoverable from the ratepayer.

If an amount payable by way of rates in respect to land has been in arrears for three years or more, Council may take action to sell the property in accordance with section 181 of the *Local Government Act 1989*.

14. FIRE SERVICES PROPERTY LEVY

In 2013 the Victorian State Government passed legislation requiring the Fire Services Property Levy to be collected from ratepayers. Previously this was collected through building and property insurance premiums. The Fire Services Property Levy helps fund the services provided by Fire Rescue Victoria (FRV) and Country Fire Authority (CFA), and all levies collected by Council are passed through to the State Government.

The Fire Services Property Levy is based on two components, a fixed charge, and a variable charge which is linked to the Capital Improved Value (CIV) of the property. The levy is not included in the rate cap and increases in the levy are at the discretion of the State Government.

15. OTHER REVENUE ITEMS

Fees and Charges

Fees and charges consist of statutory fees and fines and user fees charges. Statutory fees mainly relate to fees and fines levied in accordance with legislation and include animal registration fees, building and planning fees, and fines including local laws and animal fines. User fees relate to the recovery of service delivery costs through the charging of fees to users of Council's services including home and community care, waste depot fees, and hall hire.

The provision of infrastructure and services form a key part of Council's role in supporting the local community. In providing these, Council must consider a range of 'Best Value' principles including service cost and quality standards, value-for-money, and community expectations and values. Council must also balance the affordability and accessibility of infrastructure and services with its financial capacity and in the interests of long-term financial sustainability.

Council must also comply with the government's Competitive Neutrality Policy for significant business activities they provide and adjust their service prices to neutralise any competitive advantages when competing with the private sector.

In providing services to the community, Council must determine the extent of cost recovery for particular services consistent with the level of both individual and collective benefit that the services provide in line with the communities expectations.

Council will develop a table of fees and charges as part of its annual budget each year. Proposed pricing changes will be included in this table and will be communicated to stakeholders before the budget is adopted, giving them a chance to review and provide valuable feedback before the fees are locked in.

Grants

Grant revenue (recurrent and non-recurrent) represents income usually received from other levels of government. Some grants are singular and attached to the delivery of specific projects, whilst others can be of a recurrent nature and may or may not be linked to the delivery of projects.

Council will pro-actively advocate to other levels of government for grant funding support to deliver important infrastructure and service outcomes for the community. Council may use its own funds to leverage higher grant funding and maximise external funding opportunities.

Contributions

Contributions represent funds received by Council, usually from non-government sources. Contributions may include funds from user groups towards facility upgrades or community projects.

Other Revenue

Council receives revenue from interest on investments and interest on rates arrears. The amount of revenue earned from these sources fluctuates from year to year depending on the level of cash and investments and outstanding rates and charges balances.

6. Financial Performance Indicators

6a. Targeted performance indicators

The following tables highlight Council's current and projected performance across a selection of targeted service and financial performance indicators. These indicators provide a useful analysis of Council's intentions and performance and should be interpreted in the context of the organisation's objectives. The targeted performance indicators below are the prescribed performance indicators contained in Schedule 4 of the Local Government (Planning and Reporting) Regulations 2020. Results against these indicators and targets will be reported in Council's Performance Statement included in the Annual Report.

Targeted performance indicators - Service

Indicator	Measure	Notes	Actual	Forecast	Target	Target Projections			Trend
			2021/22	2022/23	2023/24	2024/25	2025/26	2026/27	+/-
Governance									
Satisfaction with community consultation and engagement	Community satisfaction rating out of 100 with the consultation and engagement efforts of Council	1	55	57	59	61	63	65	+
Roads									
Sealed local roads below the intervention level	Number of kms of sealed local roads below the renewal intervention level set by Council / Kms of sealed local roads	2	99.83%	99.80%	99.80%	99.80%	99.80%	99.80%	o
Statutory planning									
Planning applications decided within the relevant required time	Number of planning application decisions made within the relevant required time / Number of decisions made	3	90.16%	90%	90%	90%	90%	90%	+
Waste management									
Kerbside collection waste diverted from landfill	collected from kerbside bins	4	32.39%	40%	40%	40%	40%	40%	+

Targeted performance indicators - Financial

Indicator	Measure	Notes	Actual	Forecast	Target	Target Projections			Trend
			2021/22	2022/23	2023/24	2024/25	2025/26	2026/27	+/-
Liquidity									
Working Capital	Current assets / current liabilities	5	347.90%	100%	98%	73%	55%	19%	+
Obligations									
Asset renewal	Asset renewal and upgrade expense / Asset depreciation	6	235.61%	221.41%	146.75%	80.53%	70.23%	41.49%	o
Stability									
Rates concentration	Rate revenue / adjusted underlying revenue	7	45.23%	60.94%	51.25%	52.56%	52.67%	52.77%	+
Efficiency									
Expenditure level	Total expenses / no. of property assessments	8	\$3,239	\$4,184	\$3,927	\$3,962	\$4,104	\$4,248	+

6b. Financial performance indicators

The following table highlights Council's current and projected performance across a range of key financial performance indicators. These indicators provide a useful analysis of Council's financial position and performance and should be interpreted in the context of the organisation's objectives. The financial performance indicators below are the prescribed financial performance indicators contained in Part 3 of Schedule 3 of the Local Government (Planning and Reporting) Regulations 2020. Results against these indicators will be reported in Council's Performance Statement included in the Annual Report.

Indicator	Measure	Notes	Actual	Forecast	Budget	Projections			Trend
			2021/22	2023/24	2023/24	2024/25	2025/26	2026/27	+/-
Operating position									
Adjusted underlying result	Adjusted underlying surplus (deficit) / Adjusted underlying revenue	9	11.6%	39.0%	-6.2%	-6.7%	-7.5%	-8.2%	+
Liquidity									
Unrestricted cash	Unrestricted cash / current liabilities	10	178.82%	46%	47%	28%	17%	-14%	o
Obligations									
Indebtedness	Non-current liabilities / own source revenue	11	1.72%	1.81%	1.91%	1.94%	1.94%	1.94%	+
Stability									
Rates effort	Rate revenue / CIV of rateable properties in the municipality	12	0.45%	0.33%	0.24%	0.25%	0.26%	0.27%	o
Efficiency									
Revenue level	General rates and municipal charges / no. of property assessments	13	\$1,561	\$1,834	\$1,896	\$1,953	\$2,011	\$2,071	+

Sustainability Capacity

Key to Forecast Trend:

- + Forecasts improvement in Council's financial performance/financial position indicator
- o Forecasts that Council's financial performance/financial position indicator will be steady
- Forecasts deterioration in Council's financial performance/financial position indicator

Notes to indicators

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1. Satisfaction with community consultation and engagement

Satisfaction with community consultation continues to remain steady.

2. Sealed local roads below the intervention level

Sealed roads below the intervention level will decline unless capital grants are obtained to maintain the current level.

3. Planning applications decided within the relevant required time

Council utilise contract planning services for the provision of Statutory Planning. Planning decisions are made within the required timeframe.

4. Kerbside collection waste diverted from landfill

Kerbside collection of recyclables continued in 2022/2023 and will continue in future years. Council introduced glass recycling in 2022/2023.

5. Working Capital

Working capital is expected to decline as own source revenue is used to fund the asset renewal gap unless grant income becomes available.

6. Asset renewal

Asset renewal will decline unless grant income becomes available.

7. Rates concentration

Rates will continue to be a major source of Councils revenue.

8. Expenditure level

The increase in expenditure due to inflation will see the expenditure level per rateable property increase.

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9. Adjusted underlying result

The adjusted underlying result will decrease as Council uses own source funds to maintain the renewal gap on roads.

10. Unrestricted Cash

The unrestricted cash available will decrease as Council uses own source funds to maintain the renewal gap on roads.

11. Debt compared to rates

Council continues to remain debt free.

12. Rates effort

Property values are increasing at a higher rate than rate capping.

13. Revenue level

General rates and municipal charges will increase in line with rates capping.

7. Schedule of Fees and Charges

This appendix presents the fees and charges of a statutory/non-statutory nature which will be charged in respect to various goods and services during the financial year 2023/24.

Fees and charges are based on information available at the time of publishing and may vary during the financial year subject to any changes in Council's policy or legislation.

Description of Fees and Charges	GST Status	2022/23 Fee Inc	2023/24 Fee Inc	Fee	Fee	Basis of Fee
		GST	GST (Proposed)	Increase / (Decrease)	Increase / (Decrease)	
		\$	\$	\$	%	
AGED CARE AND DISABILITY SERVICES						
COMMUNITY CARE SERVICES - DOMESTIC ASSISTANCE						
Low income rate - Single per hour	Non-taxable	\$ 8.40	\$ 8.60	\$ 0.20	2.3%	Non-statutory
Low income rate - Couple per hour	Non-taxable	\$ 9.30	\$ 9.50	\$ 0.20	2.1%	Non-statutory
Medium income rate - Single per hour	Non-taxable	\$ 15.70	\$ 16.10	\$ 0.40	2.5%	Non-statutory
Medium income rate - Couple per hour	Non-taxable	\$ 17.70	\$ 18.10	\$ 0.40	2.2%	Non-statutory
High income rate - Single per hour	Non-taxable	\$ 20.90	\$ 21.40	\$ 0.50	2.3%	Non-statutory
High income rate - Couple per hour	Non-taxable	\$ 24.50	\$ 25.10	\$ 0.60	2.4%	Non-statutory
COMMUNITY CARE SERVICES - SOCIAL SUPPORT INDIVIDUAL						
Low income rate - Single per hour	Non-taxable	\$ 8.40	\$ 8.60	\$ 0.20	2.3%	Non-statutory
Low income rate - Couple per hour	Non-taxable	\$ 9.30	\$ 9.50	\$ 0.20	2.1%	Non-statutory
Medium income rate - Single per hour	Non-taxable	\$ 15.70	\$ 16.10	\$ 0.40	2.5%	Non-statutory
Medium income rate - Couple per hour	Non-taxable	\$ 17.70	\$ 18.10	\$ 0.40	2.2%	Non-statutory
High income rate - Single per hour	Non-taxable	\$ 20.90	\$ 21.40	\$ 0.50	2.3%	Non-statutory
High income rate - Couple per hour	Non-taxable	\$ 24.50	\$ 25.10	\$ 0.60	2.4%	Non-statutory
COMMUNITY CARE SERVICES - PERSONAL CARE						
Low income rate - Single or Couple per hour	Non-taxable	\$ 5.70	\$ 5.80	\$ 0.10	1.7%	Non-statutory
Medium income rate - Single or Couple per hour	Non-taxable	\$ 8.90	\$ 9.10	\$ 0.20	2.2%	Non-statutory
High income rate - Single or Couple per hour	Non-taxable	\$ 16.30	\$ 16.70	\$ 0.40	2.4%	Non-statutory
COMMUNITY CARE SERVICES - RESPITE CARE						
Low income rate - Single or Couple per hour	Non-taxable	\$ 5.70	\$ 5.80	\$ 0.10	1.7%	Non-statutory
Medium income rate - Single or Couple per hour	Non-taxable	\$ 8.90	\$ 9.10	\$ 0.20	2.2%	Non-statutory
High income rate - Single or Couple per hour	Non-taxable	\$ 16.30	\$ 16.70	\$ 0.40	2.4%	Non-statutory
HANDYMAN CHARGES						
Low income rate - per hour plus materials	Non-taxable	\$ 13.80	\$ 14.10	\$ 0.30	2.1%	Non-statutory
Medium income rate - per hour plus materials	Non-taxable	\$ 20.90	\$ 21.40	\$ 0.50	2.3%	Non-statutory
High income rate - per hour plus materials	Non-taxable	\$ 38.00	\$ 39.00	\$ 1.00	2.6%	Non-statutory
MEALS ON WHEELS						
Meals on Wheels - per meal (Client fee - Low / Medium income) Jeparit, Nhill & Rainbow	Non-taxable	\$ 13.30	\$ 13.60	\$ 0.30	2.2%	Non-statutory
Meals on Wheels - per meal (Client fee - Low / Medium income) Dimboola	Non-taxable	\$ 9.70	\$ 9.90	\$ 0.20	2.0%	Non-statutory
Meals on Wheels - per meal (Client fee - High income) Jeparit, Nhill & Rainbow	Non-taxable	\$ 16.30	\$ 16.70	\$ 0.40	2.4%	Non-statutory
Meals on Wheels - per meal (Client fee - High income) Dimboola	Non-taxable	\$ 13.30	\$ 13.60	\$ 0.30	2.2%	Non-statutory
Meals on Wheels - per meal (Agency fee / Non HACC or CHSP funded) Jeparit, Nhill & Rainbow	Taxable	\$ 20.80	\$ 21.30	\$ 0.50	2.3%	Non-statutory
Meals on Wheels - per meal (Agency fee / Non HACC or CHSP funded) Dimboola	Taxable	\$ 14.80	\$ 15.20	\$ 0.40	2.6%	Non-statutory
COMMUNITY CARE SERVICES - AGENCY SERVICES						
6am to 6pm - per hour	Non-taxable	\$ 62.60	\$ 64.20	\$ 1.60	2.5%	Non-statutory
Home maintenance - per hour	Non-taxable	\$ 72.70	\$ 74.50	\$ 1.80	2.4%	Non-statutory
After hours / weekends - per hour	Non-taxable	\$ 73.00	\$ 74.80	\$ 1.80	2.4%	Non-statutory
Public holidays - per hour	Non-taxable	\$ 89.80	\$ 92.00	\$ 2.20	2.4%	Non-statutory
Travel - per kilometre	Non-taxable	\$ 1.70	\$ 1.70	\$ -	0.0%	Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc GST	2023/24 Fee Inc GST (Proposed)	Fee Increase / (Decrease)	Fee Increase / (Decrease)	Basis of Fee
		\$	\$	\$	%	
ANIMAL BUSINESS						
Domestic Animal Business - Licence Fee	Taxable	\$ 320.00	\$ 320.00	\$ -	0.0%	Non-statutory
ANIMAL CAGES						
Hire of Cat Trap	Taxable	\$ 27.00	\$ 27.70	\$ 0.70	2.5%	Non-statutory
Hire of Cat Trap - Bond	Taxable	\$ 51.50	\$ 52.80	\$ 1.30	2.5%	Non-statutory
Hire of Cat Trap - Pensioner Discount	Taxable	\$ 17.00	\$ 17.00	\$ -	0.0%	Non-statutory
Hire of Cat Trap - Pensioner Bond	Taxable	\$ 50.00	\$ 50.00	\$ -	0.0%	Non-statutory
ANIMAL FINES (Domestic Animals Act 1994)						
Note: Fees are indexed annually by the Department of Justice						
Failure to apply to register or renew the registration of a dog or cat over the age of 3 months	Non-taxable	\$ 370.00	\$ 370.00	\$ -	0.0%	Statutory
Identification marker not worn outside of premises	Non-taxable	\$ 92.00	\$ 92.00	\$ -	0.0%	Statutory
Unregistered dog or cat wearing Council identification marker	Non-taxable	\$ 92.00	\$ 92.00	\$ -	0.0%	Statutory
Person removing, altering or defacing identification marker	Non-taxable	\$ 92.00	\$ 92.00	\$ -	0.0%	Statutory
Dog or cat on private property after notice served	Non-taxable	\$ 92.00	\$ 92.00	\$ -	0.0%	Statutory
Dog at large or not securely confined - during the day	Non-taxable	\$ 277.00	\$ 277.00	\$ -	0.0%	Statutory
Dog at large or not securely confined - during the night	Non-taxable	\$ 370.00	\$ 370.00	\$ -	0.0%	Statutory
Cat at large or not securely confined in restrictive district	Non-taxable	\$ 92.00	\$ 92.00	\$ -	0.0%	Statutory
Dog or cat in prohibited place	Non-taxable	\$ 185.00	\$ 185.00	\$ -	0.0%	Statutory
Greyhound not muzzled or not controlled by chain, cord or leash	Non-taxable	\$ 277.00	\$ 277.00	\$ -	0.0%	Statutory
Not complying with notice to abate nuisance	Non-taxable	\$ 277.00	\$ 277.00	\$ -	0.0%	Statutory
ANIMAL IMPOUND FEES						
Impound Fees - Dog						
Pound release fee	Taxable	\$ 113.00	\$ 116.00	\$ 3.00	2.6%	Non-statutory
Daily pound keeping fee (Monday to Friday)	Taxable	\$ 52.00	\$ 53.00	\$ 1.00	1.9%	Non-statutory
Daily pound keeping fee (Saturday and Sunday)	Taxable	\$ 72.00	\$ 74.00	\$ 2.00	2.7%	Non-statutory
Pound release fee - Repeat offenders	Taxable	\$ 226.00	\$ 232.00	\$ 6.00	2.6%	Non-statutory
Impound Fees - Cat						
Pound release fee	Taxable	\$ 113.00	\$ 116.00	\$ 3.00	2.6%	Non-statutory
Daily pound keeping fee (Monday to Friday)	Taxable	\$ 52.00	\$ 53.00	\$ 1.00	1.9%	Non-statutory
Daily pound keeping fee (Saturday and Sunday)	Taxable	\$ 72.00	\$ 74.00	\$ 2.00	2.7%	Non-statutory
Pound release fee - Repeat offenders	Taxable	\$ 226.00	\$ 232.00	\$ 6.00	2.6%	Non-statutory
Livestock						
Livestock	Taxable	\$ 41.00	\$ 42.00	\$ 1.00	2.4%	Non-statutory
ANIMAL REGISTRATIONS						
Note: Prices are for one cat or dog and include the government levy						
Dangerous/Restricted breed	Non-taxable	\$ 724.00	\$ 742.00	\$ 18.00	2.4%	Non-statutory
Standard Registration	Non-taxable	\$ 151.00	\$ 155.00	\$ 4.00	2.6%	Non-statutory
Desexed and microchipped - Cat	Non-taxable	\$ 38.00	\$ 39.00	\$ 1.00	2.6%	Non-statutory
Desexed and microchipped - Dog	Non-taxable	\$ 47.00	\$ 48.00	\$ 1.00	2.1%	Non-statutory
Desexed registration - Cat	Non-taxable	\$ 41.00	\$ 42.00	\$ 1.00	2.4%	Non-statutory
Desexed registration - Dog	Non-taxable	\$ 52.00	\$ 53.00	\$ 1.00	1.9%	Non-statutory
Working Dogs	Non-taxable	\$ 52.00	\$ 53.00	\$ 1.00	1.9%	Non-statutory
Animals over 10 years old - Cat	Non-taxable	\$ 41.00	\$ 42.00	\$ 1.00	2.4%	Non-statutory
Animals over 10 years old - Dog	Non-taxable	\$ 52.00	\$ 53.00	\$ 1.00	1.9%	Non-statutory
Animals registered with VCA or FCC - Cat	Non-taxable	\$ 41.00	\$ 42.00	\$ 1.00	2.4%	Non-statutory
Animals registered with VCA or FCC - Dog	Non-taxable	\$ 52.00	\$ 53.00	\$ 1.00	1.9%	Non-statutory
Animal permanently identified (microchipped) - Cat	Non-taxable	\$ 108.00	\$ 111.00	\$ 3.00	2.7%	Non-statutory
Animal permanently identified (microchipped) - Dog	Non-taxable	\$ 134.00	\$ 137.00	\$ 3.00	2.2%	Non-statutory
Breeding animal on registered premises - Cat	Non-taxable	\$ 41.00	\$ 42.00	\$ 1.00	2.4%	Non-statutory
Breeding animal on registered premises - Dog	Non-taxable	\$ 52.00	\$ 53.00	\$ 1.00	1.9%	Non-statutory
Late payment penalty fee (after 10 April)	Non-taxable	\$ 20.00	\$ 21.00	\$ 1.00	4.8%	Non-statutory
Pensioner reduction rate	Non-taxable	50%	50%	\$ -	0.0%	Non-statutory
Animal tag replacement	Taxable	\$ 11.00	\$ 11.00	\$ -	0.0%	Non-statutory
View Animal Register	Taxable	\$ 20.00	\$ 21.00	\$ 1.00	4.8%	Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc GST	2023/24 Fee Inc GST (Proposed)	Fee Increase / (Decrease)	Fee Increase / (Decrease)	Basis of Fee
		\$	\$	\$	%	
BUILDING DEPARTMENT						
Note: Prices do not include the statutory government levy applicable to all building works over \$10,000						
New Dwelling / Dwelling - Extension/Alteration						
Up to \$5,000	Taxable	\$ -	\$ -	\$ -	0.0%	Non-statutory
\$5,001 to \$10,000	Taxable	\$ 819.50	\$ 819.50	\$ -	0.0%	Non-statutory
\$10,001 to \$20,000	Taxable	\$ 1,072.50	\$ 1,072.50	\$ -	0.0%	Non-statutory
\$20,001 to \$50,000	Taxable	\$ 1,540.00	\$ 1,540.00	\$ -	0.0%	Non-statutory
\$50,001 to \$100,000	Taxable	\$ 2,051.50	\$ 2,051.50	\$ -	0.0%	Non-statutory
\$100,001 to \$150,000	Taxable	\$ 2,376.00	\$ 2,376.00	\$ -	0.0%	Non-statutory
\$150,001 to \$200,000	Taxable	\$ 2,794.00	\$ 2,794.00	\$ -	0.0%	Non-statutory
\$200,001 to \$250,000	Taxable	\$ 3,135.00	\$ 3,135.00	\$ -	0.0%	Non-statutory
\$250,001 to \$300,000	Taxable	\$ 3,520.00	\$ 3,520.00	\$ -	0.0%	Non-statutory
\$300,001 to \$350,000	Taxable	\$ 3,993.00	\$ 3,993.00	\$ -	0.0%	Non-statutory
\$350,000 and above	Taxable	\$ 4,224.00	\$ 4,224.00	\$ -	0.0%	Non-statutory
<i>Notes:</i>						
<i>Includes partial compliance</i>						
<i>Protection works additional \$800</i>						
<i>Performance solutions additional \$1,000 (up to 2, more than 2 to be negotiated)</i>						
<i>Includes four (4) mandatory inspections - additional inspections \$190 each</i>						
New Dwellings, Re-erection/Re-siting						
Value of works \$1 to \$200,000	Taxable	\$ 3,135.00	\$ 3,135.00	\$ -	0.0%	Non-statutory
Value of works \$200,001 to \$250,000	Taxable	\$ 3,619.00	\$ 3,619.00	\$ -	0.0%	Non-statutory
Value of works \$250,001 to \$350,000	Taxable	\$ 3,916.00	\$ 3,916.00	\$ -	0.0%	Non-statutory
Value of works \$350,001 and above	Taxable	\$ 3,998.50	\$ 3,998.50	\$ -	0.0%	Non-statutory
<i>Notes:</i>						
<i>Protection works additional \$800</i>						
<i>Performance solutions additional \$1,000 (up to 2, more than 2 to be negotiated)</i>						
<i>Includes four (4) mandatory inspections - additional inspections \$190 each</i>						
Miscellaneous - Building Permits						
Garage/Carport/Shed/Patio/Verandah/Pergola	Taxable	\$ 951.50	\$ 951.50	\$ -	0.0%	Non-statutory
Swimming Pool (Fence Alterations Only)	Taxable	\$ 398.20	\$ 398.20	\$ -	0.0%	Non-statutory
Swimming Pool Fence (New Fence Only)	Taxable	\$ 704.00	\$ 704.00	\$ -	0.0%	Non-statutory
Swimming Pool and all Fences	Taxable	\$ 902.00	\$ 902.00	\$ -	0.0%	Non-statutory
Restumping (works must be performed by a Registered Builder)	Taxable	\$ 968.00	\$ 968.00	\$ -	0.0%	Non-statutory
Demolish / Remove Building - Domestic (shed / house)	Taxable	\$ 869.00	\$ 869.00	\$ -	0.0%	Non-statutory
Demolish / Remove Building - Commercial	Taxable	\$ 913.00	\$ 913.00	\$ -	0.0%	Non-statutory
<i>Note: Includes three (3) mandatory inspections - additional inspections \$190 each</i>						
Commercial Works						
Up to \$10,000	Taxable	\$ 1,028.50	\$ 1,028.50	\$ -	0.0%	Non-statutory
\$10,001 to \$50,000	Taxable	\$ 1,485.00	\$ 1,485.00	\$ -	0.0%	Non-statutory
\$50,001 to \$100,000	Taxable	\$ 2,200.00	\$ 2,200.00	\$ -	0.0%	Non-statutory
\$100,001 to \$150,000	Taxable	\$ 2,722.50	\$ 2,722.50	\$ -	0.0%	Non-statutory
\$150,001 to \$200,000	Taxable	\$ 3,080.00	\$ 3,080.00	\$ -	0.0%	Non-statutory
\$200,001 to \$250,000	Taxable	\$ 3,630.00	\$ 3,630.00	\$ -	0.0%	Non-statutory
\$250,001 to \$300,000	Taxable	\$ 4,202.00	\$ 4,202.00	\$ -	0.0%	Non-statutory
\$300,001 to \$500,000	Taxable	\$ 4,785.00	\$ 4,785.00	\$ -	0.0%	Non-statutory
Value of Works above \$500,000 (or negotiated with Council)	Taxable	(Value of works + 50)	(Value of works + 50)	\$ -	0.0%	Non-statutory
<i>Notes:</i>						
<i>Includes partial compliance</i>						
<i>Protection works additional \$800</i>						
<i>Performance solutions additional \$1,000 (up to 2, more than 2 to be negotiated)</i>						
<i>Includes four (4) mandatory inspections - additional inspections \$190 each</i>						

Description of Fees and Charges	GST Status	2022/23 Fee Inc GST	2023/24 Fee Inc GST (Proposed)	Fee Increase / (Decrease) \$	Fee Increase / (Decrease) %	Basis of Fee
Community Group (Not for Profit) Building works - Building Permits						
(Discount on Permit fees only - State Government Levy still applies)		Fee may be negotiated	Fee may be negotiated			Non-statutory
Levies / Bonds						
Building Administration Fund Levy (State levy)		Value of work x 0.00128	Value of work x 0.00128			Non-statutory
Bond/Guarantee for Re-erection of buildings		(The lesser the cost of the building work or \$5,000)	(The lesser the cost of the building work or \$5,000)			
Council Infrastructure (Asset) Protection Deposit		\$ 770.00	\$ 770.00	\$ -	0.0%	
Inspections						
Additional Mandatory Inspections - per hour		\$ 209.00	\$ 209.00	\$ -	0.0%	Non-statutory
Inspections of Swimming Pool and Spa Barriers (compliance inspections)						
First Inspection		\$ 330.00	\$ 330.00	\$ -	0.0%	Non-statutory
Re-inspection		\$ 203.50	\$ 203.50	\$ -	0.0%	Non-statutory
Note:						
Includes compliance certificate - FORM 23 or FORM 24 (non-compliance)						
Excludes prescribed lodgement fees						
Swimming Pools and Spa's (Lodgement fees)						
Swimming Pool / Spa registration fee		As per adopted regulatory fee	As per adopted regulatory fee			
Swimming Pool / Spa records search determination fee		As per adopted regulatory fee	As per adopted regulatory fee			
Lodging a certificate of pool and spa barrier non-compliance		As per adopted regulatory fee	As per adopted regulatory fee			
Lodging a certificate of pool and spa barrier compliance		As per adopted regulatory fee	As per adopted regulatory fee			
Report and Consent						
Application for report and consent (To build over an easement vested in Council)		As per adopted regulatory fee	As per adopted regulatory fee			
<i>(Regulation 310 Part 4 - Siting, 513,515,604,802 and 806)</i>						
Application for report and consent (To build over an easement vested in Council)		As per adopted regulatory fee	As per adopted regulatory fee			
<i>(Regulation 610 - Location of Point of Stormwater Discharge)</i>						
Application for report and consent (section 29a - Demolition of building)		As per adopted regulatory fee	As per adopted regulatory fee			
Request for Information						
Property Information Requests		As per adopted regulatory fee	As per adopted regulatory fee			
<i>(Regulation 326(1), 326(2) and 326(3))</i>						
Request for Professional Advice/Consultation - per hour	Taxable	\$ 175.00	\$ 175.00	\$ -	0.0%	Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc	2023/24 Fee Inc	Fee	Fee	Basis of Fee
		GST	GST (Proposed)	Increase / (Decrease)	Increase / (Decrease)	
		\$	\$	\$	%	
File Retrieval / Search						
File Retrieval - Minor Document (eg building / Occupancy Permit / Plans) each		\$ 49.50	\$ 49.50	\$ -	0.0%	Non-statutory
File Retrieval/Search (eg Permit History) Each		\$ 132.00	\$ 132.00	\$ -	0.0%	Non-statutory
Amended Building Permit						
Amended Building Permit - minor alterations	Taxable	\$ 187.00	\$ 187.00	\$ -	0.0%	Non-statutory
Amended Building Permit - major alterations	Taxable	\$ 308.00	\$ 308.00	\$ -	0.0%	Non-statutory
Time Extension - Building Permit - first request	Taxable	\$ 319.00	\$ 319.00	\$ -	0.0%	Non-statutory
Time Extension - Building Permit - second request	Taxable	\$ 363.00	\$ 363.00	\$ -	0.0%	Non-statutory
Time Extension - Building Permit - third request	Taxable	\$ 407.00	\$ 407.00	\$ -	0.0%	Non-statutory
Inspection fee for permits issued by private building surveyors	Taxable	\$295 + \$1.86 per km outside of Nhill	\$295 + \$1.86 per km outside of Nhill			Non-statutory
Refunds						
Withdrawn Application – Permit Lodged Not Yet Assessed	Taxable	\$ 396.00	\$ 396.00	\$ -	0.0%	Non-statutory
Withdrawn Application – Permit Assessed Not Yet Issued	Taxable	40% of fees (Minimum \$480.00)	40% of fees (Minimum \$480.00)			Non-statutory
Permit Cancellation – After Permit Issued (Refund only for inspections not carried out, based on inspection fee at time of cancellation)	Taxable	Permit fees retained	Permit fees retained			Non-statutory
Permit Cancellation - After Permit Expited	Taxable	No refund	No refund			Non-statutory
Lodgement Fee						
Lodgement fee for Private Building Surveyors <i>(Submission of Section 80, 30 and 73) (lodged via hard copy/email/facsimile)</i>		As per adopted regulatory fee	As per adopted regulatory fee			Non-statutory
Lodgement fee for Private Building Surveyors <i>(Submission of Section 80, 30 and 73) (lodged wholly online via Greenlight only)</i>		As per adopted regulatory fee	As per adopted regulatory fee			Non-statutory
Events						
Place of Public Entertainment (POPE) Occupany Permit	Taxable	\$ 440.00	\$ 440.00	\$ -	0.0%	Non-statutory
Temporary Siting Approval or Temporary Structure Inspection	Taxable	\$ 286.00	\$ 286.00	\$ -	0.0%	Non-statutory
Entertainment / Event Consideration, Notification and Approval - No Permit Required	Taxable	\$ 22.00	\$ 22.00	\$ -	0.0%	Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc	2023/24 Fee Inc	Fee	Fee	Basis of Fee
		GST	GST (Proposed)	Increase / (Decrease)	Increase / (Decrease)	
		\$	\$	\$	%	
CAMPING FEES						
Note: Some items may not be available at all times						
Peak Times						
Four Mile Beach - Powered Site Daily	Taxable	\$ 15.00	\$ 15.00	\$ -	0.0%	Non-statutory
Four Mile Beach - Powered Site Weekly	Taxable	\$ 92.00	\$ 94.00	\$ 2.00	2.1%	Non-statutory
Four Mile Beach - Unpowered Site Daily	Taxable	\$ 10.00	\$ 10.00	\$ -	0.0%	Non-statutory
Four Mile Beach - Unpowered Site Weekly	Taxable	\$ 61.00	\$ 63.00	\$ 2.00	3.2%	Non-statutory
Caravan Park Fees - Jeparit and Rainbow						
Daily Rates						
Linen fee - to be charged when customers want linen changed during lengthy stay in cabins	Taxable	\$ 51.00	\$ 52.00	\$ 1.00	1.9%	Non-statutory
Powered site (2 persons)	Taxable	\$ 25.00	\$ 25.00	\$ -	0.0%	Non-statutory
Unpowered site	Taxable	\$ 20.00	\$ 20.00	\$ -	0.0%	Non-statutory
Extra person > 16 years old	Taxable	\$ 10.00	\$ 10.00	\$ -	0.0%	Non-statutory
Extra person 6 - 15 years old	Taxable	\$ 5.00	\$ 5.00	\$ -	0.0%	Non-statutory
Rainbow - On Site Caravan	Taxable	\$ 51.00	\$ 52.00	\$ 1.00	1.9%	Non-statutory
Jeparit - Studio Cabin	Taxable	\$ 105.00	\$ 105.00	\$ -	0.0%	Non-statutory
Jeparit - 2 bedroom cabin luxury	Taxable	\$ 150.00	\$ 150.00	\$ -	0.0%	Non-statutory
Rainbow - 2 bedroom cabin luxury	Taxable	\$ 150.00	\$ 150.00	\$ -	0.0%	Non-statutory
Weekly Rates (less than 40 days)						
Powered site (2 persons)	Taxable	\$ 153.00	\$ 157.00	\$ 4.00	2.5%	Non-statutory
Unpowered site	Taxable	\$ 92.00	\$ 94.00	\$ 2.00	2.1%	Non-statutory
Extra person > 16 years old	Taxable	\$ 46.00	\$ 47.00	\$ 1.00	2.1%	Non-statutory
Extra person 6 - 15 years old	Taxable	\$ 31.00	\$ 32.00	\$ 1.00	3.1%	Non-statutory
Rainbow - On Site Caravan	Taxable	\$ 306.00	\$ 314.00	\$ 8.00	2.5%	Non-statutory
Jeparit - Cabin	Taxable	\$ 612.00	\$ 627.00	\$ 15.00	2.4%	Non-statutory
Jeparit - Studio Cabin - Trades/Contractors	Taxable	\$ 510.00	\$ 523.00	\$ 13.00	2.5%	Non-statutory
Jeparit - 2 bedroom cabin luxury	Taxable	\$ 750.00	\$ 750.00	\$ -	0.0%	Non-statutory
Rainbow - 2 bedroom cabin luxury	Taxable	\$ 750.00	\$ 750.00	\$ -	0.0%	Non-statutory
Caravan Park Fees - Dimboola						
Daily Rates						
Peak Times						
Linen fee - to be charged when customers want linen changed during lengthy stay in cabins	Taxable	\$ 50.00	\$ 50.00	\$ -	0.0%	Non-statutory
Powered site (2 persons)	Taxable	\$ 40.00	\$ 40.00	\$ -	0.0%	Non-statutory
Unpowered site	Taxable	\$ 25.00	\$ 25.00	\$ -	0.0%	Non-statutory
Extra person > 16 years old	Taxable	\$ 10.00	\$ 10.00	\$ -	0.0%	Non-statutory
Extra person 6 - 15 years old	Taxable	\$ 10.00	\$ 10.00	\$ -	0.0%	Non-statutory
Ensuite site	Taxable	\$ 60.00	\$ 60.00	\$ -	0.0%	Non-statutory
Cabin (Number 53 & 54) - 2 adults	Taxable	\$ 110.00	\$ 110.00	\$ -	0.0%	Non-statutory
Cabin (2 bedroom) - 2 adults, 2 children	Taxable	\$ 175.00	\$ 175.00	\$ -	0.0%	Non-statutory
Cabin (2 bedroom) - luxury	Taxable	\$ 185.00	\$ 185.00	\$ -	0.0%	Non-statutory
Off Peak Times						
Linen fee - to be charged when customers want linen changed during lengthy stay in cabins	Taxable	\$ 51.00	\$ 52.00	\$ 1.00	1.9%	Non-statutory
Powered site (2 persons)	Taxable	\$ 36.00	\$ 37.00	\$ 1.00	2.7%	Non-statutory
Unpowered site	Taxable	\$ 20.00	\$ 21.00	\$ 1.00	4.8%	Non-statutory
Extra person > 16 years old	Taxable	\$ 10.00	\$ 10.00	\$ -	0.0%	Non-statutory
Extra person 6 - 15 years old	Taxable	\$ 10.00	\$ 10.00	\$ -	0.0%	Non-statutory
Ensuite site	Taxable	\$ 56.00	\$ 56.00	\$ -	0.0%	Non-statutory
Cabin (Number 53 & 54) - 2 adults	Taxable	\$ 105.00	\$ 105.00	\$ -	0.0%	Non-statutory
Cabin (2 bedroom) - 2 adults, 2 children	Taxable	\$ 155.00	\$ 155.00	\$ -	0.0%	Non-statutory
Cabin (2 bedroom) - luxury	Taxable	\$ 160.00	\$ 160.00	\$ -	0.0%	Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc	2023/24 Fee Inc	Fee	Fee	Basis of Fee
		GST	GST (Proposed)	Increase / (Decrease)	Increase / (Decrease)	
		\$	\$	\$	%	
Weekly Rates (less than 40 days)						
Peak Times						
Powered site (2 persons)	Taxable	\$ 245.00	\$ 251.00	\$ 6.00	2.4%	Non-statutory
Unpowered site	Taxable	\$ 150.00	\$ 150.00	\$ -	0.0%	Non-statutory
Extra person > 16 years old	Taxable	\$ 60.00	\$ 60.00	\$ -	0.0%	Non-statutory
Extra person 6 - 15 years old	Taxable	\$ 45.00	\$ 45.00	\$ -	0.0%	Non-statutory
Ensuite site	Taxable	\$ 305.00	\$ 305.00	\$ -	0.0%	Non-statutory
Cabin (Number 53 & 54) - 2 adults	Taxable	\$ 680.00	\$ 680.00	\$ -	0.0%	Non-statutory
Cabin (Number 53 & 54) - Trades/Contractor	Taxable	\$ 565.00	\$ 565.00	\$ -	0.0%	Non-statutory
Cabin (2 bedroom) - 2 adults, 2 children	Taxable	\$ 1,050.00	\$ 1,050.00	\$ -	0.0%	Non-statutory
Cabin (2 bedroom) - luxury	Taxable	\$ 1,110.00	\$ 1,110.00	\$ -	0.0%	Non-statutory
Off Peak Times						
Powered site (2 persons)	Taxable	\$ 214.00	\$ 219.00	\$ 5.00	2.3%	Non-statutory
Unpowered site	Taxable	\$ 122.00	\$ 125.00	\$ 3.00	2.4%	Non-statutory
Extra person > 16 years old	Taxable	\$ 61.00	\$ 63.00	\$ 2.00	3.2%	Non-statutory
Extra person 6 - 15 years old	Taxable	\$ 46.00	\$ 47.00	\$ 1.00	2.1%	Non-statutory
Ensuite site	Taxable	\$ 275.00	\$ 282.00	\$ 7.00	2.5%	Non-statutory
Cabin (Number 53 & 54) - 2 adults	Taxable	\$ 612.00	\$ 627.00	\$ 15.00	2.4%	Non-statutory
Cabin (Number 53 & 54) - Trades/Contractor	Taxable	\$ 510.00	\$ 523.00	\$ 13.00	2.5%	Non-statutory
Cabin (2 bedroom) - 2 adults, 2 children	Taxable	\$ 875.00	\$ 875.00	\$ -	0.0%	Non-statutory
Cabin (2 bedroom) - luxury	Taxable	\$ 900.00	\$ 900.00	\$ -	0.0%	Non-statutory
*Peak Times:						
Other items						
Fire drum hire (per visit)	Taxable	\$ 10.00	\$ 10.00	\$ -	0.0%	Non-statutory
Fire wood - 20kg bag	Taxable	\$ 10.00	\$ 10.00	\$ -	0.0%	Non-statutory
Bike hire - 30 minutes	Taxable	\$ 5.00	\$ 5.00	\$ -	0.0%	Non-statutory
Note: Nhill Caravan Park fees are set by the licensee and are not included in the above fees.						
COMMUNITY BUS						
Community Group Hire Fees - per kilometre	Taxable	\$ 0.40	\$ 0.40	\$ -	0.0%	Non-statutory
*Note: Fuel at cost of hirer; bus must be returned with full tank of fuel.						
Other Hirer Fees - per kilometre	Taxable	\$ 1.00	\$ 1.00	\$ -	0.0%	Non-statutory
*Note: Fuel at cost of hirer; bus must be returned with full tank of fuel.						
DISABLED PARKING LABELS						
Disabled parking labels	Taxable	\$ 9.20	\$ 9.40	\$ 0.20	2.1%	Non-statutory
ELECTIONS						
Candidate deposits	Non-taxable	\$ 250.00	\$ 250.00	\$ -	0.0%	Statutory
Failure to vote fines (Local Government Act 2020)	Non-taxable	\$ 91.00	\$ 91.00	\$ -	0.0%	Statutory
EVENTS						
Hire of Variable Message Sign (per week) (including set up of message)	Taxable	\$ 206.00	\$ 211.20	\$ 5.20	2.5%	Non-statutory
Completion of Traffic Management Plan (per hour)	Taxable	\$ 61.80	\$ 63.30	\$ 1.50	2.4%	Non-statutory
Execution of Road Closure for events including all signage (per hour)	Taxable	\$ 181.60	\$ 186.10	\$ 4.50	2.4%	Non-statutory
Newspaper advertising of Road Closures	Taxable	At Cost	At Cost			Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc	2023/24 Fee Inc	Fee	Fee	Basis of Fee
		GST	GST (Proposed)	Increase / (Decrease)	Increase / (Decrease)	
		\$	\$	\$	%	
FIRE PREVENTION NOTICES						
Fire Hazard Removal	Taxable	\$205.00 plus removal costs	\$205.00 plus removal costs			Non-statutory
Failure to comply with Fire Prevention Notice (Country Fire Authority Act 1958)	Non-taxable	\$ 1,849.00	\$ 1,849.00	\$ -	0.0%	Statutory
FREEDOM OF INFORMATION REQUESTS						
Freedom of Information - Application fee	Non-taxable	\$ 30.60	\$ 30.60	\$ -	0.0%	Statutory
Freedom of Information - Search fee (per hour)	Non-taxable	\$ 22.94	\$ 22.94	\$ -	0.0%	Statutory
Freedom of Information - Supervision charge (per 15 minutes)	Non-taxable	\$ 5.73	\$ 5.734	\$ -	0.0%	Statutory
Freedom of Information - Photocopy charge (black and white)	Non-taxable	\$ 0.20	\$ 0.20	\$ -	0.0%	Statutory
GARBAGE BIN SALES						
120 litre bin	Taxable	\$ 77.00	\$ 79.00	\$ 2.00	2.5%	Non-statutory
240 litre bin	Taxable	\$ 97.00	\$ 99.00	\$ 2.00	2.0%	Non-statutory
Replacement bin lid - 120 litre	Taxable	\$ 26.00	\$ 27.00	\$ 1.00	3.7%	Non-statutory
Replacement bin lid - 240 litre	Taxable	\$ 26.00	\$ 27.00	\$ 1.00	3.7%	Non-statutory
HALL HIRE						
Jeparit Hall						
Bond	Taxable	\$ 214.00	\$ 219.00	\$ 5.00	2.3%	Non-statutory
Community Group Hall Hire - Full day	Taxable	\$ 153.00	\$ 157.00	\$ 4.00	2.5%	Non-statutory
Community Group Hall Hire - Half day	Taxable	\$ 112.00	\$ 115.00	\$ 3.00	2.6%	Non-statutory
Community Group Hall Hire - Evening	Taxable	\$ 112.00	\$ 115.00	\$ 3.00	2.6%	Non-statutory
Hall Hire - Private Functions	Taxable	\$ 388.00	\$ 398.00	\$ 10.00	2.5%	Non-statutory
Hall Hire - Meetings (up to 3 hours)	Taxable	\$ 87.00	\$ 89.00	\$ 2.00	2.2%	Non-statutory
Kitchen	Taxable	\$ 37.00	\$ 38.00	\$ 1.00	2.6%	Non-statutory
Cool room	Taxable	\$ 21.00	\$ 22.00	\$ 1.00	4.5%	Non-statutory
Small meeting room (hourly rate)	Taxable	\$ 15.00	\$ 15.00	\$ -	0.0%	Non-statutory
Nhill Memorial Community Centre						
Bond	Non-Taxable	\$ 210.00	\$ 210.00	\$ -	0.0%	Non-statutory
Community Group Hall Hire - Full day	Taxable	\$ 155.00	\$ 155.00	\$ -	0.0%	Non-statutory
Community Group Hall Hire - Half day	Taxable	\$ 125.00	\$ 125.00	\$ -	0.0%	Non-statutory
Community Group Hall Hire - Evening	Taxable	\$ 125.00	\$ 125.00	\$ -	0.0%	Non-statutory
Hall Hire - Private Functions	Taxable	\$ 425.00	\$ 425.00	\$ -	0.0%	Non-statutory
Hall Hire - Meetings (up to 3 hours)	Taxable	\$ 205.00	\$ 205.00	\$ -	0.0%	Non-statutory
Hall Hire - Functions (after 1am per hour)	Taxable	\$ 55.00	\$ 55.00	\$ -	0.0%	Non-statutory
Hall Hire - Set up / Pack up (daily)	Taxable	\$ 55.00	\$ 55.00	\$ -	0.0%	Non-statutory
Kitchen / Bar / Cool room Hire	Taxable	\$ 50.00	\$ 50.00	\$ -	0.0%	Non-statutory
Baby Grand Piano	Taxable	\$ 55.00	\$ 55.00	\$ -	0.0%	Non-statutory
Table Cloths (round or oblong) - each	Taxable	\$ 15.00	\$ 15.00	\$ -	0.0%	Non-statutory
Cleaning	Taxable	\$ 155.00	\$ 155.00	\$ -	0.0%	Non-statutory
Meeting Room Hire Dimboola Library						
Community Group Hire - per hour	Taxable	\$ 15.00	\$ 15.00	\$ -	0.0%	Non-statutory
Private Function Hire - per hour	Taxable	\$ 25.00	\$ 25.00	\$ -	0.0%	Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc	2023/24 Fee Inc	Fee	Fee	Basis of Fee
		GST	GST (Proposed)	Increase / (Decrease)	Increase / (Decrease)	
		\$	\$	\$	%	
Movie Tickets						
Adult	Taxable	\$ 12.00	\$ 12.00	\$ -	0.0%	Non-statutory
Concession	Taxable	\$ 7.00	\$ 7.00	\$ -	0.0%	Non-statutory
Family (2 Adults & 3 Children/Concession)	Taxable	\$ 30.00	\$ 30.00	\$ -	0.0%	Non-statutory
Bulk Buy - Adult (6)	Taxable	\$ 60.00	\$ 60.00	\$ -	0.0%	Non-statutory
Bulk Buy - Child/Concession (6)	Taxable	\$ 30.00	\$ 30.00	\$ -	0.0%	Non-statutory
Bulk Buy - Family (6)	Taxable	\$ 150.00	\$ 150.00	\$ -	0.0%	Non-statutory
VIP Seating						
*Note: VIP Seating includes medium popcorn and a drink.						
Adult	Taxable	\$ 25.00	\$ 25.00	\$ -	0.0%	Non-statutory
Child/Concession	Taxable	\$ 20.00	\$ 20.00	\$ -	0.0%	Non-statutory
Double - Adult	Taxable	\$ 40.00	\$ 40.00	\$ -	0.0%	Non-statutory
Double - Child	Taxable	\$ 30.00	\$ 30.00	\$ -	0.0%	Non-statutory
Special Movie Event Tickets						
Adult	Taxable	\$ 10.00	\$ 10.00	\$ -	0.0%	Non-statutory
Concession	Taxable	\$ 5.00	\$ 5.00	\$ -	0.0%	Non-statutory
HEALTH REGISTRATIONS						
Initial Registration of Premises	Non-taxable		Relevant renewal fee + 50%			Non-statutory
Transfer of registration fee (PH&W only)	Non-taxable		50% of relevant renewal fee			Non-statutory
Transfer of Registration - Accommodation	Non-taxable	50% of annual fee	50% of annual fee			Non-statutory
Transfer of food premises	Non-taxable	50% of annual fee	50% of annual fee			Non-statutory
Additional inspection due to continued non-compliance	Non-taxable		\$ 150.00	\$ 150.00	100.0%	Non-statutory
Additional sampling due to continued non-compliance	Non-taxable		At cost + 50%			Non-statutory
Inspection by request	Non-taxable	\$ 135.00	\$ 150.00	\$ 15.00	10.0%	Non-statutory
Food Act - Fixed Premises						
Food premises class 1 (hospital / aged care / child care)	Non-taxable	\$ 440.00	\$ 450.00	\$ 10.00	2.2%	Non-statutory
Food premises class 2 standard (including community groups)	Non-taxable	\$ 315.00	\$ 350.00	\$ 35.00	10.0%	Non-statutory
Food premises class 3 (including community groups)	Non-taxable	\$ 160.00	\$ 175.00	\$ 15.00	8.6%	Non-statutory
Food premises class 4	Non-taxable	\$ -	\$ -			Non-statutory
Food Act Streatrader						
Class 2 - Mobile yearly fee business	Non-taxable		\$ 350.00	\$ 350.00	100.0%	Non-statutory
Class 2 - Community Group	Non-taxable		\$ 50.00	\$ 50.00	100.0%	Non-statutory
Class 3 - Mobile yearly fee business	Non-taxable		\$ 175.00	\$ 175.00	100.0%	Non-statutory
Class 3 with class 2 fixed premises registration	Non-taxable		\$ 50.00	\$ 50.00	100.0%	Non-statutory
Class 3 - Community Group	Non-taxable		\$ 50.00	\$ 50.00	100.0%	Non-statutory
Public Health and Wellbeing						
Prescribed accommodation - Hotels, motels, B&B able to sleep 5 or more people etc <10 beds	Non-taxable	\$ 230.00	\$ 200.00	\$ (30.00)	-15.0%	Non-statutory
Prescribed accommodation - Hotels, motels, B&B able to sleep 5 or more people etc 10-20 beds	Non-taxable		\$ 250.00	\$ 250.00	100.0%	Non-statutory
Prescribed accommodation - Hotels, motels, B&B able to sleep 5 or more people etc >20 beds	Non-taxable		\$ 300.00	\$ 300.00	100.0%	Non-statutory
Beauty (including Hairdressing) – waxing, nails and ear piercing etc annual renewal	Non-taxable	\$ 185.00	\$ 150.00	\$ (35.00)	-23.3%	Non-statutory
Hairdressers/make up – one off registrations (inspect 3 years) hairdressing & make up only – no other activity	Non-taxable	50% of annual fee	\$ 150.00			Non-statutory
Transfer of Registration - Hairdressers	Non-taxable	\$ 90.00	\$ 90.00	\$ -	0.0%	Non-statutory
Skin Pen - tattooing, ear piercing etc	Non-taxable		\$ 200.00	\$ 200.00	100.0%	Non-statutory
*Premises should be registered to the highest risk activity						

Description of Fees and Charges	GST Status	2022/23 Fee Inc	2023/24 Fee Inc	Fee	Fee	Basis of Fee
		GST	GST (Proposed)	Increase / (Decrease)	Increase / (Decrease)	
		\$	\$	\$	%	
Aquatic Facilities						
Pools public / private accommodation / spas	Non-taxable		\$ 200.00	\$ 200.00	100.0%	Non-statutory
Caravan Parks - Total number of sites (other than camp sites)						
Not exceeding 25	Non-taxable	\$ 249.40	\$ 249.40	\$ -	0.0%	Statutory
Exceeding 25 but not 50	Non-taxable	\$ 495.60	\$ 495.60	\$ -	0.0%	Statutory
Exceeding 50 but not 100	Non-taxable	\$ 1,000.00	\$ 1,000.00	\$ -	0.0%	Statutory
Transfer of Registration - Caravan Park	Non-taxable	\$ 90.00	\$ 90.00	\$ -	0.0%	Non-statutory
Late payment penalty for all registrations	Non-taxable	50% of annual fee	50% of annual fee			Non-statutory
Environmental Protection Act						
Application to install a septic system	Non-taxable		\$ 350.00	\$ 350.00	100.0%	Non-statutory
Application to amend/alter an existing system	Non-taxable		\$ 150.00	\$ 150.00	100.0%	Non-statutory
Application to extend a septic application	Non-taxable		\$ 175.00	\$ 175.00	100.0%	Non-statutory
Additional inspection due to non-compliance	Non-taxable		\$ 110.00	\$ 110.00	100.0%	Non-statutory
INSURANCE						
Stall holder - one off event	Taxable	\$ 37.70	\$ 38.60	\$ 0.90	2.3%	Non-statutory
Stall holder - regular event	Taxable	\$ 20.90	\$ 21.40	\$ 0.50	2.3%	Non-statutory
Hall hire	Taxable	\$ 16.30	\$ 16.70	\$ 0.40	2.4%	Non-statutory
Performers / Buskers / Artists	Taxable	\$ 38.30	\$ 39.30	\$ 1.00	2.5%	Non-statutory
Tutors - Non sporting (music teachers, craft teachers etc.) - Annual coverage	Taxable	\$ 202.00	\$ 207.10	\$ 5.10	2.5%	Non-statutory
LITTERING FINES (Environment Protection Act 2017)						
Littering fines - deposit small item of litter	Non-taxable	\$ 370.00	\$ 370.00	\$ -	0.0%	Statutory
Littering fines - deposit litter	Non-taxable	\$ 370.00	\$ 370.00	\$ -	0.0%	Statutory
Littering fines - deposit burning litter	Non-taxable	\$ 740.00	\$ 740.00	\$ -	0.0%	Statutory
Unsecured load fines	Non-taxable	\$ 740.00	\$ 740.00	\$ -	0.0%	Statutory
LOCAL LAWS PERMIT FEES						
Document processing fee (Admin fee)		\$ 20.00	\$ 20.00	\$ -	0.0%	Non-statutory
Fire permits	Non-taxable	\$ 39.30	\$ 40.30	\$ 1.00	2.5%	Non-statutory
Waste containers	Non-taxable	\$ 61.80	\$ 63.30	\$ 1.50	2.4%	Non-statutory
Recreational Vehicles	Non-taxable	\$ 30.90	\$ 31.70	\$ 0.80	2.5%	Non-statutory
Street Traders and Collectors Permits	Non-taxable	\$ 46.40	\$ 47.60	\$ 1.20	2.5%	Non-statutory
Signs on pavement, street furniture and/or merchandise - 3 years	Non-taxable	\$ 216.20	\$ 221.60	\$ 5.40	2.4%	
Streets and Roads - Temporary Vehicle Crossing	Non-taxable	\$ -	\$ -			Non-statutory
Streets and Roads - Heavy or Long Vehicles	Non-taxable	\$ 92.80	\$ 95.10	\$ 2.30	2.4%	Non-statutory
Streets and Roads - Removal of Firewood	Non-taxable	\$ 30.90	\$ 31.70	\$ 0.80	2.5%	Non-statutory
Streets and Roads - Cut and Burn on Road Reserves	Non-taxable	\$ 39.30	\$ 40.30	\$ 1.00	2.5%	Non-statutory
Keeping of Animals						
Dogs - permit to exceed prescribed number of animals (where no planning permit required) - 3 years	Non-taxable	\$ 216.20	\$ 221.60	\$ 5.40	2.4%	Non-statutory
Cats - permit to exceed prescribed number of animals (where no planning permit required) - 3 years	Non-taxable	\$ 216.20	\$ 221.60	\$ 5.40	2.4%	Non-statutory
Horses and Cattle - 3 years	Non-taxable	\$ 216.20	\$ 221.60	\$ 5.40	2.4%	Non-statutory
Domestic Birds and Poultry - 3 years	Non-taxable	\$ 216.20	\$ 221.60	\$ 5.40	2.4%	Non-statutory
Pigeons - 3 years	Non-taxable	\$ 216.20	\$ 221.60	\$ 5.40	2.4%	Non-statutory
Rodents and Reptiles - 3 years	Non-taxable	\$ 216.20	\$ 221.60	\$ 5.40	2.4%	Non-statutory
Other Animals - 3 years	Non-taxable	\$ 216.20	\$ 221.60	\$ 5.40	2.4%	Non-statutory
Different Types of Animals - 3 years	Non-taxable	\$ 216.20	\$ 221.60	\$ 5.40	2.4%	Non-statutory
Protection of Council Assets						
<i>*Note: These fees are set by VicRoads on 01 July each year.</i>						
Road Opening Permit - L1	Taxable	\$ 657.90	\$ 674.30	\$ 16.40	2.4%	Non-statutory
Road Opening Permit - L2	Taxable	\$ 358.00	\$ 367.00	\$ 9.00	2.5%	Non-statutory
Road Opening Permit - L3	Taxable	\$ 141.80	\$ 145.30	\$ 3.50	2.4%	Non-statutory
Road Opening Permit - L4	Taxable	\$ 91.80	\$ 94.10	\$ 2.30	2.4%	Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc GST	2023/24 Fee Inc GST (Proposed)	Fee Increase / (Decrease)	Fee Increase / (Decrease)	Basis of Fee
		\$	\$	\$	%	
Legal point of Discharge	Non-taxable	As per adopted regulatory fee	As per adopted regulatory fee			Statutory
Asset Surveillance	Non-taxable	As per adopted regulatory fee	As per adopted regulatory fee			Statutory
Other						
Abandoned motor vehicle	Non-taxable	\$355.00 plus towing expenses	\$355.00 plus towing expenses	\$ -	0.0%	Non-statutory
MUSEUM FEES						
Wimmera Mallee Pioneer Museum						
Adult	Taxable	\$ 10.00	\$ 10.00	\$ -	0.0%	Non-statutory
Pensioner	Taxable	\$ 6.00	\$ 6.00	\$ -	0.0%	Non-statutory
Adult over 90	Taxable	\$ -	\$ -			Non-statutory
Children under 5	Taxable	\$ -	\$ -			Non-statutory
Children over 5 but under 12	Taxable	\$ 3.00	\$ 3.00	\$ -	0.0%	Non-statutory
Family	Taxable	\$ 20.00	\$ 20.00	\$ -	0.0%	Non-statutory
Groups of 10 or more	Taxable	\$ 5.00	\$ 5.00	\$ -	0.0%	Non-statutory
School groups (per student - teachers no charge)	Taxable	\$ 5.00	\$ 5.00	\$ -	0.0%	Non-statutory
Yurunga Homestead						
Adult	Taxable	\$ 5.00	\$ 7.50	\$ 2.50	33.3%	Non-statutory
Secondary School Student			\$ 5.00	\$ 5.00	100.0%	Non-statutory
Children under 12	Taxable	\$ 3.00	Free			
Groups						
Lunch	Taxable		\$ 17.50	\$ 17.50	100.0%	Non-statutory
Lunch plus tour	Taxable		\$ 25.00	\$ 25.00	100.0%	Non-statutory
Morning or afternoon tea	Taxable	\$ 10.00	\$ 15.00	\$ 5.00	33.3%	Non-statutory
Morning/Afternoon plus tour			\$ 22.50	\$ 22.50	100.0%	Non-statutory
PARKING FINES (Road Safety Rules 2017)						
Heavy vehicles parked in a built up area longer than 1 hour	Non-taxable	\$ 111.00	\$ 111.00	\$ -	0.0%	Statutory
Parked in a disabled area	Non-taxable	\$ 185.00	\$ 185.00	\$ -	0.0%	Statutory
Stopped in a no-stopping area	Non-taxable	\$ 185.00	\$ 185.00	\$ -	0.0%	Statutory
Stopped in a children's crossing	Non-taxable	\$ 185.00	\$ 185.00	\$ -	0.0%	Statutory
Stopped in a loading zone	Non-taxable	\$ 185.00	\$ 185.00	\$ -	0.0%	Statutory
PHOTOCOPIES & SCANNING						
A4 - Black and White	Taxable	\$ 0.60	\$ 0.60	\$ -	0.0%	Non-statutory
A4 - Colour	Taxable	\$ 1.10	\$ 1.10	\$ -	0.0%	Non-statutory
A3 - Black and White	Taxable	\$ 1.10	\$ 1.10	\$ -	0.0%	Non-statutory
A3 - Colour	Taxable	\$ 2.40	\$ 2.50	\$ 0.10	4.0%	Non-statutory
Engineering plans	Taxable	\$ 7.70	\$ 7.90	\$ 0.20	2.5%	Non-statutory
A2 - Black and White	Taxable	\$ 17.20	\$ 17.60	\$ 0.40	2.3%	Non-statutory
A2 - Colour	Taxable	\$ 23.00	\$ 23.60	\$ 0.60	2.5%	Non-statutory
A1 - Black and White	Taxable	\$ 29.10	\$ 29.80	\$ 0.70	2.3%	Non-statutory
A1 - Colour	Taxable	\$ 33.20	\$ 34.00	\$ 0.80	2.4%	Non-statutory
A0 - Black and White	Taxable	\$ 32.60	\$ 33.40	\$ 0.80	2.4%	Non-statutory
A0 - Colour	Taxable	\$ 39.30	\$ 40.30	\$ 1.00	2.5%	Non-statutory
B Size Surcharge	Taxable	\$ 3.50	\$ 3.60	\$ 0.10	2.8%	Non-statutory
Scanning up to 10 pages	Taxable	\$ 2.60	\$ 2.70	\$ 0.10	3.7%	Non-statutory
Scanning 10 - 50 pages	Taxable	\$ 5.10	\$ 5.20	\$ 0.10	1.9%	Non-statutory
Scanning over 50 pages	Taxable	\$ 7.70	\$ 7.90	\$ 0.20	2.5%	Non-statutory
Laminating A4	Taxable	\$ 1.20	\$ 1.20	\$ -	0.0%	Non-statutory
Laminating A3	Taxable	\$ 1.50	\$ 1.50	\$ -	0.0%	Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc GST	2023/24 Fee Inc GST (Proposed)	Fee Increase / (Decrease)	Fee Increase / (Decrease)	Basis of Fee
		\$	\$	\$	%	
PLANNING						
Planning Certificate Fee	Non-taxable	\$ 21.70	\$ 21.70	\$ -	0.0%	Statutory
Certificate of Compliance	Non-taxable	\$ 317.90	\$ 317.90	\$ -	0.0%	Statutory
Applications for Permits (Regulation 9)						
Class 1 - Use Only	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Class 2 - To develop land or to use and develop land for a single dwelling per lot or to undertake development ancillary to the use of the land for a single dwelling per lot if the estimated cost of development included in the application is:						
<\$10,000	Non-taxable	\$ 195.10	\$ 195.10	\$ -	0.0%	Statutory
>\$10,001 - \$100,000	Non-taxable	\$ 614.10	\$ 614.10	\$ -	0.0%	Statutory
>\$100,001 - \$500,000	Non-taxable	\$ 1,257.20	\$ 1,257.20	\$ -	0.0%	Statutory
>\$500,001 - \$1,000,000	Non-taxable	\$ 1,358.30	\$ 1,358.30	\$ -	0.0%	Statutory
>\$1,000,001 - \$2,000,000	Non-taxable	\$ 1,459.90	\$ 1,459.90	\$ -	0.0%	Statutory
VicSmart						
VicSmart application if the estimated cost of development is:						
<\$10,000	Non-taxable	\$ 195.00	\$ 195.00	\$ -	0.0%	Statutory
>\$10,000	Non-taxable	\$ 419.10	\$ 419.10	\$ -	0.0%	Statutory
Permits						
<\$100,000	Non-taxable	\$ 1,119.90	\$ 1,119.90	\$ -	0.0%	Statutory
\$100,000 - \$1,000,000	Non-taxable	\$ 1,510.00	\$ 1,510.00	\$ -	0.0%	Statutory
\$1,000,001 - \$5,000,000	Non-taxable	\$ 3,330.70	\$ 3,330.70	\$ -	0.0%	Statutory
\$5,000,001 - \$15,000,000	Non-taxable	\$ 8,489.40	\$ 8,489.40	\$ -	0.0%	Statutory
\$15,000,001 - \$50,000,000	Non-taxable	\$ 25,034.60	\$ 25,034.60	\$ -	0.0%	Statutory
>\$50,000,001	Non-taxable	\$ 56,268.30	\$ 56,268.30	\$ -	0.0%	Statutory
Class 12 - to subdivide an existing building	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Class 13 - to subdivide land into two lots	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Class 14 - to effect a realignment of a common boundary between lots or to consolidate two or more lots	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Class 15 - to subdivide land	Non-taxable	\$1286.40 per 100 lots created	\$1286.40 per 100 lots created			Statutory
Class 16 - to remove a restriction (within the meaning of the Subdivision Act 1988) over land if the land has been used or developed for more than 2 years before the date of the application in a manner which would have been lawful under the Planning and Environment Act 1987 but for the existence of the restriction	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Class 17 - to create, vary or remove a restriction under the Subdivision Act 1988; or to remove a right of way	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Class 18 - to create, vary or remove an easement other than a right of way; or to vary or remove a condition in the nature of an easement other than a right of way in a Crown grant	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Class 21 - a permit otherwise not provided for in regulation	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc	2023/24 Fee Inc	Fee	Fee	Basis of Fee
		GST	GST (Proposed)	Increase / (Decrease)	Increase / (Decrease)	
		\$	\$	\$	%	
Amendments to Permits						
Amendment to a permit to change the use of land allowed by the permit or allow a new use of land	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Amendment to a permit (other than a permit to develop land for a single dwelling per lot to use and develop land for a single dwelling per lot or to undertake development ancillary to the use of land for a single dwelling per lot) to change the statement of what the permit allows or to change any or all of the conditions which apply to the permit.	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Amendment to a class 2 permit	Non-taxable	\$ 195.10	\$ 195.10	\$ -	0.0%	Statutory
Amendment to a class 3 permit	Non-taxable	\$ 614.10	\$ 614.10	\$ -	0.0%	Statutory
Amendment to a class 4 permit	Non-taxable	\$ 1,257.20	\$ 1,257.20	\$ -	0.0%	Statutory
Amendment to a class 5 or class 6 permit	Non-taxable	\$ 1,358.30	\$ 1,358.30	\$ -	0.0%	Statutory
Amendment to a class 7 permit	Non-taxable	\$ 195.10	\$ 195.10	\$ -	0.0%	Statutory
Amendment to a class 8 permit	Non-taxable	\$ 419.10	\$ 419.10	\$ -	0.0%	Statutory
Amendment to a class 9 permit	Non-taxable	\$ 195.10	\$ 195.10	\$ -	0.0%	Statutory
Amendment to a class 10 permit	Non-taxable	\$ 1,119.90	\$ 1,119.90	\$ -	0.0%	Statutory
Amendment to a class 11 permit	Non-taxable	\$ 1,510.00	\$ 1,510.00	\$ -	0.0%	Statutory
Amendment to a class 12, 13, 14, or 15 permit	Non-taxable	\$ 3,330.70	\$ 3,330.70	\$ -	0.0%	Statutory
Amendment to a class 16 permit	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Amendment to a class 17 permit	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Amendment to a class 18 permit	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Amendment to a class 19 permit	Non-taxable	\$1286.10 per 100 lots created	\$1286.10 per 100 lots created			Statutory
Amendment to a class 20 permit	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Amendment to a class 21 permit	Non-taxable	\$ 1,286.10	\$ 1,286.10	\$ -	0.0%	Statutory
Planning Additional Fees - Advertising (conducted on applicants behalf)						
Newspaper advertisement - At cost	Taxable	At cost	At cost			Non-statutory
Placing of notice onsite	Taxable	\$ 113.20	\$ 116.00	\$ 2.80	2.4%	Non-statutory
Notice of planning permit by mail (if more than 10 letters, per letter)	Taxable	\$ 7.10	\$ 7.30	\$ 0.20	2.7%	Non-statutory
Planning - Additional Fees						
Secondary Consent Application	Taxable	\$ 206.00	\$ 211.20	\$ 5.20	2.5%	Non-statutory
Extension of Time to planning permit	Taxable	\$ 257.60	\$ 264.00	\$ 6.40	2.4%	Non-statutory
Section 173 Agreements	Taxable	\$ 208.10	\$ 213.30	\$ 5.20	2.4%	Non-statutory
Written Advice on Planning Controls	Taxable	\$ 154.50	\$ 158.40	\$ 3.90	2.5%	Non-statutory
Copy of Permit and Endorsed Plans (per planning permit)	Taxable	\$ 144.20	\$ 147.80	\$ 3.60	2.4%	Non-statutory
Request for Council consent where no planning permit required (i.e. liquor license)	Taxable	\$ 141.30	\$ 144.80	\$ 3.50	2.4%	Non-statutory
Planning - Withdrawal of Application						
After lodgement (no work undertaken)	Taxable	75% of app fee refundable	75% of app fee refundable			Non-statutory
After request for further information but prior to commencement of advertising	Taxable	50% of the application fee refunded	50% of the application fee refunded			Non-statutory
After advertising	Taxable	Refund discretionary	Refund discretionary			Non-statutory
Secondary Consent	Taxable	Refund discretionary	Refund discretionary			Non-statutory
Extension of Time	Taxable	No refund	No refund			Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc	2023/24 Fee Inc	Fee	Fee	Basis of Fee
		GST	GST (Proposed)	Increase / (Decrease)	Increase / (Decrease)	
		\$	\$	\$	%	
PUBLIC SPACES						
Minor use of facilities –Parks, Soundshells, Rotundas etc.	Taxable	\$ 33.70	\$ 34.50	\$ 0.80	2.3%	Non-statutory
Major use of facilities –Parks, Soundshells, Rotundas etc.	Taxable	\$ 169.30	\$ 173.50	\$ 4.20	2.4%	Non-statutory
RATES						
Rates - debt recovery fees	Non-taxable	Cost recovery	Cost recovery			Non-statutory
Land information certificate	Non-taxable	As per adopted regulatory fee	As per adopted regulatory fee			Statutory
				\$ -	#DIV/0!	
				\$ -	#DIV/0!	
RECYCLING TRAILER						
Recycling Trailer Hire (per event)	Taxable	\$ 20.40	\$ 20.90	\$ 0.50	2.4%	Non-statutory
Recycling Trailer Hire - Bond (per event)	Non-taxable	\$ 306.00	\$ 313.70	\$ 7.70	2.5%	Non-statutory
SALEYARD FEES						
Pigs (per pig / day)	Taxable	\$ 0.70	\$ 0.70	\$ -	0.0%	Non-statutory
Sheep (per sheep / day)	Taxable	\$ 0.70	\$ 0.70	\$ -	0.0%	Non-statutory
Yard fee per sale (per agent)	Taxable	\$ 1,377.00	\$ 1,411.40	\$ 34.40	2.4%	Non-statutory
SEPTIC TANK FEES						
Application to install a septic system	Non-taxable		\$ 350.00	\$ 350.00	100.0%	Non-statutory
Application to amend/alter an existing system	Non-taxable		\$ 150.00	\$ 150.00	100.0%	Non-statutory
Application to extend a septic application	Non-taxable		\$ 175.00	\$ 175.00	100.0%	Non-statutory
Additional inspection due to non-compliance	Non-taxable		\$ 110.00	\$ 110.00	100.0%	Non-statutory
SWIMMING POOLS						
Note: Swimming Pool fees are set by the contractor						
WASTE DEPOT FEES						
Unsorted recyclables, general waste and hard plastic						
Car boot	Taxable	\$ 12.20	\$ 12.50	\$ 0.30	2.4%	Non-statutory
6 x 4 trailer / ute – Level	Taxable	\$ 32.60	\$ 33.40	\$ 0.80	2.4%	Non-statutory
6 x 4 trailer / ute – Heaped	Taxable	\$ 61.20	\$ 62.70	\$ 1.50	2.4%	Non-statutory
Tandem trailer / Light truck – Level	Taxable	\$ 87.70	\$ 89.90	\$ 2.20	2.4%	Non-statutory
Tandem trailer / Light truck – Heaped	Taxable	\$ 166.30	\$ 170.50	\$ 4.20	2.5%	Non-statutory
Builders waste clean sorted – Per cubic metre	Taxable	\$ 74.50	\$ 76.40	\$ 1.90	2.5%	Non-statutory
Builders waste dirty non-sorted – Per cubic metre	Taxable	\$ 180.50	\$ 185.00	\$ 4.50	2.4%	Non-statutory
Concrete Non-sorted – Per tonne	Taxable	\$ 127.50	\$ 130.70	\$ 3.20	2.4%	Non-statutory
Concrete Clean, sorted – Per tonne	Taxable	\$ 36.70	\$ 37.60	\$ 0.90	2.4%	Non-statutory
Heavy truck loads	Taxable	Not accepted	Not accepted			
Mattresses (Double and larger)	Taxable	\$ 51.00	\$ 52.30	\$ 1.30	2.5%	Non-statutory
Mattresses (Single)	Taxable	\$ 25.50	\$ 26.10	\$ 0.60	2.3%	Non-statutory
Asbestos (per kilogram)	Taxable	\$ 2.00	\$ 2.10	\$ 0.10	4.8%	Non-statutory
Clean Fill Dirt (per ton)	Taxable	new	\$ 10.00			Non-statutory
Sorted recyclables						
Newspapers, Cardboard, Bottles, Cans etc.	Taxable	\$ -	\$ -	\$ -	0.0%	Non-statutory

Description of Fees and Charges	GST Status	2022/23 Fee Inc	2023/24 Fee Inc	Fee	Fee	Basis of Fee
		GST	GST (Proposed)	Increase / (Decrease)	Increase / (Decrease)	
		\$	\$	\$	%	
Tyres						
Car and Motorcycle	Taxable	\$ 9.20	\$ 9.40	\$ 0.20	2.1%	Non-statutory
Light Commercial	Taxable	\$ 25.50	\$ 26.10	\$ 0.60	2.3%	Non-statutory
Truck –Standard	Taxable	\$ 77.50	\$ 79.40	\$ 1.90	2.4%	Non-statutory
Tractor - under 2 metres high	Taxable	\$ 137.70	\$ 141.10	\$ 3.40	2.4%	Non-statutory
Tractor - over 2 metres high	Taxable	\$ 280.50	\$ 287.50	\$ 7.00	2.4%	Non-statutory
Car bodies						
Car bodies / scrap steel	Taxable	\$ -	\$ -	\$ -	0.0%	Non-statutory
Green Waste & Timber						
Car boot	Taxable	\$ 6.10	\$ 6.30	\$ 0.20	3.2%	Non-statutory
6 x 4 trailer / ute – Level	Taxable	\$ 12.20	\$ 12.50	\$ 0.30	2.4%	Non-statutory
6 x 4 trailer / ute – Heaped	Taxable	\$ 15.30	\$ 15.70	\$ 0.40	2.5%	Non-statutory
Tandem trailer / Light truck – Level	Taxable	\$ 22.40	\$ 23.00	\$ 0.60	2.6%	Non-statutory
Tandem trailer / Light truck – Heaped	Taxable	\$ 30.60	\$ 31.40	\$ 0.80	2.5%	Non-statutory
Heavy truck	Taxable	\$ 58.10	\$ 59.60	\$ 1.50	2.5%	Non-statutory
E-waste						
E-Waste – non-compliant	Taxable	\$ 2.00 per kg	\$ 2.00 per kg			Non-statutory
E-Waste - compliant	Taxable	\$ 1.00 per kg	\$ 1.00 per kg			Non-statutory
Furniture						
Small Item – e.g. Chair (per unit)	Taxable	\$ 10.20	\$ 10.50	\$ 0.30	2.9%	Non-statutory
Medium Item – e.g. bed, dressing table etc. (per unit)	Taxable	\$ 36.70	\$ 37.60	\$ 0.90	2.4%	Non-statutory
Large Item – e.g. Couch, wardrobe etc. (per unit)	Taxable	\$ 102.00	\$ 104.60	\$ 2.60	2.5%	Non-statutory
Oil						
Oil (per litre)	Taxable	\$ 0.50	\$ 0.50			Non-statutory
Oil Drum disposal (per drum)	Taxable	\$ 5.10	\$ 5.20	\$ 0.10	1.9%	Non-statutory
WOOD PERMITS						
Council controlled land – Full rate	Taxable	\$ 30.90	\$ 31.70	\$ 0.80	2.5%	Non-statutory
Council controlled land – Pensioner rate	Taxable	\$ 20.60	\$ 21.10	\$ 0.50	2.4%	Non-statutory

HINDMARSH SHIRE COUNCIL

Draft Long Term Financial Plan

2023/2024 - 2032/2033



Pictured: Rainbow resident enjoying a cuppa and complimentary morning tea at the Rainbow Library

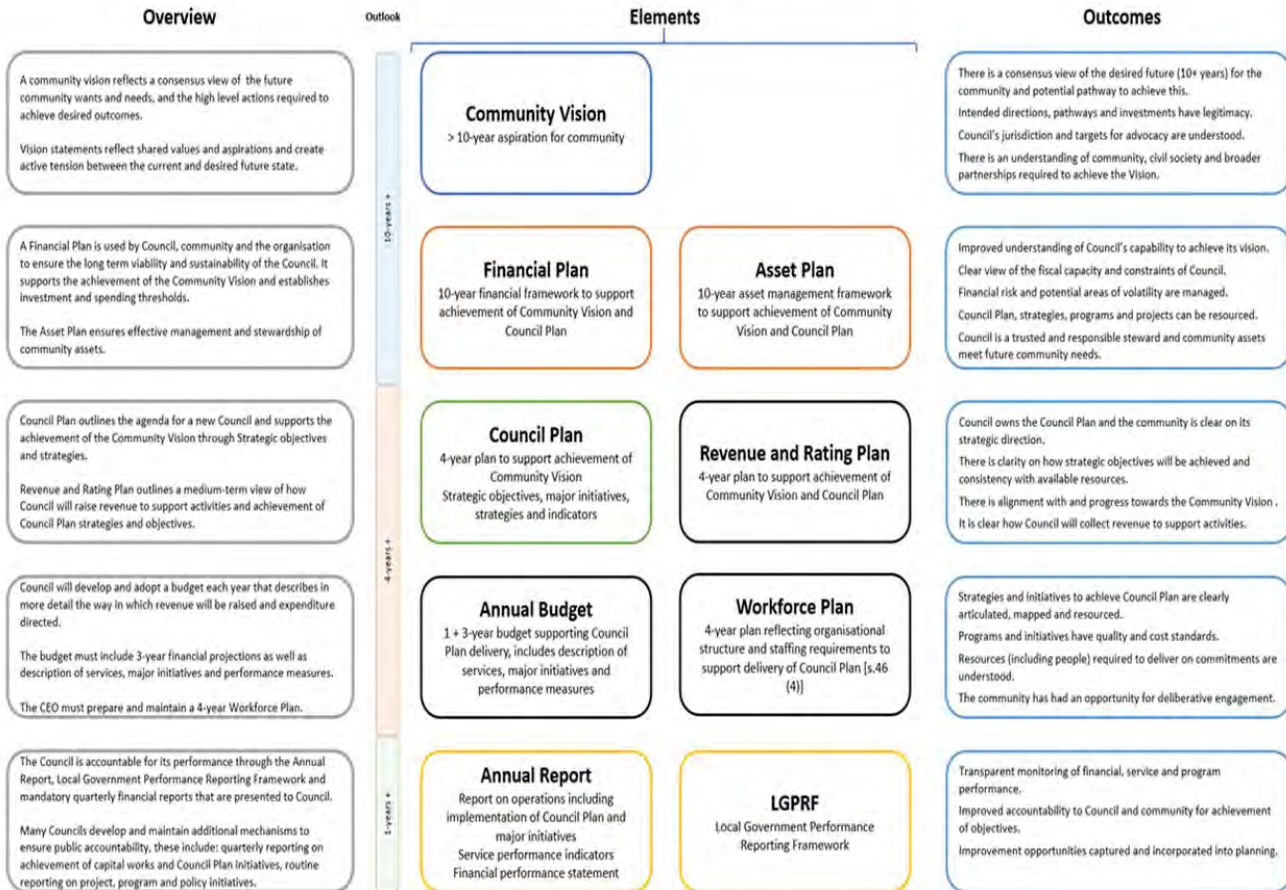
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1. Legislative Requirements

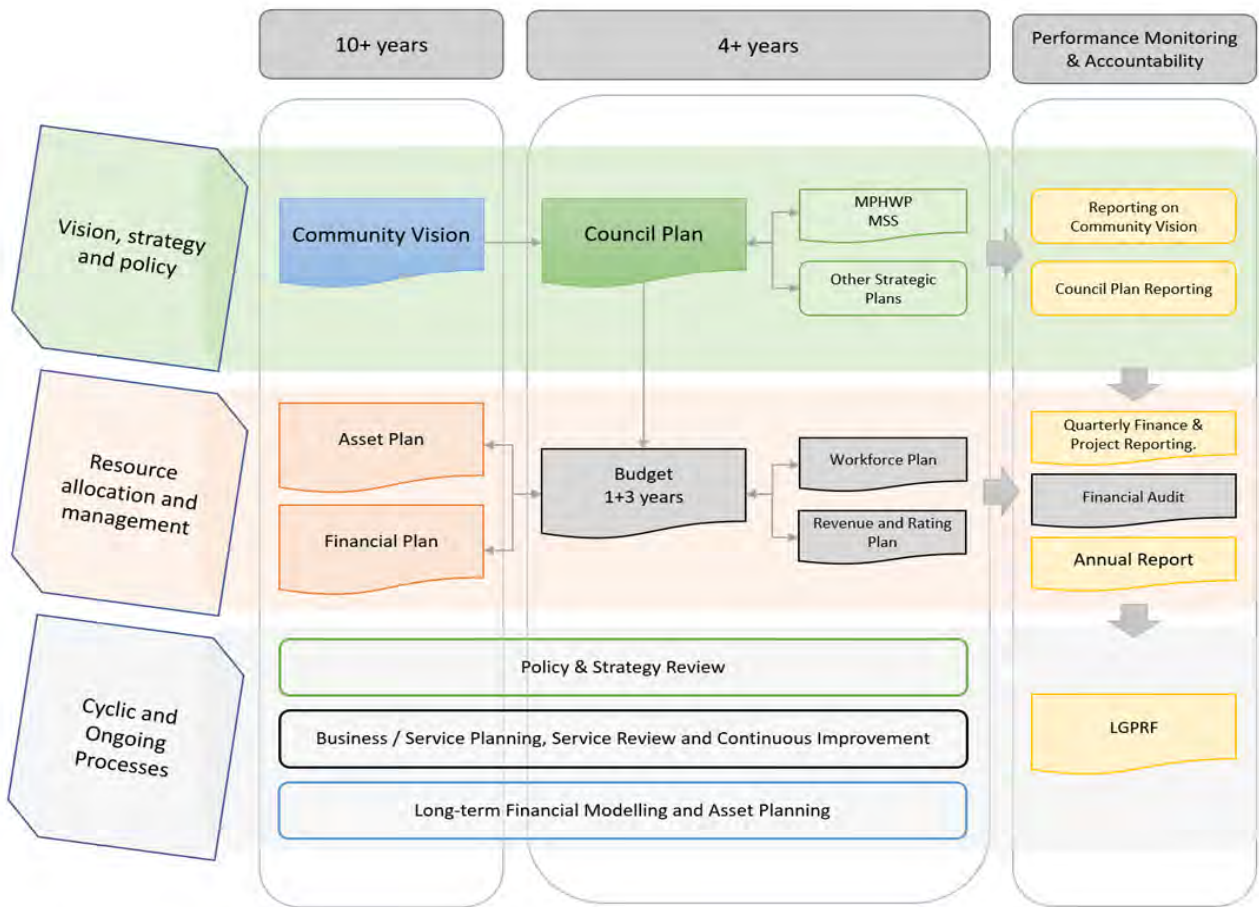
This section describes how the Financial Plan links to the achievement of the Community Vision and the Council Plan within the Integrated Strategic Planning & Reporting framework. This framework guides the Council in identifying community needs and aspirations over the long term (Community Vision), medium term (Council Plan) and short term (Annual Budget) and then holding itself accountable (Annual Report).

The following diagram provides an overview of the core legislated elements of an integrated strategic planning and reporting framework and outcomes.



Source: Department of Jobs, Precincts and Regions

The following figure demonstrates how each element might inform or be informed by other parts of the integrated framework.



1.1 Strategic Planning Principles

The Financial Plan provides a 10 year financially sustainable projection regarding how the actions of the Council Plan may be funded to achieve the Community Vision. The Financial Plan is developed in the context of the following strategic planning principles:

- a) Council has an integrated approach to planning, monitoring and performance reporting.
- b) Council's financial plan addresses the Community Vision by funding the aspirations of the Council Plan. The Council Plan aspirations and actions are formulated in the context of the Community Vision.
- c) The Financial Plan statements articulate the 10-year financial resources necessary to implement the goals and aspirations of the Council Plan to achieve the Community Vision based on the best available information at the time of preparation.
- d) Council's strategic planning principles identify and address the risks to effective implementation of the Financial Plan. The financial risks are included at section 1.2.2 below.

1.2 Financial Management Principles

The Financial Plan demonstrates the following financial management principles:

1.2.1 Revenue, expenses, assets, liabilities, investments and financial transactions are managed in accordance with Council's financial policies and strategic plans.

1.2.2 Management of the following financial risks:

- a) the financial viability of the Council, and
- b) the management of current and future liabilities of the Council. The estimated 10 year-liabilities are disclosed in section 3.2 Balance Sheet projections.

1.2.3 Financial policies and strategic plans are designed to provide financial stability and predictability to the community.

1.2.4 Council maintains accounts and records that explain its financial operations and financial position (refer section 3 Financial Statements)

1.3 Engagement Principles

Council developed and adopted a comprehensive community engagement framework. The following consultation process will be undertaken to ensure due consideration and feedback is received from relevant stakeholders.

- a) Draft Financial Plan prepared by management in conjunction with Council;
- b) Draft Financial Plan prepared in conjunction with the Annual Budget placed on public exhibition following 31 May 2023 Council meeting for the period 1 June to 21 June 2023 and calling for public submissions;
- c) Community engagement is conducted using local news outlets and social media;
- d) Hearing of public submissions to the Financial Plan at the 28 June 2023 Council meeting;
- e) Draft Financial Plan, including any revisions, presented to 28 June 2023 Council meeting for adoption.

1.4 Service Performance Principles

Council services are designed to be for a purpose, targeted to community needs and value for money. The service performance principles are listed below:

- a) Services are provided in an equitable manner and are responsive to the diverse needs of the community. The Council Plan is designed to identify the key services and projects to be delivered to the community. The Financial Plan provides the mechanism to demonstrate how the service aspirations within the Council Plan may be funded.
- b) Services are accessible to the relevant users within the community.
- c) Council provides quality services that provide value for money to the community. The Local Government Performance Reporting Framework (LGPRF) is designed to communicate council's performance regarding the provision of quality and efficient services.

1.5 Asset Plan Integration

Integration to the Asset Plan is a key principle of the Council's strategic financial planning principles. The purpose of this integration is to ensure that future funding is allocated in a manner that supports service delivery in terms of the plans and the effective management of Council's assets into the future.

The Asset Plan identifies the operational and strategic practices which will ensure that Council manages assets across their life cycle in a financially sustainable manner. The Asset Plan, and associated asset management policies, provide council with a sound base to understand the risk associated with managing its assets for the community's benefit.

The Asset Plan is designed to inform the Financial Plan by identifying the amount of capital renewal, backlog and maintenance funding that is required over the life of each asset category. The level of funding will incorporate knowledge of asset condition, the risk assessment issues as well as the impact of reviewing and setting intervention and service levels for each asset class.

In addition to identifying the operational and strategic practices that ensure that Council manages assets across their life cycle in a financially sustainable manner, the Asset Plan quantifies the asset portfolio and the financial implications of those practices. Together the Financial Plan and Asset Plan seek to balance projected investment requirements against projected budgets.

Council updated its Asset Plan in accordance with the legislative requirements of the Local Government Act 2020 and the plan was presented to Council on 1 June 2022.

This section describes the context and external/internal environment and consideration in determining the 10-year financial projections and assumptions.

2.1 Overview

Hindmarsh Shire Council is located halfway between Melbourne and Adelaide and comprises 7,500 square kilometres and a population of approximately 5,588. The Western Highway, the main thoroughfare between Melbourne and Adelaide, runs through the Shire.

Hindmarsh Shire has four main townships (Dimboola, Jeparit, Nhill and Rainbow) and is largely dependent on agriculture, health services, manufacturing and retail. Our towns have excellent sporting facilities, schools and hospitals, and our natural and heritage attractions draw thousands of visitors each year.

2.2 Our Challenges

Hindmarsh Shire Council continues to face the following challenges that impact the financial environment in which we operate:

- a) The Victorian State Government introduced a cap on rates from 2016/2017. The cap for 2023/2024 has been set at 3.5%.
- b) Local Government provides services to the community on behalf of the State and Federal Government. Over time the funds Council receives to deliver these services do not increase in line with real cost increases resulting in significant cost shifting onto Council.
- c) Hindmarsh Shire Council has a small rate base and is heavily reliant on external grant funding to deliver services and capital works projects throughout the Shire.
- d) Council faces challenges associated with the provision and renewal of the significant road network, paths and community and recreation facilities.
- e) Isolation and large distances increase transport costs when compared to most other shires. This is not just an issue for residents but also for the cost of Council's works as transport costs make up a large portion of the Council Budget.

2.3 Strategic Actions

Council has identified the following strategic actions that will support the aspirations of the Council Plan.

- Maintain service levels to the community to support our vision of well-maintained roads, building and other assets that service our community needs.
- Prioritise renewal of existing assets and advocate for increased funding to support the maintenance and upgrades of Council's extensive road network and infrastructure.

Develop and promote local tourism opportunities that will attract visitation.

- Advocate for increases to recurrent grants to enable Council to maintain services and undertake asset renewal.
- Maintain minimum cash reserve of \$2.1m to ensure Council can meet its financial obligations at any time. This is only possible if non-recurrent capital grants are received or there is a reduction in capital works expenditure. Where additional grants are received, capital works renewal will be prioritised.

2.4 Assumptions to the financial plan statements

This section presents the assumptions to the Comprehensive Income Statement for the 10 years from 2023/24 to 2032/33. The assumptions are based on the best available information at the time of preparation and will be updated each year as necessary.

2.4a Economic Assumptions

Assumption	Notes	Actual	Forecast	Budget	Projections			Trend
		2021/22	2022/23	2023/24	2024/25	2025/26	2026/27	+/-
Rate Cap Increase	1	1.50%	1.75%	3.50%	3%	3%	3%	
Population Growth	2	0%	0%	0%	0%	0%	0%	
Investment Interest Rate	3	%	%	3%	3%	3%	3%	
CPI	4	1.5%	3.9%	3.5%	3%	3%	3%	
User Fees	5	8%	19%	-3%	3%	3%	3%	
Grants - Recurrent	6	18%	-30%	240%	-2%	3%	3%	
Grants - Non-Recurrent		-55%	66%	-38%	-44%	0%	0%	
Contributions		-405%	-478%	-150%	3%	3%	3%	
Proceeds from sale of assets		\$557	\$332	\$480	\$300	\$300	\$300	
Other Revenue		-538%	154%	3%	3%	3%	3%	
Employee Costs	7	-2%	6%	-1%	2.75%	2.75%	2.75%	
Contactors, consultants and materials		-18%	-7%	3%	3%	3%	3%	
Utilities		-18%	-7%	3%	3%	3%	3%	
Depreciation		\$4,524	\$ 5,460	\$ 4,839	\$ 5,080	\$ 5,330	\$ 5,330	
Other expenses		%	%	%	3%	3%	3%	

Notes to Assumptions

1. Rate Cap

Council increases Rates each year in line with the rate cap set by the Minister as outlined in the Revenue and Rating Plan

2. Population Growth

Population growth in Hindmarsh remains unchanged

3. Investment Interest Rate

Interest rates are based on available cash.

4. CPI

Based on the rates published in December for the year for Melbourne.

5. User Fees

Council increases the user fees in line with the rate cap set each year by the Minister as outlined in the Revenue and Rating Plan.

6. Grants - Recurrent

Grants - recurrent is due to decline in 2023/2024 as Council will no longer be providing Aged Care Services.

7. Employee Costs

Council increases employee costs in line with the current published Enterprise Agreement with allowance for movement with the bands.

3. Financial Statements

This section presents information in regard to the Budget for the 4 years from 2023/24 to 2026/27 and Financial Plan Statements for the 10 years from 2023/24 to 2032/33.

This section includes the following financial statements prepared in accordance with the *Local Government Act 2020* and the *Local Government (Planning and Reporting) Regulations 2020*.

Comprehensive Income Statement
Balance Sheet
Statement of Changes in Equity
Statement of Cash Flows
Statement of Capital Works
Statement of Human Resources

3.1 Comprehensive Income Statement

	Forecast / Actual										
	2022/23	2023/24	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
Income / Revenue											
Rates and charges	9,434	9804	10098	10401	10713	11,035	11,366	11,707	12,058	12,420	12,792
Statutory fees and fines	197	203	209	216	222	229	236	243	250	257	265
User fees	1,652	1606	1654	1704	1755	1,808	1,862	1,918	1,975	2,034	2,095
Grants - Operating	2,316	5502	5430	5593	5761	5,934	6,112	6,295	6,484	6,678	6,879
Grants - Capital	6,565	4770	2081	2081	2081	2,581	2,581	2,281	2,281	2,281	2,281
Contributions - monetary	18	12	12	13	13	14	14	14	15	15	16
Net gain/(loss) on disposal of property, infrastructure, plant and equipment	332	480	300	300	300	300	300	300	300	300	300
Share of net profits/(losses) of associates and joint ventures	17	0	0	0	0	-	-	-	-	-	-
Other income	435	443	430	443	456	470	484	498	513	529	545
Total income / revenue	20,964	22,820	20,215	20,750	21,301	22,369	22,954	23,256	23,876	24,515	25,173
Expenses											
Employee costs	8,250	8,062	7,747	7,961	8,179	8,404	8,635	8,873	9,117	9,368	9,625
Materials and services	6,271	5,860	6,065	6,277	6,747	6,949	7,157	7,372	7,593	7,821	8,056
Depreciation	5,460	4,839	5,080	5,330	5,330	5,490	5,655	5,824	5,999	6,179	6,364
Other expenses	1,537	1,548	1,602	1,658	1,716	1,767	1,820	1,875	1,931	1,989	2,049
Total expenses	21,518	20,308	20,494	21,225	21,972	22,610	23,268	23,944	24,640	25,357	26,094
Surplus/(deficit) for the year	(553)	2,512	(278)	(475)	(670)	(241)	(314)	(688)	(764)	(842)	(921)
Total comprehensive result	(553)	2,512	(278)	(475)	(670)	(241)	(314)	(688)	(764)	(842)	(921)

3.2 Balance Sheet

	Forecast / Actual										
	2022/23 \$'000	2023/24 \$'000	2024/25 \$'000	2025/26 \$'000	2026/27 \$'000	2027/28 \$'000	2028/29 \$'000	2029/30 \$'000	2030/31 \$'000	2031/32 \$'000	2032/33 \$'000
Assets											
Current assets											
Cash and cash equivalents	2,070	2018	1949	2191	1673	1,950	2,219	2,180	2,133	2,078	2,017
Trade and other receivables	1,825	1600	1920	2208	2506	2,619	2,737	2,860	2,986	3,117	3,255
Inventories	505	507	523	522	522	538	554	571	588	605	624
Other assets	54	23	24	25	25	26	27	28	29	29	30
Total current assets	4,454	4,149	4,415	4,946	4,727	5,133	5,537	5,638	5,735	5,830	5,926
Non-current assets											
Investments in Wimmera Development Association	295	295	295	295	295	295	295	295	295	295	295
Property, infrastructure, plant & equipment	213,513	216,129	215,579	214,537	214,061	213,523	212,920	212,251	211,514	210,706	209,826
Total non-current assets	213,808	216,424	215,874	214,832	214,356	213,818	213,215	212,546	211,809	211,001	210,121
Total assets	218,262	220,573	220,289	219,778	219,083	218,951	218,751	218,184	217,543	216,832	216,047
Liabilities											
Current liabilities											
Trade and other payables	2,153	1,903	1,823	1,709	1,604	1,644	1,684	1,726	1,770	1,818	1,868
Trust funds and deposits	102	81	81	81	81	81	81	81	81	81	81
Provisions	2,215	2,264	2,332	2,402	2,474	2,536	2,602	2,672	2,744	2,818	2,894
Total current liabilities	4,470	4,249	4,236	4,192	4,159	4,261	4,368	4,479	4,595	4,716	4,843
Non-current liabilities											
Provisions	218	238	246	253	261	268	276	285	293	302	311
Total non-current liabilities	218	238	246	253	261	268	276	285	293	302	311
Total liabilities	4,688	4,487	4,482	4,445	4,419	4,529	4,644	4,764	4,888	5,018	5,154
Net assets	213,574	216,086	215,808	215,333	214,663	214,421	214,107	213,420	212,655	211,813	210,893
Equity											
Accumulated surplus	79,329	81,842	81,563	81,089	80,418	80,177	79,863	79,175	78,411	77,569	76,648
Reserves	134,244	134,244	134,244	134,244	134,244	134,244	134,244	134,244	134,244	134,244	134,244
Total equity	213,574	216,086	215,808	215,333	214,663	214,422	214,108	213,419	212,655	211,814	210,893

3.3 Statement of Changes in Equity

	Total \$'000	Accumulated Surplus \$'000	Revaluation Reserve \$'000
2023 Forecast Actual			
Balance at beginning of the financial year	214,127	79,882	134,245
Surplus/(deficit) for the year	(553)	(553)	-
Balance at end of the financial year	213,574	79,329	134,245
2024			
Balance at beginning of the financial year	213,574	79,329	134,245
Surplus/(deficit) for the year	2,512	2,512	-
Balance at end of the financial year	216,086	81,841	134,245
2025			
Balance at beginning of the financial year	216,086	81,841	134,245
Surplus/(deficit) for the year	(278)	(278)	-
Balance at end of the financial year	215,808	81,563	134,245
2026			
Balance at beginning of the financial year	215,808	81,563	134,245
Surplus/(deficit) for the year	(475)	(475)	-
Balance at end of the financial year	215,333	81,088	134,245
2027			
Balance at beginning of the financial year	215,333	81,088	134,245
Surplus/(deficit) for the year	(670)	(670)	-
Balance at end of the financial year	214,663	80,418	134,245

	Total	Accumulated	Revaluation
	\$'000	Surplus	Reserve
	\$'000	\$'000	\$'000
2028			
Balance at beginning of the financial year	214,663	80,418	134,245
Surplus/(deficit) for the year	(241)	(241)	-
Balance at end of the financial year	214,422	80,177	134,245
2029			
Balance at beginning of the financial year	214,422	80,177	134,245
Surplus/(deficit) for the year	(314)	(314)	-
Balance at end of the financial year	214,108	79,863	134,245
2030			
Balance at beginning of the financial year	214,108	79,863	134,245
Surplus/(deficit) for the year	(688)	(688)	-
Balance at end of the financial year	213,419	79,174	134,245
2031			
Balance at beginning of the financial year	213,419	79,174	134,245
Surplus/(deficit) for the year	-	(764)	-
Balance at end of the financial year	212,655	78,410	134,245
2032			
Balance at beginning of the financial year	212,655	78,410	134,245
Surplus/(deficit) for the year	(841)	(841)	-
Balance at end of the financial year	211,814	77,569	134,245
2033			
Balance at beginning of the financial year	211,814	77,569	134,245
Surplus/(deficit) for the year	(921)	(921)	-
Balance at end of the financial year	210,893	76,648	134,245

3.4 Statement of Cash Flows

	Forecast / Actual										
	2022/23	2023/24	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)	Inflows (Outflows)
Cash flows from operating activities											
Rates and charges	9,414	9,784	10,098	10,401	10,713	11,035	11,366	11,707	12,058	12,420	12,792
Statutory fees and fines	33	27	209	216	222	229	236	243	250	257	265
User fees	1,926	2,047	1,654	1,704	1,755	1,808	1,862	1,918	1,975	2,034	2,095
Grants - operating	2,316	5,552	5,430	5,593	5,761	5,934	6,112	6,295	6,484	6,678	6,879
Grants - capital	6,115	4,770	2,081	2,081	2,081	2,581	2,581	2,281	2,281	2,281	2,281
Contributions - monetary	18	12	12	12	12	14	14	14	15	15	16
Interest received	210	240	252	252	252	300	300	300	300	300	300
Other receipts	1,045	203	178	191	204	170	184	198	213	229	245
Employee costs	(8,204)	(8,016)	(7,747)	(7,961)	(8,179)	(8,404)	(8,635)	(8,873)	(9,117)	(9,368)	(9,625)
Materials and services	(7,185)	(6,129)	(6,386)	(6,581)	(7,050)	(6,949)	(7,157)	(7,372)	(7,593)	(7,821)	(8,056)
Trust funds and deposits repaid	-	(20)	(20)	(20)	(20)	(20)	(20)	(20)	(20)	(20)	(20)
Other payments	(1,537)	(1,548)	(1,602)	(1,658)	(1,716)	(1,767)	(1,820)	(1,875)	(1,931)	(1,989)	(2,049)
Net cash provided by/(used in) operating activities	4,152	6,923	4,160	4,231	4,036	4,929	5,021	4,816	4,915	5,017	5,123
Cash flows from investing activities											
Payments for property, infrastructure, plant and equipment	(17,394)	(7,455)	(4,530)	(4,288)	(4,854)	(4,951)	(5,052)	(5,155)	(5,262)	(5,371)	(5,484)
Proceeds from sale of property, infrastructure, plant and equipment	332	480	300	300	300	300	300	300	300	300	300
Net cash provided by/ (used in) investing activities	(17,062)	(6,975)	(4,230)	(3,988)	(4,554)	(4,651)	(4,752)	(4,855)	(4,962)	(5,071)	(5,184)
Cash flows from financing activities											
Net increase/(decrease) in cash & cash equivalents	(12,910)	(52)	(70)	243	(518)	277	269	(39)	(47)	(54)	(61)
Cash and cash equivalents at the beginning of the financial year	14,980	2,070	2,018	1,949	2,191	1,673	1,950	2,219	2,180	2,133	2,078
Cash and cash equivalents at the end of the financial year	2,070	2,018	1,949	2,191	1,673	1,950	2,219	2,180	2,133	2,078	2,017

3.5 Statement of Capital Works

	Forecast / Actual										
	2022/23	2023/24	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
Property											
Land	-	-	-	-	-	-	-	-	-	-	-
Total land	-	-	-	-	-	-	-	-	-	-	-
Buildings	4,594	1,180	250	250	250	250	250	250	250	250	250
Total buildings	4,594	1,180	250	250	250	250	250	250	250	250	250
Total property	4,594	1,180	250	250	250	250	250	250	250	250	250
Plant and equipment											
Plant, machinery and equipment	2,113	1,291	1,250	1,250	1,250	1,250	1,250	1,250	1,250	1,250	1,250
Fixtures, fittings and furniture	5	5	5	5	5	5	5	5	5	5	5
Computers and telecommunications	105	85	60	60	60	60	60	60	60	60	60
Library books	56	50	40	40	40	40	40	40	40	40	40
Total plant and equipment	2,278	1,431	1,355	1,355	1,355	1,355	1,355	1,355	1,355	1,355	1,355
Infrastructure											
Roads	3,897	3,822	2,350	2,280	2,150	2,215	2,281	2,349	2,420	2,492	2,567
Bridges	424	-	10	10	330	340	350	361	371	383	394
Footpaths and cycleways	1,285	130	140	185	383	394	406	419	431	444	457
Drainage	271	35	-	-	246	253	261	269	277	285	294
Recreational, leisure and community facilities	-	-	175	38	40	41	42	44	45	46	48
Kerb & Channel	378	100	250	170	100	103	106	109	113	116	119
Other infrastructure	4,395	757	-	-	-	-	-	-	-	-	-
Total infrastructure	10,650	4,844	2,925	2,683	3,249	3,346	3,447	3,550	3,657	3,766	3,879
Total capital works expenditure	17,522	7,455	4,530	4,288	4,854	4,951	5,052	5,155	5,262	5,371	5,484
Represented by:											
New asset expenditure	5,432	357	-	-	-	-	-	-	-	-	-
Asset renewal expenditure	7,451	5,934	4,495	4,288	4,854	4,951	5,052	5,155	5,262	5,371	5,484
Asset expansion expenditure	-	180	-	-	-	-	-	-	-	-	-
Asset upgrade expenditure	4,638	984	35	-	-	-	-	-	-	-	-
Total capital works expenditure	17,522	7,455	4,530	4,288	4,854	4,951	5,052	5,155	5,262	5,371	5,484
Funding sources represented by:											
Grants	11,328	4,770	2,081	2,081	2,081	2,581	2,581	2,281	2,281	2,281	2,281
Contributions	-	-	-	-	-	-	-	-	-	-	-
Council cash	6,194	2,685	2,449	2,207	2,773	2,370	2,471	2,874	2,981	3,090	3,203
Total capital works expenditure	17,522	7,455	4,530	4,288	4,854	4,951	5,052	5,155	5,262	5,371	5,484

3.6 Statement of Human Resources

Staff expenditure	2022/23	2023/24	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
Staff expenditure											
Employee costs - operating	7,211	8,062	7,744	7,961	8,179	8,404	8,635	8,872	9,116	9,367	9,625
Employee costs - capital	1,039	894	918	944	970	996	1,024	1,052	1,081	1,111	1,141
Total staff expenditure	8,250	8,956	8,662	8,905	9,149	9,400	9,659	9,924	10,197	10,478	10,766

Staff numbers	2022/23	2023/24	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33
	FTE	FTE	FTE	FTE	FTE	FTE	FTE	FTE	FTE	FTE	FTE
Staff numbers											
Employees	98.6	96.08	91.8	91.8	91.8	91.8	91.8	91.8	91.8	91.8	91.8
Total staff numbers	98.6	96.1	91.8	91.8	91.8	91.8	91.8	91.8	91.8	91.8	91.8

A summary of human resources expenditure categorised according to the organisational structure of Council is included below:

Department	Budget	Comprises			
	2023/24	Permanent			Temporary
		Full Time	Part Time	Casual	
	\$'000	\$'000	\$'000	\$'000	\$'000
Civic Governance	768	768	-	-	-
Corporate and Community Services	2,643	1,658	911	75	-
Infrastructure	4,650	4,155	356	139	-
Total permanent staff expenditure	8,062	6,581	1,267	214	-
Other employee related expenditure					
Capitalised labour costs	894				
Total staff expenditure	8,956				

A summary of the number of full time equivalent (FTE) Council staff in relation to the above expenditure is included below:

Department	Budget	Comprises			
	2023/24	Permanent			Temporary
		Full Time	Part Time	Casual	
Civic Governance	4	4	-	-	-
Corporate and Community Services	28	17	9	2	-
Infrastructure	65	57	5	3	-
Total staff	96	78	13	5	-



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***S18 Instrument of Sub-Delegation
under the Environment Protection Act 2017***



Hindmarsh Shire Council

Instrument of Sub-Delegation

to

Members of Council staff

Instrument of Sub-Delegation

By this Instrument of Sub-Delegation, in exercise of the power conferred by s 437(2) of the *Environment Protection Act 2017* ('Act') and the Instrument of Delegation of the Environment Protection Authority under the Act dated 4 June 2021, the Council:

1. delegates each duty and/or function and/or power described in column 1 of the Schedule (and summarised in column 2 of the Schedule) to the member of Council staff holding, acting in or performing the duties of the office or position described in column 3 of the Schedule;
2. record that references in the Schedule are as follows
 - EHO means Environmental Health Officer**
 - LLO means Local Laws Officer**
 - TLF means Team Leader Facilities**
 - MRS means Manager Regulatory Services**
 - MGHS means Manager Governance and Human Services**
3. this Instrument of Sub-Delegation is authorised by a **resolution of Council** passed on **31 May 2023** pursuant to a power of sub-delegation conferred by the Instrument of Delegation of the Environment Protection Authority under the Act dated 4 June 2021;
4. the delegation:
 - 4.1 comes into force immediately on the resolution of Council having been made;
 - 4.2 remains in force until varied or revoked;
 - 4.3 is subject to any conditions and limitations set out in sub-paragraph 5, and the Schedule; and
 - 4.4 must be exercised in accordance with any guidelines or policies which Council from time to time adopts; and
5. this Instrument of Sub-Delegation is subject to the following limitations:
 - 5.1 the powers, duties and functions described in column and summarised in column 2 of the Schedule are only delegated for the purpose of regulating:
 - 5.1.1 onsite wastewater management systems with a design or actual flow rate of sewage not exceeding 5000 litres on any day; and
 - 5.1.2 noise from the construction, demolition or removal of residential premises;
6. the delegate must not determine the issue, take the action or do the act or thing:
 - 6.1 if the issue, action, act or thing is an issue, action or thing which Council has previously designated as an issue, action, act or thing which must be the subject of a Resolution of Council;
 - 6.2 if the determining of the issue, taking of the action or doing of the act or thing would or would be likely to involve a decision which is inconsistent with a
 - (a) policy; or
 - (b) strategy

adopted by Council;

- 6.3 if the determining of the issue, the taking of the action or the doing of the act or thing cannot be the subject of a lawful delegation; or
- 6.4 the determining of the issue, the taking of the action or the doing of the act or thing is already the subject of an exclusive delegation to another member of Council staff.

SCHEDULE

ENVIRONMENT PROTECTION ACT 2017			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 271	Power to issue improvement notice	EHO, LLO, MRS, TLF	
s 272	Power to issue prohibition notice	EHO, LLO, MRS, TLF	
s 279	Power to amend a notice	EHO, LLO, MRS, TLF	
s 358	Functions of the Environment Protection Authority	EHO, LLO, MRS, TLF	
s 359(1)(b)	Power to do all things that are necessary or convenient to be done for or in connection with the performance of the Environment Protection Authority's functions and duties and to enable the Authority to achieve its objective.	EHO, LLO, MRS, TLF	
s 359(2)	Power to give advice to persons with duties or obligations	EHO, LLO, MRS, TLF	

S11A Instrument of Appointment and Authorisation (Planning and Environment Act 1987)



Hindmarsh Shire Council

Instrument of Appointment and Authorisation
(Planning and Environment Act 1987 only)

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**

In this instrument "officer" means -

**Michelle Stewart
Robert Huxley
Jessie Holmes**

By this instrument of appointment and authorisation Hindmarsh Shire Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and
2. under s 313 of the *Local Government Act 2020* authorises the officer either generally or in a particular case to institute proceedings for offences against the Acts and regulations described in this instrument.

It is declared that this instrument -

- comes into force immediately upon its execution;
- remains in force until varied or revoked.

This instrument is authorised by a resolution of the Hindmarsh Shire Council on 31 May 2023.

The COMMON SEAL OF THE
HINDMARSH SHIRE COUNCIL
was affixed on 31 May 2023 in the
presence of:

.....

Cr Brett Ireland
Mayor

.....

Greg Wood
Chief Executive Officer

S6 Instrument of Delegation – Members of Staff



Hindmarsh Shire Council

Instrument of Delegation

to

Members of Council Staff

Instrument of Delegation

In exercise of the powers conferred by the legislation referred to in the attached Schedule, the Council:

1. delegates each duty and/or function and/or power described in column 1 of the Schedule (and summarised in column 2 of the Schedule) to the member of Council staff holding, acting in or performing the duties of the office or position described opposite each such duty and/or function and/or power in column 3 of the Schedule;
2. record that references in the Schedule are as follows:

DE means Design Engineer

DCCS means Director Corporate and Community Services

DIS means Director Infrastructure Services

MGHS means Manager Governance and Human Services

CEO means Chief Executive Officer

CSRO means Customer Service and Records Officer

CSTL means Customer Service Team Leader

RO means Revenue Officer

MFCS means Manager Finance and Customer Service

MAF means Manager Assets and Facilities

EHO means Environmental Health Officer

MRS means Manager Regulatory Services

PO means Planning Officer

CAM means Coordinator Asset Management

MWO means Manager Works and Operations

3. declares that:
 - 3.1 this Instrument of Delegation is authorised by a resolution of Council passed on 31 May 2023; and
 - 3.2 the delegation:
 - 3.2.1 comes into force immediately when signed by the Chief Executive Officer in accordance with the resolution of Council;
 - 3.2.2 remains in force until varied or revoked;
 - 3.2.3 is subject to any conditions and limitations set out in sub-paragraph 3.3, and the Schedule; and

3.2.4 must be exercised in accordance with any guidelines or policies which Council from time to time adopts; and

3.3 the delegate must not determine the issue, take the action or do the act or thing:

3.3.1 if the issue, action, act or thing is an issue, action or thing which Council has previously designated as an issue, action, act or thing which must be the subject of a Resolution of Council;

3.3.2 if the determining of the issue, taking of the action or doing of the act or thing would or would be likely to involve a decision which is inconsistent with a

(a) policy; or

(b) strategy

adopted by Council;

3.3.3 if the determining of the issue, the taking of the action or the doing of the act or thing cannot be the subject of a lawful delegation; or

3.3.4 the determining of the issue, the taking of the action or the doing of the act or thing is already the subject of an exclusive delegation to another member of Council staff or delegated committee.

Signed by the Chief Executive Officer of Council)
in the presence of:)

.....
Witness

Date:

SCHEDULE

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CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 8(1)(a)(ii)	Power to manage one or more public cemeteries	DCCS; MFCS; CSRO; CSTL	
s 12(1)	Function to properly and efficiently manage and maintain each public cemetery for which responsible and carry out any other function conferred under this Act	DCCS; MFCS; CSRO; CSTL	Where Council is a Class B cemetery trust
s 12(2)	Duty to have regard to the matters set out in paragraphs (a) – (c) in exercising its functions	DCCS; MFCS; CSRO; CSTL	Where Council is a Class B cemetery trust
s 13	Duty to do anything necessary or convenient to enable it to carry out its functions	DCCS; MFCS; CSRO; CSTL	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 14	Power to manage multiple public cemeteries as if they are one cemetery	DCCS; MFCS; CSRO; CSTL	
s 15(4)	Duty to keep records of delegations	DCCS; MFCS; CSRO; CSTL	
s 17(1)	Power to employ any persons necessary	CEO; DCCS	
s 17(2)	Power to engage any professional, technical or other assistance considered necessary	DCCS; MFCS; CSRO; CSTL	
s 17(3)	Power to determine the terms and conditions of employment or engagement	DCCS; MFCS; CSRO; CSTL	Subject to any guidelines or directions of the Secretary

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 18(3)	Duty to comply with a direction from the Secretary	DCCS; MFCS; CSRO; CSTL	
s 19	Power to carry out or permit the carrying out of works	DCCS; MFCS; CSTL	
s 20(1)	Duty to set aside areas for the interment of human remains	DCCS; MFCS; CSRO; CSTL	
s 20(2)	Power to set aside areas for the purposes of managing a public cemetery	CEO; DCCS; MFCS	
s 20(3)	Power to set aside areas for those things in paragraphs (a) – (e)	DCCS; MFCS; CSTL	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 24(2)	Power to apply to the Secretary for approval to alter the existing distribution of land	CEO; DCCS; MFCS	
s 36	Power to grant licences to enter and use part of the land or building in a public cemetery in accordance with s 36	DCCS; MFCS	Subject to the approval of the Minister
s 37	Power to grant leases over land in a public cemetery in accordance with s 37	CEO; DCCS; MFCS	Subject to the Minister approving the purpose
s 40	Duty to notify Secretary of fees and charges fixed under s 39	DCCS; MFCS; CSRO; CSTL	
s 47	Power to pay a contribution toward the cost of the construction and maintenance of any private street adjoining or abutting a cemetery	CEO; DCCS; MFCS	Provided the street was constructed pursuant to the <i>Local Government Act 2020</i>
s 52	Duty to submit a report to the Secretary in relation to any public cemetery for which the cemetery trust is responsible for each financial year in respect of which it manages that cemetery	DCCS; MFCS; CSRO; CTSL	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 57(1)	Duty to submit a report to the Secretary every financial year in respect of powers and functions under the Act	DCCS; MFCS	Report must contain the particulars listed in s 57(2)
s 59	Duty to keep records for each public cemetery	DCCS; MFCS; CSRO; CSTL	
s 60(1)	Duty to make information in records available to the public for historical or research purposes	DCCS; MFCS; CSRO; CSTL	
s 60(2)	Power to charge fees for providing information	CEO; DCCS	
s 64(4)	Duty to comply with a direction from the Secretary under s 64(3)	DCCS; MFCS; CSRO; CSTL	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 64B(d)	Power to permit interments at a reopened cemetery	DCCS; MFCS; CSRO; CSTL	
s 66(1)	Power to apply to the Minister for approval to convert the cemetery, or part of it, to a historic cemetery park	DCCS; MFCS	The application must include the requirements listed in s 66(2)(a)–(d)
s 69	Duty to take reasonable steps to notify of conversion to historic cemetery park	DCCS; MFCS	
s 70(1)	Duty to prepare plan of existing places of interment and make a record of any inscriptions on memorials which are to be removed	DCCS; MFCS; CSRO; CSTL	
s 70(2)	Duty to make plans of existing place of interment available to the public	DCCS; MFCS; CSRO; CSTL	
s 71(1)	Power to remove any memorials or other structures in an area to which an approval to convert applies	DCCS; MFCS	

CEMETERIES AND CREMATORIA ACT 2003

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 71(2)	Power to dispose of any memorial or other structure removed	DCCS; MFCS	
s 72(2)	Duty to comply with request received under s 72	DCCS; MFCS; CSRO; CSTL	
s 73(1)	Power to grant a right of interment	DCCS; MFCS; CSRO; CSTL	
s 73(2)	Power to impose conditions on the right of interment	DCCS; MFCS; CSRO; CSTL	
s 74(3)	Duty to offer a perpetual right of interment	DCCS; MFCS; CSRO; CSTL	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 75	Power to grant the rights of interment set out in s 75(a) and (b)	DCCS; MFCS; CSRO; CSTL	
s 76(3)	Duty to allocate a piece of interment if an unallocated right is granted	DCCS; MFCS; CSRO; CSTL	
s 77(4)	Power to authorise and impose terms and conditions on the removal of cremated human remains or body parts from the place of interment on application	CEO; DCCS	
s 80(1)	Function of receiving notification and payment of transfer of right of interment	DCCS; MFCS; CSRO; CSTL	
s 80(2)	Function of recording transfer of right of interment	DCCS; MFCS; CSRO; CSTL	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 82(2)	Duty to pay refund on the surrender of an unexercised right of interment	DCCS; MFCS; CSTL	
s 83(2)	Duty to pay refund on the surrender of an unexercised right of interment	DCCS; MFCS; CSTL	
s 83(3)	Power to remove any memorial and grant another right of interment for a surrendered right of interment	DCCS; MFCS	
s 84(1)	Function of receiving notice of surrendering an entitlement to a right of interment	DCCS; MFCS; CSRO; CSTL	
s 84F(2)(d)	Function of receiving notice of decision to vary or force the surrender of a right of interment under s 84C(2), (3) or (5)	DCCS; MFCS; CSTL	

CEMETERIES AND CREMATORIA ACT 2003

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 84H(4)	Power to exercise the rights of a holder of a right of interment	DCCS; MFCS; CSRO; CSTL	
s 84I(4)	Power to exercise the rights of a holder of a right of internment	DCCS; MFCS; CSRO; CSTL	
s 84I(5)	Duty to pay refund to the previous holder or holders of the right of interment	DCCS; MFCS; CSTL	
s 84I(6)(a)	Power to remove any memorial on the place of interment	DCCS; MFCS	
s 84I(6)(b)	Power to grant right of interment under s 73	DCCS; MFCS; CSRO; CSTL	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 85(1)	Duty to notify holder of 25 year right of interment of expiration at least 12 months before expiry	DCCS; MFCS; CSRO; CSTL	The notice must be in writing and contain the requirements listed in s 85(2)
s 85(2)(b)	Duty to notify holder of 25 year right of interment of expiration of right at least 12 months before expiry	DCCS; MFCS; CSRO; CSTL	Does not apply where right of interment relates to remains of a deceased veteran.
s 85(2)(c)	Power to leave interred cremated remains undistributed in perpetuity and convert right of interment to perpetual right of interment or; Remove interred remains and re-inter at another location within cemetery grounds and remove any memorial at that place and re-establish at new or equivalent location	DCCS; MFCS	May only be exercised where right of interment relates to cremated human remains of a deceased identified veteran, if right of interment is not extended or converted to a perpetual right of interment
s 86	Power to remove and dispose of cremated human remains and remove any memorial if no action taken by right holder within time specified	DCCS; MFCS	
s 86(2)	Power to leave interred cremated human remains undisturbed or convert the right of interment to a perpetual right of interment	DCCS; MFCS	

CEMETERIES AND CREMATORIA ACT 2003

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 86(3)(a)	Power to leave interred cremated human remains undisturbed in perpetuity and convert the right of interment to a perpetual right of interment	DCCS; MFCS; CSRO; CSTL	
s 86(3)(b)	Power to remove interred cremated human remains and take further action in accordance with s 86(3)(b)	DCCS; MFCS	
s 86(4)	Power to take action under s 86(4) relating to removing and re-interring cremated human remains	DCCS; MFCS	
s 86(5)	Duty to provide notification before taking action under s 86(4)	DCCS; MFCS	
s 86A	Duty to maintain place of interment and any memorial at place of interment, if action taken under s 86(3)	DCCS; MFCS	
s 87(3)	Duty, if requested, to extend the right for a further 25 years or convert the right to a perpetual right of interment	DCCS; MFCS	
s 88	Function to receive applications to carry out a lift and re-position procedure at a place of interment	DCCS; MFCS; CSRO; CSTL	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 91(1)	Power to cancel a right of interment in accordance with s 91	DCCS; MFCS	
s 91(3)	Duty to publish notice of intention to cancel right of interment	DCCS; MFCS	
s 92	Power to pay refund or grant a right of interment in respect of another place of interment to the previous holder of the cancelled right of interment	DCCS; MFCS	
s 98(1)	Function of receiving application to establish or alter a memorial or a place of interment	DCCS; MFCS; CSRO; CSTL	
s 99	Power to approve or refuse an application made under s 98, or to cancel an approval	DCCS; MFCS	
s 99(4)	Duty to make a decision on an application under s 98 within 45 days after receipt of the application or within 45 days of receiving further information where requested	DCCS; MFCS	
s 100(1)	Power to require a person to remove memorials or places of interment	DCCS; MFCS	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 100(2)	Power to remove and dispose a memorial or place of interment or remedy a person's failure to comply with s 100(1)	DCCS; MFCS	
s 100(3)	Power to recover costs of taking action under s 100(2)	DCCS; MFCS	
s 101	Function of receiving applications to establish or alter a building for ceremonies in the cemetery	DCCS; MFCS; CSRO; CSTL	
s 102(1)	Power to approve or refuse an application under s 101, if satisfied of the matters in (b) and (c)	DCCS; MFCS	
s 102(2) & (3)	Power to set terms and conditions in respect of, or to cancel, an approval granted under s 102(1)	DCCS; MFCS	
s 103(1)	Power to require a person to remove a building for ceremonies	DCCS; MFCS	
s 103(2)	Power to remove and dispose of a building for ceremonies or remedy the failure to comply with s 103(1)	DCCS; MFCS	

CEMETERIES AND CREMATORIA ACT 2003

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 103(3)	Power to recover costs of taking action under s 103(2)	DCCS; MFCS	
s 106(1)	Power to require the holder of the right of interment of the requirement to make the memorial or place of interment safe and proper or carry out specified repairs	DCCS; MFCS; CSTL	
s 106(2)	Power to require the holder of the right of interment to provide for an examination	DCCS; MFCS	
s 106(3)	Power to open and examine the place of interment if s 106(2) not complied with	DCCS; MFCS	
s 106(4)	Power to repair or – with the approval of the Secretary - take down, remove and dispose any memorial or place of interment if notice under s 106(1) is not complied with	DCCS; MFCS	
s 107(1)	Power to require person responsible to make the building for ceremonies safe and proper or carry out specified repairs	DCCS; MFCS	
s 107(2)	Power to repair or take down, remove and dispose any building for ceremonies if notice under s 107(1) is not complied with	DCCS; MFCS	
s 108	Power to recover costs and expenses	DCCS; MFCS	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 109(1)(a)	Power to open, examine and repair a place of interment	DCCS; MFCS	Where the holder of right of interment or responsible person cannot be found
s 109(1)(b)	Power to repair a memorial or, with the Secretary's consent, take down, remove and dispose of a memorial	DCCS; MFCS	Where the holder of right of interment or responsible person cannot be found
s 109(2)	Power to repair the building for ceremonies or, with the consent of the Secretary, take down, remove and dispose of a building for ceremonies	DCCS; MFCS	Where the holder of right of interment or responsible person cannot be found
s 110(1)	Power to maintain, repair or restore a memorial or place of interment from other funds if unable to find right of interment holder with consent of the Secretary	DCCS; MFCS	
s 110(1A)	Power to maintain, repair or restore the place of interment if unable to find any of the other holders after diligent inquiries and with the consent of the Secretary	DCCS; MFCS	
s 110(2)	Power to maintain, repair or restore any building for ceremonies from other funds if unable to find responsible person and with consent of the Secretary	DCCS; MFCS	
s 110A	Power to use cemetery trust funds or other funds for the purposes of establishing, maintaining, repairing or restoring any memorial or place of interment of any deceased identified veteran	DCCS; MFCS	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 111	Power to enter into agreement with a holder of the right of interment to maintain a memorial or place of interment	DCCS; MFCS; CSTL	
s 112	Power to sell and supply memorials	DCCS; MFCS;	
s 116(4)	Duty to notify the Secretary of an interment authorisation granted	DCCS; MFCS; CSRO; CSTL	
s 116(5)	Power to require an applicant to produce evidence of the right of interment holder's consent to application	DCCS; MFCS; CSRO; CSTL	
s 118	Power to grant an interment authorisation if satisfied that the requirements of Division 2 of Part 8 have been met	DCCS; MFCS; CSRO; CSTL	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 119	Power to set terms and conditions for interment authorisations	DCCS; MFCS	
s 131	Function of receiving an application for cremation authorisation	DCCS; MFCS; CSRO; CSTL	
s 133(1)	Duty not to grant a cremation authorisation unless satisfied that requirements of s 133 have been complied with	DCCS; MFCS; CSRO; CSTL	Subject to s 133(2)
s 145	Duty to comply with an order made by the Magistrates' Court or a coroner	DCCS; MFCS; CSRO; CSTL	
s 146	Power to dispose of bodily remains by a method other than interment or cremation	DCCS; MFCS	Subject to the approval of the Secretary
s 147	Power to apply to the Secretary for approval to dispose of bodily remains by a method other than interment or cremation	DCCS; MFCS	

CEMETERIES AND CREMATORIA ACT 2003			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 149	Duty to cease using method of disposal if approval revoked by the Secretary	DCCS; MFCS	
s 150 & 152(1)	Power to authorise the interment or cremation of body parts if the requirements of Division 1 of Part 11 are met	DCCS; MFCS; CSRO; CSTL	
s 151	Function of receiving applications to inter or cremate body parts	DCCS; MFCS; CSRO; CSTL	
s 152(2)	Power to impose terms and conditions on authorisation granted under s 150	DCCS; MFCS	
sch 1 cl 8(3)	Power to permit members to participate in a particular meeting by telephone, closed-circuit television or any other means of communication	DCCS; MFCS; CSRO; CSTL	
sch 1 cl 8(8)	Power to regulate own proceedings	DCCS; MFCS	Subject to cl 8

DOMESTIC ANIMALS ACT 1994

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS AND LIMITATIONS
s 41A(1)	Power to declare a dog to be a menacing dog	CEO; DCCS; DIS	Council may delegate this power to a Council authorised officer

FOOD ACT 1984

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 19(2)(a)	Power to direct by written order that the food premises be put into a clean and sanitary condition	CEO; DIS; MRS; EHO	If s 19(1) applies
s 19(2)(b)	Power to direct by written order that specified steps be taken to ensure that food prepared, sold or handled is safe and suitable	CEO; DIS; MRS; EHO	If s 19(1) applies
s 19(3)	Power to direct by written order that the food premises not be kept or used for the sale, or handling for sale, of any food, or for the preparation of any food, or for any other specified purpose, or for the use of any specified equipment or a specified process	CEO; DIS; MRS; EHO	If s 19(1) applies Only in relation to temporary food premises or mobile food premises
s 19(4)(a)	Power to direct that an order made under s 19(3)(a) or (b), (i) be affixed to a conspicuous part of the premises, and (ii) inform the public by notice in a published newspaper or otherwise	CEO; DIS; MRS; EHO	If s 19(1) applies

FOOD ACT 1984			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 19(6)(a)	Duty to revoke any order under s 19 if satisfied that an order has been complied with	CEO; DIS; MRS; EHO	If s 19(1) applies
s 19(6)(b)	Duty to give written notice of revocation under s 19(6)(a) if satisfied that an order has been complied with	CEO; DIS; MRS; EHO	If s 19(1) applies
s 19AA(2)	Power to direct, by written order, that a person must take any of the actions described in (a)-(c).	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 19AA(4)(c)	Power to direct, in an order made under s 19AA(2) or a subsequent written order, that a person must ensure that any food or class of food is not removed from the premises	CEO; DIS; MRS; EHO	Note: the power to direct the matters under s 19AA(4)(a) and (b) not capable of delegation and so such directions must be made by a Council resolution

FOOD ACT 1984

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 19AA(7)	Duty to revoke order issued under s 19AA and give written notice of revocation, if satisfied that that order has been complied with	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 19CB(4)(b)	Power to request copy of records	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 19E(1)(d)	Power to request a copy of the food safety program	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 19EA(3)	Function of receiving copy of revised food safety program	CEO; DIS; MRS; EHO	Where Council is the registration authority

FOOD ACT 1984			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 19GB	Power to request proprietor to provide written details of the name, qualification or experience of the current food safety supervisor	CEO; DIS; MRS; EHO	Where Council is the registration authority
s19IA(1)	Power to form opinion that the food safety requirements or program are non-compliant.	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 19IA(2)	Duty to give written notice to the proprietor of the premises	CEO; DIS; MRS; EHO	Where Council is the registration authority Note: Not required if Council has taken other appropriate action in relation to deficiencies (see s 19IA(3))
s 19M(4)(a) & (5)	Power to conduct a food safety audit and take actions where deficiencies are identified	CEO; DIS; MRS; EHO	Where Council is the registration authority

FOOD ACT 1984			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 19N(2)	Function of receiving notice from the auditor	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 19NA(1)	Power to request food safety audit reports	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 19U(3)	Power to waive and vary the costs of a food safety audit if there are special circumstances	CEO; DIS; MRS; EHO	
s 19UA	Power to charge fees for conducting a food safety assessment or inspection	CEO; DIS; MRS; EHO	Except for an assessment required by a declaration under s 19C or an inspection under ss 38B(1)(c) or 39

FOOD ACT 1984			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 19W	Power to direct a proprietor of a food premises to comply with any requirement under Part IIIB	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 19W(3)(a)	Power to direct a proprietor of a food premises to have staff at the premises undertake training or instruction	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 19W(3)(b)	Power to direct a proprietor of a food premises to have details of any staff training incorporated into the minimum records required to be kept or food safety program of the premises	CEO; DIS; MRS; EHO	Where Council is the registration authority
---	Power to register or renew the registration of a food premises	CEO; DIS; MRS; EHO	Where Council is the registration authority Refusal to grant or renew the registration of a food premises must be ratified by Council or the CEO (see s 58A(2))

FOOD ACT 1984

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 36A	Power to accept an application for registration or notification using online portal	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 36B	Duty to pay the charge for use of online portal	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38AA(5)	Power to (a) request further information; or (b) advise the proprietor that the premises must be registered if the premises are not exempt	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38AB(4)	Power to fix a fee for the receipt of a notification under s 38AA in accordance with a declaration under s 38AB(1)	CEO; DIS; MRS; EHO	Where Council is the registration authority

FOOD ACT 1984			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 38A(4)	Power to request a copy of a completed food safety program template	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38B(1)(a)	Duty to assess the application and determine which class of food premises under s 19C the food premises belongs	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38B(1)(b)	Duty to ensure proprietor has complied with requirements of s 38A	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38B(2)	Duty to be satisfied of the matters in s 38B(2)(a)-(b)	CEO; DIS; MRS; EHO	Where Council is the registration authority

FOOD ACT 1984			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 38D(1)	Duty to ensure compliance with the applicable provisions of s 38C and inspect the premises if required by s 39	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38D(2)	Duty to be satisfied of the matters in s 38D(2)(a)-(d)	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38D(3)	Power to request copies of any audit reports	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38E(2)	Power to register the food premises on a conditional basis	CEO; DIS; MRS; EHO	Where Council is the registration authority; not exceeding the prescribed time limit defined under s 38E(5)

FOOD ACT 1984			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 38E(4)	Duty to register the food premises when conditions are satisfied	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38F(3)(b)	Power to require proprietor to comply with requirements of this Act	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38G(1)	Power to require notification of change of the food safety program type used for the food premises	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 38G(2)	Function of receiving notice from proprietor if there is a change of the food safety program type used for the food premises	CEO; DIS; MRS; EHO	Where Council is the registration authority

FOOD ACT 1984			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 38G(4)	Power to require the proprietor of the food premises to comply with any requirement of the Act	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 39(2)	Duty to carry out an inspection of the premises during the period of registration before the registration of the food premises is renewed	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 39A	Power to register, or renew the registration of a food premises despite minor defects	CEO; DIS; MRS; EHO	Where Council is the registration authority Only if satisfied of matters in s 39A(2)(a)-(c)
s 39A (6)	Duty to comply with a direction of the Secretary	CEO; DIS; MRS; EHO	

FOOD ACT 1984

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 40(1)	Duty to give the person in whose name the premises is to be registered a certificate of registration	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 40(2)	Power to incorporate the certificate of registration in one document with any certificate of registration under Part 6 of the <i>Public Health and Wellbeing Act 2008</i>	CEO; DIS; MRS; EHO	
s 40C(2)	Power to grant or renew the registration of food premises for a period of less than 1 year	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 40D(1)	Power to suspend or revoke the registration of food premises	CEO; DIS; MRS; EHO	Where Council is the registration authority

FOOD ACT 1984

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 40E	Duty to comply with direction of the Secretary	CEO; DIS; MRS; EHO	
s 40F	Power to cancel registration of food premises	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 43	Duty to maintain records of registration	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 43F(6)	Duty to be satisfied that registration requirements under Division 3 have been met prior to registering or renewing registration of a component of a food business	CEO; DIS; MRS; EHO	Where Council is the registration authority

FOOD ACT 1984			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 43F(7)	Power to register the components of the food business that meet requirements in Division 3 and power to refuse to register the components that do not meet the requirements	CEO; DIS; MRS; EHO	Where Council is the registration authority
s 45AC	Power to bring proceedings	CEO; DIS; MRS; EHO	
s 46(5)	Power to institute proceedings against another person where the offence was due to an act or default by that other person and where the first person charged could successfully defend a prosecution, without proceedings first being instituted against the person first charged	CEO; DIS; MRS; EHO	Where Council is the registration authority

HERITAGE ACT 2017

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 116	Power to sub-delegate Executive Director's functions, duties or powers	CEO	Must first obtain Executive Director's written consent Council can only sub-delegate if the Instrument of Delegation from the Executive Director authorises sub-delegation

LOCAL GOVERNMENT ACT 1989

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 185L(4)	Power to declare and levy a cladding rectification charge	CEO ¹	

¹ The only member of staff who can be a delegate in Column 3 is the CEO.

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 4B	Power to prepare an amendment to the Victorian Planning Provisions	DIS; MRS	If authorised by the Minister
s 4G	Function of receiving prescribed documents and a copy of the Victorian Planning Provisions from the Minister	DIS; MRS	
s 4H	Duty to make amendment to Victorian Planning Provisions available in accordance with public availability requirements	DIS; MRS	
s 4I(2)	Duty to make a copy of the Victorian Planning Provisions and other documents available in accordance with public availability requirements	DIS; MRS	
s 8A(2)	Power to prepare amendment to the planning scheme where the Minister has given consent under s 8A	DIS; MRS	
s 8A(3)	Power to apply to Minister to prepare an amendment to the planning scheme	CEO	
s 8A(5)	Function of receiving notice of the Minister's decision	DIS; MRS PO	
s 8A(7)	Power to prepare the amendment specified in the application without the Minister's authorisation if no response received after 10 business days	DIS; MRS	

PLANNING AND ENVIRONMENT ACT 1987

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 8B(2)	Power to apply to the Minister for authorisation to prepare an amendment to the planning scheme of an adjoining municipal district	CEO	
s 12(3)	Power to carry out studies and do things to ensure proper use of land and consult with other persons to ensure co-ordination of planning scheme with these persons	DIS; MRS	
s 12B(1)	Duty to review planning scheme	DIS; MRS	
s 12B(2)	Duty to review planning scheme at direction of Minister	DIS; MRS	
s 12B(5)	Duty to report findings of review of planning scheme to Minister without delay	DIS; MRS	
s 14	Duties of a Responsible Authority as set out in s 14(a) to (d)	DIS; MRS	
s 17(1)	Duty of giving copy amendment to the planning scheme	DIS; MRS PO	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 17(2)	Duty of giving copy s 173 agreement	DIS; MRS PO	
s 17(3)	Duty of giving copy amendment, explanatory report and relevant documents to the Minister within 10 business days	DIS; MRS	
s 18	Duty to make amendment etc. available in accordance with public availability requirements	DIS; MRS PO	Until the proposed amendment is approved or lapsed
s 19	Power to give notice, to decide not to give notice, to publish notice of amendment to a planning scheme and to exercise any other power under s 19 to a planning scheme	DIS; MRS	
s 19	Function of receiving notice of preparation of an amendment to a planning scheme	DIS; MRS	Where Council is not the planning authority and the amendment affects land within Council's municipal district; or Where the amendment will amend the planning scheme to designate Council as an acquiring authority
s 20(1)	Power to apply to Minister for exemption from the requirements of s 19	DIS; MRS	Where Council is a planning authority
s 21(2)	Duty to make submissions available in accordance with public availability requirements	DIS; MRS	Until the end of 2 months after the amendment comes into operation or lapses

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 21A(4)	Duty to publish notice	DIS; MRS	
s 22(1)	Duty to consider all submissions received before the date specified in the notice	DIS; MRS	Except submissions which request a change to the items in s 22(5)(a) and (b)
s 22(2)	Power to consider a late submission Duty to consider a late submission, if directed by the Minister	DIS; MRS	
s 23(1)(b)	Duty to refer submissions which request a change to the amendment to a panel	DIS; MRS	
s 23(2)	Power to refer to a panel submissions which do not require a change to the amendment	DIS; MRS	
s 24	Function to represent Council and present a submission at a panel hearing (including a hearing referred to in s 96D)	DIS; MRS	
s 26(1)	Power to make report available for inspection in accordance with the requirements set out in s 197B of the Act	DIS; MRS	
s 26(2)	Duty to keep report of panel available in accordance with public availability requirements	DIS; MRS	During the inspection period
s 27(2)	Power to apply for exemption if panel's report not received	DIS; MRS	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 28(1)	Duty to notify the Minister if abandoning an amendment	DIS; MRS	Note: the power to make a decision to abandon an amendment cannot be delegated
s 28(2)	Duty to publish notice of the decision on Internet site	DIS; MRS	
s 28(4)	Duty to make notice of the decision available on Council's Internet site for a period of at least 2 months	DIS; MRS	
s 30(4)(a)	Duty to say if amendment has lapsed	DIS; MRS	
s 30(4)(b)	Duty to provide information in writing upon request	DIS; MRS	
s 32(2)	Duty to give more notice if required	DIS; MRS	
s 33(1)	Duty to give more notice of changes to an amendment	DIS; MRS	
s 36(2)	Duty to give notice of approval of amendment	DIS; MRS	
s 38(5)	Duty to give notice of revocation of an amendment	DIS; MRS	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 39	Function of being a party to a proceeding commenced under s 39 and duty to comply with determination by VCAT	DIS; MRS	
s 40(1)	Function of lodging copy of approved amendment	DIS; MRS	
s 41(1)	Duty to make a copy of an approved amendment available in accordance with the public availability requirements during inspection period	DIS; MRS	
s 41(2)	Duty to make a copy of an approved amendment and any documents lodged with it available in person in accordance with the requirements set out in s 197B of the Act after the inspection period ends	DIS; MRS	
s 42(2)	Duty to make copy of planning scheme available in accordance with the public availability requirements	DIS; MRS PO	
s 46AW	Function of being consulted by the Minister	DIS; MRS	Where Council is a responsible public entity
s 46AX	Function of receiving a draft Statement of Planning Policy and written direction in relation to the endorsement of the draft Statement of Planning Policy Power to endorse the draft Statement of Planning Policy	DIS; MRS	Where Council is a responsible public entity

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46AZC(2)	Duty not to prepare an amendment to a declared area planning scheme that is inconsistent with a Statement of Planning Policy for the declared area that is expressed to be binding on the responsible public entity	DIS; MRS	Where Council is a responsible public entity
s 46AZK	Duty not to act inconsistently with any provision of the Statement of Planning Policy that is expressed to be binding on the public entity when performing a function or duty or exercising a power in relation to the declared area	DIS; MRS	Where Council is a responsible public entity
s 46GI(2)(b)(i)	Power to agree to a lower rate of standard levy for a class of development of a particular type of land than the rate specified in a Minister's direction	DIS; MRS	Where Council is the planning authority, the municipal Council of the municipal district in which the land is located and/or the development agency
s 46GJ(1)	Function of receiving written directions from the Minister in relation to the preparation and content of infrastructure contributions plans	DIS; MRS	
s 46GK	Duty to comply with a Minister's direction that applies to Council as the planning authority	DIS; MRS	
s 46GN(1)	Duty to arrange for estimates of values of inner public purpose land	DIS; MRS	
s 46GO(1)	Duty to give notice to owners of certain inner public purpose land	DIS; MRS	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46GP	Function of receiving a notice under s 46GO	DIS; MRS	Where Council is the collecting agency
s 46GQ	Function of receiving a submission from an affected owner who objects to the estimated value per hectare (or other appropriate unit of measurement) of the inner public purpose land	DIS; MRS	
s 46GR(1)	Duty to consider every submission that is made by the closing date for submissions included in the notice under s 46GO	DIS; MRS	
s 46GR(2)	Power to consider a late submission Duty to consider a late submission if directed to do so by the Minister	DIS; MRS	
s 46GS(1)	Power to accept or reject the estimate of the value of the inner public purpose land in a submission made under s 46GQ	DIS; MRS	
s 46GS(2)	Duty, if Council rejects the estimate of the value of the inner public purpose land in the submission, to refer the matter to the valuer-general, and notify the affected owner of the rejection and that the matter has been referred to the valuer-general	DIS; MRS	
s 46GT(2)	Duty to pay half of the fee fixed by the valuer-general for arranging and attending the conference	DIS; MRS	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46GT(4)	Function of receiving, from the valuer-general, written confirmation of the agreement between the planning authority's valuer and the affected owner's valuer as to the estimated value of the inner public purpose land	DIS; MRS	
s 46GT(6)	Function of receiving, from the valuer-general, written notice of a determination under s 46GT(5)	DIS; MRS	
s 46GU	Duty not to adopt an amendment under s 29 to an infrastructure contributions plan that specifies a land credit amount or a land equalisation amount that relates to a parcel of land in the ICP plan area of the plan unless the criteria in s 46GU(1)(a) and (b) are met	DIS; MRS	
s 46GV(3)	Function of receiving the monetary component and any land equalisation amount of the infrastructure contribution Power to specify the manner in which the payment is to be made	DIS; MRS	Where Council is the collecting agency
s 46GV(3)(b)	Power to enter into an agreement with the applicant	DIS; MRS	Where Council is the collecting agency
s 46GV(4)(a)	Function of receiving the inner public purpose land in accordance with s 46GV(5) and (6)	DIS; MRS	Where Council is the development agency
s 46GV(4)(b)	Function of receiving the inner public purpose land in accordance with s 46GV(5) and (6)	DIS; MRS	Where Council is the collecting agency

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46GV(7)	Duty to impose the requirements set out in s 46GV(3) and (4) as conditions on the permit applied for by the applicant to develop the land in the ICP plan area	DIS; MRS	
s 46GV(9)	Power to require the payment of a monetary component or the provision of the land component of an infrastructure contribution to be secured to Council's satisfaction	DIS; MRS	Where Council is the collecting agency
s 46GX(1)	Power to accept works, services or facilities in part or full satisfaction of the monetary component of an infrastructure contribution payable	DIS; MRS	Where Council is the collecting agency
s 46GX(2)	Duty, before accepting the provision of works, services or facilities by an applicant under s 46GX(1), to obtain the agreement of the development agency or agencies specified in the approved infrastructure contributions plan	DIS; MRS	Where Council is the collecting agency
s 46GY(1)	Duty to keep proper and separate accounts and records	DIS; MRS	Where Council is the collecting agency
s 46GY(2)	Duty to keep the accounts and records in accordance with the <i>Local Government Act 2020</i>	DIS; MRS	Where Council is the collecting agency
s 46GZ(2)(a)	Duty to forward any part of the monetary component that is imposed for plan preparation costs to the planning authority that incurred those costs	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan This duty does not apply where Council is that planning authority

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46GZ(2)(a)	Function of receiving the monetary component	DIS; MRS	Where the Council is the planning authority This duty does not apply where Council is also the collecting agency
s 46GZ(2)(b)	Duty to forward any part of the monetary component that is imposed for the provision of works, services or facilities to the development agency that is specified in the plan as responsible for those works, services or facilities	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan This provision does not apply where Council is also the relevant development agency
s 46GZ(2)(b)	Function of receiving the monetary component	DIS; MRS	Where Council is the development agency under an approved infrastructure contributions plan This provision does not apply where Council is also the collecting agency
s 46GZ(4)	Duty to use any land equalisation amounts to pay land credit amounts under s 46GZ(7), except any part of those amounts that are to be forwarded to a development agency under s 46GZ(5)	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan
s 46GZ(5)	Duty to forward any part of a land equalisation amount required for the acquisition of outer public purpose land by a development agency specified in the approved infrastructure contributions plan to that development agency	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan This provision does not apply where Council is also the relevant development agency

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46GZ(5)	Function of receiving any part of a land equalisation amount required for the acquisition of outer public purpose land	DIS; MRS	Where Council is the development agency specified in the approved infrastructure contributions plan This provision does not apply where Council is also the collecting agency
s 46GZ(7)	Duty to pay to each person who must provide an infrastructure contribution under the approved infrastructure contributions plan any land credit amount to which the person is entitled under s 46GW	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan
s 46GZ(9)	Duty to transfer the estate in fee simple in the land to the development agency specified in the approved infrastructure contributions plan as responsible for the use and development of that land	DIS; MRS	If any inner public purpose land is vested in Council under the <i>Subdivision Act 1988</i> or acquired by Council before the time it is required to be provided to Council under s 46GV(4) Where Council is the collecting agency under an approved infrastructure contributions plan This duty does not apply where Council is also the development agency
s 46GZ(9)	Function of receiving the fee simple in the land	DIS; MRS	Where Council is the development agency under an approved infrastructure contributions plan This duty does not apply where Council is also the collecting agency
s 46GZA(1)	Duty to keep proper and separate accounts and records	DIS; MRS	Where Council is a development agency under an approved infrastructure contributions plan

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46GZA(2)	Duty to keep the accounts and records in accordance with the <i>Local Government Act 2020</i>	DIS; MRS	Where Council is a development agency under an approved infrastructure contributions plan
s 46GZB(3)	Duty to follow the steps set out in s 46GZB(3)(a) – (c)	DIS; MRS	Where Council is a development agency under an approved infrastructure contributions plan
s 46GZB(4)	Duty, in accordance with requirements of the VPA, to report on the use of the infrastructure contribution in the development agency's annual report and provide reports on the use of the infrastructure contribution to the VPA	DIS; MRS	If the VPA is the collecting agency under an approved infrastructure contributions plan Where Council is a development agency under an approved infrastructure contributions plan
s 46GZD(2)	Duty, within 6 months after the date on which the approved infrastructure contributions plan expires, to follow the steps set out in s 46GZD(2)(a) and (b)	DIS; MRS	Where Council is the development agency under an approved infrastructure contributions plan
s 46GZD(3)	Duty to follow the steps set out in s 46GZD(3)(a) and (b)	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan
s 46GZD(5)	Duty to make payments under s 46GZD(3) in accordance with ss 46GZD(5)(a) and 46GZD(5)(b)	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46GZE(2)	Duty to forward the land equalisation amount back to the collecting agency within 6 months after the expiry date if any part of a land equalisation amount paid or forwarded to a development agency for acquiring outer public purpose land has not been expended by the development agency to acquire that land at the date on which the approved infrastructure contributions plan expires	DIS; MRS	Where Council is the development agency under an approved infrastructure contributions plan This duty does not apply where Council is also the collecting agency
s 46GZE(2)	Function of receiving the unexpended land equalisation amount	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan This duty does not apply where Council is also the development agency
s 46GZE(3)	Duty, within 12 months after the date on which the approved infrastructure contributions plan expires, to follow the steps set out in s 46GZE(3)(a) and (b)	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan
s 46GZF(2)	Duty, within 12 months after the date on which the approved infrastructure contributions plan expires, to use the public purpose land for a public purpose approved by the Minister or sell the public purpose land	DIS; MRS	Where Council is the development agency under an approved infrastructure contributions plan
s 46GZF(3)	Duty, if land is sold under s 46GZF(2)(b), to follow the steps in s 46GZF(3)(a) and (b)	DIS; MRS	Where Council is the development agency under an approved infrastructure contributions plan

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46GZF(3)	Function of receiving proceeds of sale	DIS; MRS	Where Council is the collection agency under an approved infrastructure contributions plan This provision does not apply where Council is also the development agency
s 46GZF(4)	Duty to divide the proceeds of the public purpose land among the current owners of each parcel of land in the ICP plan area and pay each current owner a portion of the proceeds in accordance with s 46GZF(5)	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan
s 46GZF(6)	Duty to make the payments under s 46GZF(4) in accordance with s 46GZF(6)(a) and (b)	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan
s 46GZH	Power to recover the monetary component, or any land equalisation amount of the land component, payable under Part 3AB as a debt in any court of competent jurisdiction	DIS; MRS	Where Council is the collecting agency under an approved infrastructure contributions plan
s 46GZI	Duty to prepare and give a report to the Minister at the times required by the Minister	DIS; MRS	Where Council is a collecting agency or development agency
s 46GZK	Power to deal with public purpose land which has vested in, been acquired by, or transferred to, Council	DIS; MRS	Where Council is a collecting agency or development agency
s 46LB(3)	Duty to publish, on Council's Internet site, the payable dwelling amount for a financial year on or before 1 July of each financial year for which the amount is adjusted under s 46LB (2)	DIS; MRS	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46N(1)	Duty to include condition in permit regarding payment of development infrastructure levy	DIS; MRS	
s 46N(2)(c)	Function of determining time and manner for receipt of development contributions levy	DIS; MRS	
s 46N(2)(d)	Power to enter into an agreement with the applicant regarding payment of development infrastructure levy	DIS; MRS	
s 46O(1)(a) & (2)(a)	Power to ensure that community infrastructure levy is paid, or agreement is in place, prior to issuing building permit	DIS; MRS	
s 46O(1)(d) & (2)(d)	Power to enter into agreement with the applicant regarding payment of community infrastructure levy	DIS; MRS	
s 46P(1)	Power to require payment of amount of levy under s 46N or s 46O to be satisfactorily secured	DIS; MRS	
s 46P(2)	Power to accept provision of land, works, services or facilities in part or full payment of levy payable	DIS; MRS	
s 46Q(1)	Duty to keep proper accounts of levies paid	DIS; MRS	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46Q(1A)	Duty to forward to development agency part of levy imposed for carrying out works, services, or facilities on behalf of development agency or plan preparation costs incurred by a development agency	DIS; MRS	
s 46Q(2)	Duty to apply levy only for a purpose relating to the provision of plan preparation costs or the works, services and facilities in respect of which the levy was paid etc	DIS; MRS	
s 46Q(3)	Power to refund any amount of levy paid if it is satisfied the development is not to proceed	DIS; MRS	Only applies when levy is paid to Council as a 'development agency'
s 46Q(4)(c)	Duty to pay amount to current owners of land in the area if an amount of levy has been paid to a municipal council as a development agency for plan preparation costs incurred by the Council or for the provision by the Council of works, services or facilities in an area under s 46Q(4)(a)	DIS; MRS	Must be done within six months of the end of the period required by the development contributions plan and with the consent of, and in the manner approved by, the Minister
s 46Q(4)(d)	Duty to submit to the Minister an amendment to the approved development contributions plan	DIS; MRS	Must be done in accordance with Part 3
s 46Q(4)(e)	Duty to expend that amount on other works etc.	DIS; MRS	With the consent of, and in the manner approved by, the Minister
s 46QC	Power to recover any amount of levy payable under Part 3B	DIS; MRS	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 46QD	Duty to prepare report and give a report to the Minister	DIS; MRS	Where Council is a collecting agency or development agency
s 46Y	Duty to carry out works in conformity with the approved strategy plan	DIS; MRS	
s 47	Power to decide that an application for a planning permit does not comply with that Act	DIS; MRS	
s 49(1)	Duty to keep a register of all applications for permits and determinations relating to permits	DIS; MRS PO	
s 49(2)	Duty to make register available for inspection in accordance with the public availability requirements	DIS; MRS PO	
s 50(4)	Duty to amend application	DIS; MRS	
s 50(5)	Power to refuse to amend application	DIS; MRS	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 50(6)	Duty to make note of amendment to application in register	DIS; MRS PO	
s 50A(1)	Power to make amendment to application	DIS; MRS	
s 50A(3)	Power to require applicant to notify owner and make a declaration that notice has been given	DIS; MRS PO	
s 50A(4)	Duty to note amendment to application in register	DIS; MRS	
s 51	Duty to make copy of application available for inspection in accordance with the public availability requirements	DIS; MRS PO	
s 52(1)(a)	Duty to give notice of the application to owners/occupiers of adjoining allotments unless satisfied that the grant of permit would not cause material detriment to any person	DIS; MRS PO	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 52(1)(b)	Duty to give notice of the application to other municipal council where appropriate	DIS; MRS PO	
s 52(1)(c)	Duty to give notice of the application to all persons required by the planning scheme	DIS; MRS PO	
s 52(1)(ca)	Duty to give notice of the application to owners and occupiers of land benefited by a registered restrictive covenant if may result in breach of covenant	DIS; MRS	
s 52(1)(cb)	Duty to give notice of the application to owners and occupiers of land benefited by a registered restrictive covenant if application is to remove or vary the covenant	DIS; MRS	
s 52(1)(d)	Duty to give notice of the application to other persons who may be detrimentally effected	DIS; MRS PO	
s 52(1AA)	Duty to give notice of an application to remove or vary a registered restrictive covenant	DIS; MRS PO	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 52(3)	Power to give any further notice of an application where appropriate	DIS; MRS PO	
s 53(1)	Power to require the applicant to give notice under s 52(1) to persons specified by it	DIS; MRS PO	
s 53(1A)	Power to require the applicant to give the notice under s 52(1AA)	DIS; MRS PO	
s 54(1)	Power to require the applicant to provide more information	DIS; MRS PO	
s 54(1A)	Duty to give notice in writing of information required under s 54(1)	DIS; MRS PO	
s 54(1B)	Duty to specify the lapse date for an application	DIS; MRS PO	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 54A(3)	Power to decide to extend time or refuse to extend time to give required information	DIS; MRS PO	
s 54A(4)	Duty to give written notice of decision to extend or refuse to extend time under s 54A(3)	DIS; MRS PO	
s 55(1)	Duty to give copy application, together with the prescribed information, to every referral authority specified in the planning scheme	DIS; MRS PO	
s 57(2A)	Power to reject objections considered made primarily for commercial advantage for the objector	DIS; MRS	
s 57(3)	Function of receiving name and address of persons to whom notice of decision is to go	DIS; MRS PO	
s 57(5)	Duty to make a copy of all objections available in accordance with the public availability requirements	DIS; MRS PO	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 57A(4)	Duty to amend application in accordance with applicant's request, subject to s 57A(5)	DIS; MRS PO	
s 57A(5)	Power to refuse to amend application	DIS; MRS PO	In consultation with the MRS
s 57A(6)	Duty to note amendments to application in register	DIS; MRS PO	
s 57B(1)	Duty to determine whether and to whom notice should be given	DIS; MRS PO	
s 57B(2)	Duty to consider certain matters in determining whether notice should be given	DIS; MRS PO	
s 57C(1)	Duty to give copy of amended application to referral authority	DIS; MRS PO	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 58	Duty to consider every application for a permit	DIS; MRS PO	
s 58A	Power to request advice from the Planning Application Committee	DIS; MRS	
s 60	Duty to consider certain matters	CEO DIS	
s 60(1A)	Duty to consider certain matters	CEO DIS	
s 60(1B)	Duty to consider number of objectors in considering whether use or development may have significant social effect	CEO	
s 61(1)	Power to determine permit application, either to decide to grant a permit, to decide to grant a permit with conditions or to refuse a permit application	CEO; DIS	The permit must not be inconsistent with a cultural heritage management plan under the <i>Aboriginal Heritage Act 2006</i>
s 61(2)	Duty to decide to refuse to grant a permit if a relevant determining referral authority objects to grant of permit	CEO	
s 61(2A)	Power to decide to refuse to grant a permit if a relevant recommending referral authority objects to the grant of permit	CEO	
s 61(3)(a)	Duty not to decide to grant a permit to use coastal Crown land without Minister's consent	CEO	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 61(3)(b)	Duty to refuse to grant the permit without the Minister's consent	CEO	
s 61(4)	Duty to refuse to grant the permit if grant would authorise a breach of a registered restrictive covenant	CEO	
s 62(1)	Duty to include certain conditions in deciding to grant a permit	CEO DIS	
s 62(2)	Power to include other conditions	CEO DIS	
s 62(4)	Duty to ensure conditions are consistent with paragraphs (a),(b) and (c)	CEO DIS	
s 62(5)(a)	Power to include a permit condition to implement an approved development contributions plan or an approved infrastructure contributions plan	CEO	
s 62(5)(b)	Power to include a permit condition that specified works be provided on or to the land or paid for in accordance with s 173 agreement	CEO DIS	
s 62(5)(c)	Power to include a permit condition that specified works be provided or paid for by the applicant	CEO DIS	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 62(6)(a)	Duty not to include a permit condition requiring a person to pay an amount for or provide works except in accordance with ss 46N(1), 46GV(7) or 62(5)	CEO DIS	
s 62(6)(b)	Duty not to include a permit condition requiring a person to pay an amount for or provide works except a condition that a planning scheme requires to be included as referred to in s 62(1)(a)	CEO DIS	
s 63	Duty to issue the permit where made a decision in favour of the application (if no one has objected)	CEO DIS	
s 64(1)	Duty to give notice of decision to grant a permit to applicant and objectors	DIS; MRS	This provision applies also to a decision to grant an amendment to a permit – see s 75
s 64(3)	Duty not to issue a permit until after the specified period	DIS; MRS	This provision applies also to a decision to grant an amendment to a permit – see s 75
s 64(5)	Duty to give each objector a copy of an exempt decision	DIS; MRS	This provision applies also to a decision to grant an amendment to a permit – see s 75
s 64A	Duty not to issue permit until the end of a period when an application for review may be lodged with VCAT or until VCAT has determined the application, if a relevant recommending referral authority has objected to the grant of a permit	DIS; MRS PO	This provision applies also to a decision to grant an amendment to a permit – see s 75A

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 65(1)	Duty to give notice of refusal to grant permit to applicant and person who objected under s 57	DIS; MRS PO	
s 66(1)	Duty to give notice under s 64 or s 65 and copy permit to relevant determining referral authorities	DIS; MRS PO	
s 66(2)	Duty to give a recommending referral authority notice of its decision to grant a permit	DIS; MRS PO	If the recommending referral authority objected to the grant of the permit or the responsible authority decided not to include a condition on the permit recommended by the recommending referral authority
s 66(4)	Duty to give a recommending referral authority notice of its decision to refuse a permit	DIS; MRS PO	If the recommending referral authority objected to the grant of the permit or the recommending referral authority recommended that a permit condition be included on the permit
s 66(6)	Duty to give a recommending referral authority a copy of any permit which Council decides to grant and a copy of any notice given under s 64 or 65	DIS; MRS PO	If the recommending referral authority did not object to the grant of the permit or the recommending referral authority did not recommend a condition be included on the permit

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 69(1)	Function of receiving application for extension of time of permit	DIS; MRS PO	
s 69(1A)	Function of receiving application for extension of time to complete development	DIS; MRS PO	
s 69(2)	Power to extend time	DIS; MRS PO	
s 70	Duty to make copy permit available in accordance with public availability requirements	DIS; MRS PO	
s 71(1)	Power to correct certain mistakes	DIS; MRS PO	
s 71(2)	Duty to note corrections in register	DIS; MRS PO	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 73	Power to decide to grant amendment subject to conditions	CEO DIS	
s 74	Duty to issue amended permit to applicant if no objectors	DIS MRS PO	
s 76	Duty to give applicant and objectors notice of decision to refuse to grant amendment to permit	DIS; MRS PO	
s 76A(1)	Duty to give relevant determining referral authorities copy of amended permit and copy of notice	DIS; MRS PO	
s 76A(2)	Duty to give a recommending referral authority notice of its decision to grant an amendment to a permit	DIS; MRS PO	If the recommending referral authority objected to the amendment of the permit or the responsible authority decided not to include a condition on the amended permit recommended by the recommending referral authority
s 76A(4)	Duty to give a recommending referral authority notice of its decision to refuse a permit	DIS; MRS PO	If the recommending referral authority objected to the amendment of the permit or the recommending referral authority recommended that a permit condition be included on the amended permit

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 76A(6)	Duty to give a recommending referral authority a copy of any amended permit which Council decides to grant and a copy of any notice given under s 64 or 76	DIS; MRS PO	If the recommending referral authority did not object to the amendment of the permit or the recommending referral authority did not recommend a condition be included on the amended permit
s 76D	Duty to comply with direction of Minister to issue amended permit	DIS; MRS	
s 83	Function of being respondent to an appeal	DIS; MRS	
s 83B	Duty to give or publish notice of application for review	DIS; MRS	
s 84(1)	Power to decide on an application at any time after an appeal is lodged against failure to grant a permit	DIS; MRS	In consultation with the CEO
s 84(2)	Duty not to issue a permit or notice of decision or refusal after an application is made for review of a failure to grant a permit	DIS; MRS	
s 84(3)	Duty to tell principal registrar if decide to grant a permit after an application is made for review of its failure to grant a permit	DIS; MRS PO	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 84(6)	Duty to issue permit on receipt of advice within 3 business days	DIS; MRS PO	
s 84AB	Power to agree to confining a review by the Tribunal	DIS;	
s 86	Duty to issue a permit at order of Tribunal within 3 business days	DIS; MRS PO	
s 87(3)	Power to apply to VCAT for the cancellation or amendment of a permit	DIS	
s 90(1)	Function of being heard at hearing of request for cancellation or amendment of a permit	DIS; MRS	
s 91(2)	Duty to comply with the directions of VCAT	DIS; MRS PO	
s 91(2A)	Duty to issue amended permit to owner if Tribunal so directs	DIS; MRS PO	

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Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 92	Duty to give notice of cancellation/amendment of permit by VCAT to persons entitled to be heard under s 90	DIS; MRS	
s 93(2)	Duty to give notice of VCAT order to stop development	DIS; MRS	
s 95(3)	Function of referring certain applications to the Minister	DIS; MRS	
s 95(4)	Duty to comply with an order or direction	DIS; MRS PO	
s 96(1)	Duty to obtain a permit from the Minister to use and develop its land	DIS; MRS	
s 96(2)	Function of giving consent to other persons to apply to the Minister for a permit to use and develop Council land	DIS; MRS	
s 96A(2)	Power to agree to consider an application for permit concurrently with preparation of proposed amendment	DIS; MRS	
s 96C	Power to give notice, to decide not to give notice, to publish notice and to exercise any other power under s 96C	DIS;	
s 96F	Duty to consider the panel's report under s 96E	DIS	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 96G(1)	Power to determine to recommend that a permit be granted or to refuse to recommend that a permit be granted and power to notify applicant of the determination (including power to give notice under s 23 of the <i>Planning and Environment (Planning Schemes) Act 1996</i>)	DIS; MRS	
s 96H(3)	Power to give notice in compliance with Minister's direction	DIS; MRS PO	
s 96J	Duty to issue permit as directed by the Minister	DIS; MRS PO	
s 96K	Duty to comply with direction of the Minister to give notice of refusal	DIS; MRS PO	
s 96Z	Duty to keep levy certificates given to it under ss 47 or 96A for no less than 5 years from receipt of the certificate	DIS; MRS	
s 97C	Power to request Minister to decide the application	DIS	
s 97D(1)	Duty to comply with directions of Minister to supply any document or assistance relating to application	DIS; MRS PO	

PLANNING AND ENVIRONMENT ACT 1987

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 97G(3)	Function of receiving from Minister copy of notice of refusal to grant permit or copy of any permit granted by the Minister	DIS; MRS	
s 97G(6)	Duty to make a copy of permits issued under s 97F available in accordance with public availability requirements	DIS; MRS PO	
s 97L	Duty to include Ministerial decisions in a register kept under s 49	DIS; MRS PO	
s 97MH	Duty to provide information or assistance to the Planning Application Committee	DIS; MRS PO	
s 97MI	Duty to contribute to the costs of the Planning Application Committee or subcommittee	DIS	
s 97O	Duty to consider application and issue or refuse to issue certificate of compliance	DIS; MRS PO	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 97P(3)	Duty to comply with directions of VCAT following an application for review of a failure or refusal to issue a certificate	DIS; MRS	
s 97Q(2)	Function of being heard by VCAT at hearing of request for amendment or cancellation of certificate	DIS; MRS	
s 97Q(4)	Duty to comply with directions of VCAT	DIS; MRS PO	
s 97R	Duty to keep register of all applications for certificate of compliance and related decisions	DIS; MRS PO	
s 98(1)&(2)	Function of receiving claim for compensation in certain circumstances	DIS; MRS	Council to be briefed on the matter
s 98(4)	Duty to inform any person of the name of the person from whom compensation can be claimed	DIS; MRS	
s 101	Function of receiving claim for expenses in conjunction with claim	DIS; MRS	
s 103	Power to reject a claim for compensation in certain circumstances	DIS; MRS	Council to be briefed on the matter

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 107(1)	Function of receiving claim for compensation	DIS; MRS	Council to be briefed on the matter
s 107(3)	Power to agree to extend time for making claim	DIS; MRS CEO	
s 113(2)	Power to request a declaration for land to be proposed to be reserved for public purposes	DIS; CEO	
s 114(1)	Power to apply to the VCAT for an enforcement order	DIS; MRS	
s 117(1)(a)	Function of making a submission to the VCAT where objections are received	DIS; MRS	
s 120(1)	Power to apply for an interim enforcement order where s 114 application has been made	DIS; MRS	
s 123(1)	Power to carry out work required by enforcement order and recover costs	DIS; MRS	
s 123(2)	Power to sell buildings, materials, etc salvaged in carrying out work under s 123(1)	DIS; MRS	Except Crown Land

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 129	Function of recovering penalties	DIS; MRS	
s 130(5)	Power to allow person served with an infringement notice further time	DIS; MRS	
s 149A(1)	Power to refer a matter to the VCAT for determination	DIS; MRS	
s 149A(1A)	Power to apply to VCAT for the determination of a matter relating to the interpretation of a s 173 agreement	DIS; MRS	
s 156	Duty to pay fees and allowances (including a payment to the Crown under s 156(2A)), and payment or reimbursement for reasonable costs and expenses incurred by the panel in carrying out its functions unless the Minister directs otherwise under s 156(2B) power to ask for contribution under s 156(3) and power to abandon amendment or part of it under s 156(4)	DIS; MRS	Where Council is the relevant planning authority
s 171(2)(f)	Power to carry out studies and commission reports	DIS; MRS	
s 171(2)(g)	Power to grant and reserve easements	DIS; MRS	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 172C	Power to compulsorily acquire any outer public purpose land that is specified in the approved infrastructure contributions plan	CEO	Where Council is a development agency specified in an approved infrastructure contributions plan
s 172D(1)	Power to compulsorily acquire any inner public purpose land that is specified in the plan before the time that the land is required to be provided to Council under s 46GV(4)	CEO	Where Council is a collecting agency specified in an approved infrastructure contributions plan
s 172D(2)	Power to compulsorily acquire any inner public purpose land, the use and development of which is to be the responsibility of Council under the plan, before the time that the land is required to be provided under s 46GV(4)	CEO	Where Council is the development agency specified in an approved infrastructure contributions plan
s 173(1)	Power to enter into agreement covering matters set out in s 174	DIS; MRS PO	
s 173(1A)	Power to enter into an agreement with an owner of land for the development or provision of land in relation to affordable housing	CEO; DIS MRS	Where Council is the relevant responsible authority
---	Power to decide whether something is to the satisfaction of Council, where an agreement made under s 173 of the <i>Planning and Environment Act 1987</i> requires something to be to the satisfaction of Council or Responsible Authority	DIS; MRS	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
---	Power to give consent on behalf of Council, where an agreement made under s 173 of the <i>Planning and Environment Act 1987</i> requires that something may not be done without the consent of Council or Responsible Authority	DIS; MRS	
s 177(2)	Power to end a s 173 agreement with the agreement of all those bound by any covenant in the agreement or otherwise in accordance with Division 2 of Part 9	DIS; MRS	
s 178	Power to amend a s 173 agreement with the agreement of all those bound by any covenant in the agreement or otherwise in accordance with Division 2 of Part 9	DIS; MRS	
s 178A(1)	Function of receiving application to amend or end an agreement	DIS; MRS PO	
s 178A(3)	Function of notifying the owner as to whether it agrees in principle to the proposal under s 178A(1)	DIS; MRS PO	
s 178A(4)	Function of notifying the applicant and the owner as to whether it agrees in principle to the proposal	DIS; MRS PO	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 178A(5)	Power to propose to amend or end an agreement	DIS; MRS PO	
s 178B(1)	Duty to consider certain matters when considering proposal to amend an agreement	DIS; MRS PO	
s 178B(2)	Duty to consider certain matters when considering proposal to end an agreement	DIS; MRS PO	
s 178C(2)	Duty to give notice of the proposal to all parties to the agreement and other persons who may be detrimentally affected by decision to amend or end	DIS; MRS PO	
s 178C(4)	Function of determining how to give notice under s 178C(2)	DIS; MRS PO	
s 178E(1)	Duty not to make decision until after 14 days after notice has been given	DIS; MRS PO	

PLANNING AND ENVIRONMENT ACT 1987

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 178E(2)(a)	Power to amend or end the agreement in accordance with the proposal	DIS; MRS	If no objections are made under s 178D Must consider matters in s 178B
s 178E(2)(b)	Power to amend or end the agreement in a manner that is not substantively different from the proposal	DIS; MRS	If no objections are made under s 178D Must consider matters in s 178B
s 178E(2)(c)	Power to refuse to amend or end the agreement	DIS; MRS	If no objections are made under s 178D Must consider matters in s 178B
s 178E(3)(a)	Power to amend or end the agreement in accordance with the proposal	DIS; MRS	After considering objections, submissions and matters in s 178B
s 178E(3)(b)	Power to amend or end the agreement in a manner that is not substantively different from the proposal	DIS; MRS	After considering objections, submissions and matters in s 178B
s 178E(3)(c)	Power to amend or end the agreement in a manner that is substantively different from the proposal	DIS; MRS	After considering objections, submissions and matters in s 178B

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 178E(3)(d)	Power to refuse to amend or end the agreement	DIS; MRS	After considering objections, submissions and matters in s 178B
s 178F(1)	Duty to give notice of its decision under s 178E(3)(a) or (b)	DIS; MRS PO	
s 178F(2)	Duty to give notice of its decision under s 178E(2)(c) or (3)(d)	DIS; MRS PO	
s 178F(4)	Duty not to proceed to amend or end an agreement under s 178E until at least 21 days after notice has been given or until an application for review to the Tribunal has been determined or withdrawn	DIS; MRS PO	
s 178G	Duty to sign amended agreement and give copy to each other party to the agreement	DIS; MRS PO	
s 178H	Power to require a person who applies to amend or end an agreement to pay the costs of giving notices and preparing the amended agreement	DIS; MRS PO	

PLANNING AND ENVIRONMENT ACT 1987

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 178I(3)	Duty to notify, in writing, each party to the agreement of the ending of the agreement relating to Crown land	DIS; MRS PO	
s 179(2)	Duty to make a copy of each agreement available in accordance with the public availability requirements	DIS; MRS PO	
s 181	Duty to apply to the Registrar of Titles to record the agreement and to deliver a memorial to Registrar-General	DIS; MRS PO	
s 181(1A)(a)	Power to apply to the Registrar of Titles to record the agreement	DIS; MRS PO	
s 181(1A)(b)	Duty to apply to the Registrar of Titles, without delay, to record the agreement	DIS; MRS PO	
s 182	Power to enforce an agreement	DIS; MRS	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 183	Duty to tell Registrar of Titles of ending/amendment of agreement	DIS; MRS PO	
s 184F(1)	Power to decide to amend or end an agreement at any time after an application for review of the failure of Council to make a decision	DIS; MRS	
s 184F(2)	Duty not to amend or end the agreement or give notice of the decision after an application is made to VCAT for review of a failure to amend or end an agreement	DIS; MRS PO	
s 184F(3)	Duty to inform the principal registrar if the responsible authority decides to amend or end an agreement after an application is made for the review of its failure to end or amend the agreement	DIS; MRS PO	
s 184F(5)	Function of receiving advice from the principal registrar that the agreement may be amended or ended in accordance with Council's decision	DIS; MRS PO	
s 184G(2)	Duty to comply with a direction of the Tribunal	DIS; MRS PO	

PLANNING AND ENVIRONMENT ACT 1987

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 184G(3)	Duty to give notice as directed by the Tribunal	DIS; MRS PO	
s 185B(1)	Duty to comply with a request from the Minister to provide the name, address, email address or telephone number of any person to whom the Minister is required to give notice	DIS; MRS PO	
s 198(1)	Function to receive application for planning certificate	DIS; MRS PO	
s 199(1)	Duty to give planning certificate to applicant	DIS; MRS PO	
s 201(1)	Function of receiving application for declaration of underlying zoning	DIS; MRS	
s 201(3)	Duty to make declaration	DIS; MRS	

PLANNING AND ENVIRONMENT ACT 1987			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
-	Power to decide, in relation to any planning scheme or permit, that a specified thing has or has not been done to the satisfaction of Council	DIS; MRS PO	
	Power, in relation to any planning scheme or permit, to consent or refuse to consent to any matter which requires the consent or approval of Council	DIS; MRS PO	
	Power to approve any plan or any amendment to a plan or other document in accordance with a provision of a planning scheme or condition in a permit	DIS; MRS PO	
-	Power to give written authorisation in accordance with a provision of a planning scheme	DIS; MRS PO	
s 201UAB(1)	Function of providing the Victoria Planning Authority with information relating to any land within municipal district	DIS; MRS PO	
s 201UAB(2)	Duty to provide the Victoria Planning Authority with information requested under s 201UAB(1) as soon as possible	DIS; MRS PO	

RESIDENTIAL TENANCIES ACT 1997

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 518F	Power to issue notice to caravan park regarding emergency management plan if determined that the plan does not comply with the requirements	DCCS; DIS; MAF; MO	
s 522(1)	Power to give a compliance notice to a person	DCCS; DIS; MAF; MO	
s 525(2)	Power to authorise an officer to exercise powers in s 526 (either generally or in a particular case)	DCCS; DIS; MAF; MO	
s 525(4)	Duty to issue identity card to authorised officers	CEO	
s 526(5)	Duty to keep record of entry by authorised officer under s 526	DCCS; DIS; MAF; MO	

RESIDENTIAL TENANCIES ACT 1997

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 526A(3)	Function of receiving report of inspection	DCCS; DIS; MAF; MO	
s 527	Power to authorise a person to institute proceedings (either generally or in a particular case)	DCCS; DIS; MAF; MO	

ROAD MANAGEMENT ACT 2004			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 11(1)	Power to declare a road by publishing a notice in the Government Gazette	DIS	Obtain consent in circumstances specified in s 11(2)
s 11(8)	Power to name a road or change the name of a road by publishing notice in Government Gazette	CEO	
s 11(9)(b)	Duty to advise Registrar	DIS	
s 11(10)	Duty to inform Secretary to Department of Environment, Land, Water and Planning of declaration etc.	DIS	Subject to s 11(10A)
s 11(10A)	Duty to inform Secretary to Department of Environment, Land, Water and Planning or nominated person	DIS	Where Council is the coordinating road authority
s 12(2)	Power to discontinue road or part of a road	DIS	Where Council is the coordinating road authority
s 12(4)	Duty to publish, and provide copy, notice of proposed discontinuance	DIS	Power of coordinating road authority where it is the discontinuing body Unless s 12(11) applies
s 12(5)	Duty to consider written submissions received within 28 days of notice	DIS	Duty of coordinating road authority where it is the discontinuing body Unless s 12(11) applies
s 12(6)	Function of hearing a person in support of their written submission	DIS	Function of coordinating road authority where it is the discontinuing body Unless s 12(11) applies

ROAD MANAGEMENT ACT 2004			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 12(7)	Duty to fix day, time and place of meeting under s 12(6) and to give notice	DIS	Duty of coordinating road authority where it is the discontinuing body Unless s 12(11) applies
s 12(10)	Duty to notify of decision made	DIS	Duty of coordinating road authority where it is the discontinuing body Does not apply where an exemption is specified by the regulations or given by the Minister
s 13(1)	Power to fix a boundary of a road by publishing notice in Government Gazette	DIS	Power of coordinating road authority and obtain consent under s 13(3) and s 13(4) as appropriate
s 14(4)	Function of receiving notice from the Head, Transport for Victoria	DIS	
s 14(7)	Power to appeal against decision of the Head, Transport for Victoria	CEO; DIS	
s 15(1)	Power to enter into arrangement with another road authority, utility or a provider of public transport to transfer a road management function of the road authority to the other road authority, utility or provider of public transport	DIS MWO	
s 15(1A)	Power to enter into arrangement with a utility to transfer a road management function of the utility to the road authority	DIS MWO	
s 15(2)	Duty to include details of arrangement in public roads register	DIS MWO	

ROAD MANAGEMENT ACT 2004			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 16(7)	Power to enter into an arrangement under s 15	DIS	
s 16(8)	Duty to enter details of determination in public roads register	DIS	
s 17(2)	Duty to register public road in public roads register	DIS MWO	Where Council is the coordinating road authority
s 17(3)	Power to decide that a road is reasonably required for general public use	DIS	Where Council is the coordinating road authority
s 17(3)	Duty to register a road reasonably required for general public use in public roads register	DIS	Where Council is the coordinating road authority
s 17(4)	Power to decide that a road is no longer reasonably required for general public use	DIS MWO	Where Council is the coordinating road authority
s 17(4)	Duty to remove road no longer reasonably required for general public use from public roads register	DIS MWO	Where Council is the coordinating road authority
s 18(1)	Power to designate ancillary area	DIS	Where Council is the coordinating road authority, and obtain consent in circumstances specified in s 18(2)
s 18(3)	Duty to record designation in public roads register	DIS MWO	Where Council is the coordinating road authority
s 19(1)	Duty to keep register of public roads in respect of which it is the coordinating road authority	DIS MWO	

ROAD MANAGEMENT ACT 2004			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 19(4)	Duty to specify details of discontinuance in public roads register	DIS MWO	
s 19(5)	Duty to ensure public roads register is available for public inspection	DIS MWO	
s 21	Function of replying to request for information or advice	DIS MWO	Obtain consent in circumstances specified in s 11(2)
s 22(2)	Function of commenting on proposed direction	DIS	
s 22(4)	Duty to publish a copy or summary of any direction made under s 22 by the Minister in its annual report	DIS	
s 22(5)	Duty to give effect to a direction under s 22	DIS	
s 40(1)	Duty to inspect, maintain and repair a public road	DIS MWO	
s 40(5)	Power to inspect, maintain and repair a road which is not a public road	DIS MWO	
s 41(1)	Power to determine the standard of construction, inspection, maintenance and repair	DIS; MWO	
s 42(1)	Power to declare a public road as a controlled access road	DIS MWO	Power of coordinating road authority and sch 2 also applies

ROAD MANAGEMENT ACT 2004			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 42(2)	Power to amend or revoke declaration by notice published in Government Gazette	DIS	Power of coordinating road authority and sch 2 also applies
s 42A(3)	Duty to consult with Head, Transport for Victoria and Minister for Local Government before road is specified	DIS	Where Council is the coordinating road authority If road is a municipal road or part thereof
s 42A(4)	Power to approve Minister's decision to specify a road as a specified freight road	DIS	Where Council is the coordinating road authority If road is a municipal road or part thereof and where road is to be specified a freight road
s 48EA	Duty to notify the owner or occupier of land and provider of public transport on which rail infrastructure or rolling stock is located (and any relevant provider of public transport)	DIS	Where Council is the responsible road authority, infrastructure manager or works manager
s 48M(3)	Function of consulting with the relevant authority for purposes of developing guidelines under s 48M	DIS	
s 49	Power to develop and publish a road management plan	DIS; CAM MWO	Must be adopted by Council prior to publication.
s 51	Power to determine standards by incorporating the standards in a road management plan	DIS; CAM MWO	

ROAD MANAGEMENT ACT 2004

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 53(2)	Power to cause notice to be published in Government Gazette of amendment etc of document in road management plan	DIS	
s 54(2)	Duty to give notice of proposal to make a road management plan	DIS; CAM; MWO	
s 54(5)	Duty to conduct a review of road management plan at prescribed intervals	DIS; CAM MWO	
s 54(6)	Power to amend road management plan	DIS; CAM; MWO	Must be adopted by Council prior to publication.
s 54(7)	Duty to incorporate the amendments into the road management plan	DIS; CAM; MWO	
s 55(1)	Duty to cause notice of road management plan to be published in Government Gazette and newspaper	DIS; CAM; MWO	

ROAD MANAGEMENT ACT 2004

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 63(1)	Power to consent to conduct of works on road	DIS; MWO	Where Council is the coordinating road authority
s 63(2)(e)	Power to conduct or to authorise the conduct of works in, on, under or over a road in an emergency	DIS; MWO	Where Council is the infrastructure manager
s 64(1)	Duty to comply with cl 13 of sch 7	DIS; MWO	Where Council is the infrastructure manager or works manager
s 66(1)	Power to consent to structure etc	DIS	Where Council is the coordinating road authority
s 67(2)	Function of receiving the name & address of the person responsible for distributing the sign or bill	DIS	Where Council is the coordinating road authority
s 67(3)	Power to request information	DIS	Where Council is the coordinating road authority
s 68(2)	Power to request information	DIS	Where Council is the coordinating road authority
s 71(3)	Power to appoint an authorised officer	CEO	
s 72	Duty to issue an identity card to each authorised officer	CEO	
s 85	Function of receiving report from authorised officer	CEO; DCCS; DIS	

ROAD MANAGEMENT ACT 2004			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 86	Duty to keep register re s 85 matters	DCCS; DIS	
s 87(1)	Function of receiving complaints	DCCS; DIS; MGHS	
s 87(2)	Duty to investigate complaint and provide report	DCCS; DIS; MGHS	
s 96	Power to authorise a person for the purpose of instituting legal proceedings	CEO DIS	
s 112(2)	Power to recover damages in court	CEO	
s 116	Power to cause or carry out inspection	DIS	
s 119(2)	Function of consulting with the Head, Transport for Victoria	DIS	
s 120(1)	Power to exercise road management functions on an arterial road (with the consent of the Head, Transport for Victoria)	DIS	
s 120(2)	Duty to seek consent of the Head, Transport for Victoria to exercise road management functions before exercising power in s 120(1)	DIS	

ROAD MANAGEMENT ACT 2004			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
s 121(1)	Power to enter into an agreement in respect of works	DIS	
s 122(1)	Power to charge and recover fees	DIS	
s 123(1)	Power to charge for any service	DIS	
sch 2 cl 2(1)	Power to make a decision in respect of controlled access roads	DIS	
sch 2 cl 3(1)	Duty to make policy about controlled access roads	DIS	
sch 2 cl 3(2)	Power to amend, revoke or substitute policy about controlled access roads	DIS	
sch 2 cl 4	Function of receiving details of proposal from the Head, Transport for Victoria	DIS	
sch 2 cl 5	Duty to publish notice of declaration	DIS	
sch 7 cl 7(1)	Duty to give notice to relevant coordinating road authority of proposed installation of non-road infrastructure or related works on a road reserve	DIS; MO ; MWO	Where Council is the infrastructure manager or works manager
sch 7 cl 8(1)	Duty to give notice to any other infrastructure manager or works manager responsible for any non-road infrastructure in the area, that could be affected by any proposed installation of infrastructure or related works on a road or road reserve of any road	DIS; MO ; MWO	Where Council is the infrastructure manager or works manager

ROAD MANAGEMENT ACT 2004			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
sch 7 cl 9(1)	Duty to comply with request for information from a coordinating road authority, an infrastructure manager or a works manager responsible for existing or proposed infrastructure in relation to the location of any non-road infrastructure and technical advice or assistance in conduct of works	DIS; MWO	Where Council is the infrastructure manager or works manager responsible for non-road infrastructure
sch 7 cl 9(2)	Duty to give information to another infrastructure manager or works manager where becomes aware any infrastructure or works are not in the location shown on records, appear to be in an unsafe condition or appear to need maintenance	DIS; MWO	Where Council is the infrastructure manager or works manager
sch 7 cl 10(2)	Where Sch 7 cl 10(1) applies, duty to, where possible, conduct appropriate consultation with persons likely to be significantly affected	DIS; MWO	Where Council is the infrastructure manager or works manager
sch 7 cl 12(2)	Power to direct infrastructure manager or works manager to conduct reinstatement works	DIS; MWO	Where Council is the coordinating road authority
sch 7 cl 12(3)	Power to take measures to ensure reinstatement works are completed	DIS; MWO	Where Council is the coordinating road authority
sch 7 cl 12(4)	Duty to ensure that works are conducted by an appropriately qualified person	DIS; MWO	Where Council is the coordinating road authority
sch 7 cl 12(5)	Power to recover costs	DIS	Where Council is the coordinating road authority

ROAD MANAGEMENT ACT 2004			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
sch 7 cl 13(1)	Duty to notify relevant coordinating road authority within 7 days that works have been completed, subject to sch 7 cl 13(2)	DIS	Where Council is the works manager
sch 7 cl 13(2)	Power to vary notice period	DIS	Where Council is the coordinating road authority
sch 7 cl 13(3)	Duty to ensure works manager has complied with obligation to give notice under sch 7 cl 13(1)	DIS	Where Council is the infrastructure manager
sch 7 cl 16(1)	Power to consent to proposed works	DIS	Where Council is the coordinating road authority
sch 7 cl 16(4)	Duty to consult	DIS	Where Council is the coordinating road authority, responsible authority or infrastructure manager
sch 7 cl 16(5)	Power to consent to proposed works	DIS	Where Council is the coordinating road authority
sch 7 cl 16(6)	Power to set reasonable conditions on consent	DIS	Where Council is the coordinating road authority
sch 7 cl 16(8)	Power to include consents and conditions	DIS	Where Council is the coordinating road authority
sch 7 cl 17(2)	Power to refuse to give consent and duty to give reasons for refusal	DIS	Where Council is the coordinating road authority
sch 7 cl 18(1)	Power to enter into an agreement	DIS	Where Council is the coordinating road authority

ROAD MANAGEMENT ACT 2004			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
sch 7 cl 19(1)	Power to give notice requiring rectification of works	DIS	Where Council is the coordinating road authority
sch 7 cl 19(2) & (3)	Power to conduct the rectification works or engage a person to conduct the rectification works and power to recover costs incurred	DIS	Where Council is the coordinating road authority
sch 7 cl 20(1)	Power to require removal, relocation, replacement or upgrade of existing non-road infrastructure	DIS	Where Council is the coordinating road authority
sch 7A cl 2	Power to cause street lights to be installed on roads	DIS MWO	Power of responsible road authority where it is the coordinating road authority or responsible road authority in respect of the road
sch 7A cl 3(1)(d)	Duty to pay installation and operation costs of street lighting - where road is not an arterial road	DIS; MWO	Where Council is the responsible road authority
sch 7A cl 3(1)(e)	Duty to pay installation and operation costs of street lighting – where road is a service road on an arterial road and adjacent areas	DIS; MWO	Where Council is the responsible road authority
sch 7A cl (3)(1)(f)	Duty to pay installation and percentage of operation costs of street lighting – for arterial roads in accordance with cls 3(2) and 4	DIS; MWO	Duty of Council as responsible road authority that installed the light (re: installation costs) and where Council is relevant municipal council (re: operating costs)

CEMETERIES AND CREMATORIA REGULATIONS 2015

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
r 24	Duty to ensure that cemetery complies with depth of burial requirements	DCCS; MFCS; CSRO; CSTL	
r 25	Duty to ensure that the cemetery complies with the requirements for interment in concrete-lined graves	DCCS; MFCS; CSRO; CSTL	
r 27	Power to inspect any coffin, container or other receptacle if satisfied of the matters in paragraphs (a) and (b)	DCCS; MFCS;	
r 28(1)	Power to remove any fittings on any coffin, container or other receptacle if the fittings may impede the cremation process or damage the cremator	DCCS; MFCS;	
r 28(2)	Duty to ensure any fittings removed of are disposed in an appropriate manner	DCCS; MFCS;	
r 29	Power to dispose of any metal substance or non-human substance recovered from a cremator	DCCS; MFCS;	

CEMETERIES AND CREMATORIA REGULATIONS 2015

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
r 30(2)	Power to release cremated human remains to certain persons	DCCS; MFCS	Subject to any order of a court
r 31(1)	Duty to make cremated human remains available for collection within 2 working days after the cremation	DCCS; MFCS; CSRO; CSTL	
r 31(2)	Duty to hold cremated human remains for at least 12 months from the date of cremation	DCCS; MFCS;	
r 31(3)	Power to dispose of cremated human remains if no person gives a direction within 12 months of the date of cremation	DCCS; MFCS; CSRO; CSTL	
r 31(4)	Duty to take reasonable steps notify relevant people of intention to dispose of remains at expiry of 12 month period	DCCS; MFCS; CSRO; CSTL	
r 32	Duty to ensure a mausoleum is constructed in accordance with paragraphs (a)-(d)	DCCS; MFCS	
r 33(1)	Duty to ensure that remains are interred in a coffin, container or receptacle in accordance with paragraphs (a)-(c)	DCCS; MFCS; CSRO; CSTL	

CEMETERIES AND CREMATORIA REGULATIONS 2015

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
r 33(2)	Duty to ensure that remains are interred in accordance with paragraphs (a)-(b)	DCCS; MFCS; CSRO; CSTL	
r 34	Duty to ensure that a crypt space in a mausoleum is sealed in accordance with paragraphs (a)-(b)	DCCS; MFCS; CSRO; CSTL	
r 36	Duty to provide statement that alternative vendors or supplier of monuments exist	DCCS; MFCS; CSRO; CSTL	
r 40	Power to approve a person to play sport within a public cemetery	DCCS; MFCS	
r 41(1)	Power to approve fishing and bathing within a public cemetery	DCCS; MFCS	
r 42(1)	Power to approve hunting within a public cemetery	DCCS; MFCS	
r 43	Power to approve camping within a public cemetery	DCCS; MFCS	

CEMETERIES AND CREMATORIA REGULATIONS 2015

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
r 45(1)	Power to approve the removal of plants within a public cemetery	DCCS; MFCS	
r 46	Power to approve certain activities under the Regulations if satisfied of regulation (1)(a)-(c)	DCCS; MFCS	
r 47(3)	Power to approve the use of fire in a public cemetery	DCCS; MFCS	
r 48(2)	Power to approve a person to drive, ride or use a vehicle on any surface other than a road, track or parking area	DCCS; MFCS	
Note: sch 2 contains Model Rules – only applicable if the cemetery trust has not made its own cemetery trust rules			
sch 2 cl 4	Power to approve the carrying out of an activity referred to in rules 8, 16, 17 and 18 of sch 2	DCCS; MFCS	See note above regarding model rules
sch 2 cl 5(1)	Duty to display the hours during which pedestrian access is available to the cemetery	DCCS; MFCS; CSRO;	See note above regarding model rules

CEMETERIES AND CREMATORIA REGULATIONS 2015

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
sch 2 cl 5(2)	Duty to notify the Secretary of, (a) the hours during which pedestrian access is available to the cemetery; and (b) any changes to those hours	DCCS; MFCS; CSRO; CSTL	See note above regarding model rules
sch 2 cl 6(1)	Power to give directions regarding the manner in which a funeral is to be conducted	DCCS; MFCS	See note above regarding model rules
sch 2 cl 7(1)	Power to give directions regarding the dressing of places of interment and memorials	DCCS; MFCS	See note above regarding model rules
sch 2 cl 8	Power to approve certain mementos on a memorial	DCCS; MFCS	See note above regarding model rules
sch 2 cl 11(1)	Power to remove objects from a memorial or place of interment	DCCS; MFCS	See note above regarding model rules
sch 2 cl 11(2)	Duty to ensure objects removed under sub rule (1) are disposed of in an appropriate manner	DCCS; MFCS; CSRO; CSTL	See note above regarding model rules

CEMETERIES AND CREMATORIA REGULATIONS 2015

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
sch 2 cl 12	Power to inspect any work being carried out on memorials, places of interment and buildings for ceremonies	DCCS; MFCS	See note above regarding model rules
sch 2 cl 14	Power to approve an animal to enter into or remain in a cemetery	DCCS; MFCS; CSRO; CSTL	See note above regarding model rules
sch 2 cl 16(1)	Power to approve construction and building within a cemetery	DCCS; MFCS	See note above regarding model rules
sch 2 cl 17(1)	Power to approve action to disturb or demolish property of the cemetery trust	DCCS; MFCS	See note above regarding model rules
sch 2 cl 18(1)	Power to approve digging or planting within a cemetery	DCCS; MFCS; CSRO	See note above regarding model rules

PLANNING AND ENVIRONMENT REGULATIONS 2015

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS AND LIMITATIONS
r 6	Function of receiving notice, under s 19(1)(c) of the Act, from a planning authority of its preparation of an amendment to a planning scheme	DIS	Where Council is not the planning authority and the amendment affects land within its municipal district; or Where the amendment will amend the planning scheme to designate Council as an acquiring authority.
r 21	Power of responsible authority to require a permit applicant to verify information (by statutory declaration or other written confirmation satisfactory to the responsible authority) in an application for a permit or to amend a permit or any information provided under s 54 of the Act	DIS; MRS	
r 25(a)	Duty to make copy of matter considered under s 60(1A)(g) in accordance with the public availability requirements	DIS; MRS PO	Where Council is the responsible authority
r 25(b)	Function of receiving a copy of any document considered under s 60(1A)(g) by the responsible authority and duty to make the document available in accordance with the public availability requirements	DIS; MRS PO	Where Council is not the responsible authority but the relevant land is within Council's municipal district
r 42	Function of receiving notice under s 96C(1)(c) of the Act from a planning authority of its preparation of a combined application for an amendment to a planning scheme and notice of a permit application	DIS	Where Council is not the planning authority and the amendment affects land within Council's municipal district; or Where the amendment will amend the planning scheme to designate Council as an acquiring authority.

PLANNING AND ENVIRONMENT (FEES) REGULATIONS 2016			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS AND LIMITATIONS
r 19	Power to waive or rebate a fee relating to an amendment of a planning scheme	DIS	
r 20	Power to waive or rebate a fee other than a fee relating to an amendment to a planning scheme	DIS	
r 21	Duty to record matters taken into account and which formed the basis of a decision to waive or rebate a fee under r19 or 20	DIS	

RESIDENTIAL TENANCIES (CARAVAN PARKS AND MOVABLE DWELLINGS REGISTRATION AND STANDARDS) REGULATIONS 2020

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
r 7	Power to enter into a written agreement with a caravan park owner	DIS	
r 10	Function of receiving application for registration	DCCS; DIS; EHO	
r 11	Function of receiving application for renewal of registration	DCCS; DIS; EHO	
r 12(1)	Duty to grant the registration if satisfied that the caravan park complies with these regulations	DCCS; DIS; EHO	
r 12(1)	Power to refuse to renew the registration if not satisfied that the caravan park complies with these regulations	DCCS; DIS; EHO	
r 12(2)	Duty to renew the registration if satisfied that the caravan park complies with these regulations	DCCS; DIS; EHO	

RESIDENTIAL TENANCIES (CARAVAN PARKS AND MOVABLE DWELLINGS REGISTRATION AND STANDARDS) REGULATIONS 2020

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
r 12(2)	Power to refuse to renew the registration if not satisfied that the caravan park complies with these regulations	DCCS; DIS; EHO	
r 12(3)	Duty to have regard to matters in determining an application for registration or an application for renewal of registration	DCCS; DIS; EHO	
r 12(4) & (5)	Duty to issue certificate of registration	DCCS; DIS; EHO	
r 14(1)	Function of receiving notice of transfer of ownership	DCCS; DIS; EHO	
r 14(3)	Power to determine where notice of transfer is displayed	DCCS; DIS; EHO	
r 15(1)	Duty to transfer registration to new caravan park owner	DCCS; DIS; EHO	

RESIDENTIAL TENANCIES (CARAVAN PARKS AND MOVABLE DWELLINGS REGISTRATION AND STANDARDS) REGULATIONS 2020

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
r 15(2)	Duty to issue a certificate of transfer of registration	DCCS; DIS; EHO	
r 15(3)	Power to determine where certificate of transfer of registration is displayed	DCCS; DIS; EHO	
r 16(1)	Power to determine the fee to accompany applications for registration or applications for renewal of registration	DCCS; DIS; EHO	
r 17	Duty to keep register of caravan parks	DCCS; DIS; MAF EHO	
r 18(4)	Power to determine where the emergency contact person's details are displayed	DCCS; DIS; MAF EHO	
r 18(6)	Power to determine where certain information is displayed	DCCS; DIS;	

RESIDENTIAL TENANCIES (CARAVAN PARKS AND MOVABLE DWELLINGS REGISTRATION AND STANDARDS) REGULATIONS 2020			
Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
		EHO	
r 22(1)	Duty to notify a caravan park owner of the relevant emergency services agencies for the caravan park, on the request of the caravan park owner	DCCS; DIS; EHO	
r 22(2)	Duty to consult with relevant emergency services agencies	DCCS; DIS	
r 23	Power to determine places in which caravan park owner must display a copy of emergency procedures	DCCS; DIS; EHO	
r 24	Power to determine places in which caravan park owner must display copy of public emergency warnings	DCCS; DIS; EHO	
r 25(3)	Duty to consult with relevant floodplain management authority	DIS	
r 26	Duty to have regard to any report of the relevant fire authority	DIS	
r 28(c)	Power to approve system for the collection, removal and disposal of sewage and waste water from a movable dwelling	DIS; EHO	
r 40	Function of receiving notice of proposed installation of unregistrable movable dwelling or rigid annexe	DIS MRS	

RESIDENTIAL TENANCIES (CARAVAN PARKS AND MOVABLE DWELLINGS REGISTRATION AND STANDARDS) REGULATIONS 2020

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
		EHO	
r 40(b)	Power to require notice of proposal to install unregistrable movable dwelling or rigid annexe	DIS MRS EHO	
r 41(4)	Function of receiving installation certificate	DIS MRS EHO	
r 43	Power to approve use of a non-habitable structure as a dwelling or part of a dwelling	DIS EHO	
Sch 3 cl 4(3)	Power to approve the removal of wheels and axles from unregistrable movable dwelling	DIS EHO	

ROAD MANAGEMENT (GENERAL) REGULATIONS 2016

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
r 8(1)	Duty to conduct reviews of road management plan	DIS; CAM; MWO	
r 9(2)	Duty to produce written report of review of road management plan and make report available	DIS; CAM;	
r 9(3)	Duty to give notice where road management review is completed and no amendments will be made (or no amendments for which notice is required)	DIS; CAM;	Where Council is the coordinating road authority
r 10	Duty to give notice of amendment which relates to standard of construction, inspection, maintenance or repair under s 41 of the Act	DIS; CAM;	
r 13(1)	Duty to publish notice of amendments to road management plan	DIS; CAM;	Where Council is the coordinating road authority
r 13(3)	Duty to record on road management plan the substance and date of effect of amendment	DIS; CAM;	

ROAD MANAGEMENT (GENERAL) REGULATIONS 2016

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
r 16(3)	Power to issue permit	DIS CAM DE	Where Council is the coordinating road authority
r 18(1)	Power to give written consent re damage to road	DIS CAM	Where Council is the coordinating road authority
r 23(2)	Power to make submission to Tribunal	DIS	Where Council is the coordinating road authority
r 23(4)	Power to charge a fee for application under s 66(1) Road Management Act	DIS CAM DE	Where Council is the coordinating road authority
r 25(1)	Power to remove objects, refuse, rubbish or other material deposited or left on road	DIS; MAF MWO	Where Council is the responsible road authority
r 25(2)	Power to sell or dispose of things removed from road or part of road (after first complying with regulation 25(3))	DIS; DCCS; MAF	Where Council is the responsible road authority
r 25(5)	Power to recover in the Magistrates' Court, expenses from person responsible	DIS	

ROAD MANAGEMENT (WORKS AND INFRASTRUCTURE) REGULATIONS 2015

Column 1	Column 2	Column 3	Column 4
PROVISION	THING DELEGATED	DELEGATE	CONDITIONS & LIMITATIONS
r 15	Power to exempt a person from requirement under cl 13(1) of sch 7 of the Act to give notice as to the completion of those works	DIS	Where Council is the coordinating road authority and where consent given under s 63(1) of the Act
r 22(2)	Power to waive whole or part of fee in certain circumstances	DIS	Where Council is the coordinating road authority

POLICY



C008 CEO Employment and Remuneration Policy

1 Purpose

The purpose of this policy is to:

- outline the way in which Council will manage the recruitment and appointment of its Chief Executive Officer;
- provide consistency for contract content, performance monitoring and requirements for annual review;
- apply the principles of good governance, transparency and fairness in all matters relating to the employment, management and remuneration of the Chief Executive Officer; and
- meet legislative requirements under the *Local Government Act 2020*.

2 Scope

This policy applies Councillors and candidates or incumbents of the Chief Executive Officer position.

3 Definitions

Act	means <i>Local Government Act 2020</i>
CEO	means Chief Executive Officer
Council	means Hindmarsh Shire Council
Councillors	means the individuals holding the office of a Councillor of Hindmarsh Shire Council
Council Officer	means the Chief Executive Officer and staff of Council appointed by the Chief Executive Officer.

4 Responsibility

4.1 Council

Under the Act, Council is responsible for:

- developing, adopting and keeping in force the CEO Employment and Remuneration Policy;
- establishing a CEO Employment and Remuneration Committee and appointing members to the Committee in accordance with this Policy

- undertaking the recruitment and appointment of CEO when a vacancy occurs in the office of CEO;
- appointing an Acting CEO when there is a vacancy in the office of the CEO, including a temporary vacancy (where the vacancy is longer than 28 consecutive days); and
- adopting, overseeing and monitoring the implementation of this policy.

4.2 CEO Employment and Remuneration Committee

Independent committee members will be responsible for:

- Attending committee meetings
- Undertaking the responsibilities of the Committee as set out in this Policy and the Act, including:
 - developing and recommending performance criteria and undertaking the annual review of the CEO
 - identifying and recommending appropriate development opportunities for the CEO
 - making recommendations on the CEO's total remuneration package and remuneration reviews
 - ensuring the Committee adheres to statutory obligations and to Council's policies and procedures, including those comprising equity and fairness principles.

4.3 CEO

The CEO is responsible for:

- Attending committee meetings as required
- Participating in regular performance reviews
- Providing relevant information to the Committee in a timely manner
- Advising Councillors in instances where an Acting CEO is to be appointed under delegation during the temporary absence of the CEO, in accordance with approved delegations.

4.4 Director Corporate and Community Services

The Director Corporate and Community Services is responsible for:

- Providing advice on the interpretation and application of this policy; and
- Obtaining formal advice if requested.

4.5 Manager Governance and Human Services

The Manager Governance and Human Services is responsible for:

- Providing advice on the implementation and application of this policy; and
- Obtaining formal advice if requested.

5 CEO Employment and Remuneration Committee

To implement the requirements of the Act, Council will:

- establish a CEO Employment and Remuneration Committee (Committee) to oversee the implementation of this Policy;
- appoint an independent member to the Committee to assist with and advise on the implementation of this Policy;
- determine the rate of remuneration of the independent member of the Committee;
- consider reports and recommendations from the Committee;
- review this Policy within six months of a Council election.

5.1 Purpose

The Committee is established to:

- make recommendations to Council on the appointment of a permanent CEO;
- monitor and make recommendations to Council on performance matters relating to the CEO; and
- perform any other functions or responsibilities prescribed by the Act or specified by Council.

The Committee is an Advisory Committee to Council and has no delegated decision making power or authority.

5.2 Composition

The CEO Employment and Remuneration Committee will be comprised of:

- All Councillors; and
- One independent member appointed by Council in accordance with this Policy.

The independent member of the committee is a full member of the committee and is expected and required to be an active participant in Committee meetings.

The independent member will act as Chairperson of the Committee.

5.3 Committee functions

5.3.1 Recruitment

The Committee will establish and oversee the process to enable Council to appoint a CEO, including, but not limited to:

- advising on the selection of a recruitment consultant or agency to facilitate and advise on the recruitment process;
- acting as the selection panel for the recruitment process;

In conjunction with the recruitment consultant or agency, the Committee will:

- prepare a shortlist of applicants for interview;
- develop details of the interview process – questions, required presentations etc.

The Committee will:

- provide a recommendation to Council on the appointment of the CEO including remuneration and terms and conditions of appointment;
- provide a recommendation on any extension of the appointment of the CEO under section 44(3) of the Act, when required.

5.3.2 Annual Review

The CEO's performance will be reviewed by the Committee on an annual basis. During the annual review the Committee will:

- formally review the CEO's performance objectives against the CEO's performance in the previous 12 months;
- undertake a review of the total remuneration package;
- develop, in conjunction with the CEO, relevant and measurable performance objectives for the following 12 months and make a recommendation to Council on those performance objectives;
- make recommendations on development opportunities for the CEO;
- make recommendations to Council on matters relating to the CEO's performance and performance review, as appropriate.

5.3.3 CEO Contract Expiry

The Committee must make a recommendation to Council between three and six months prior to the expiry of the CEO contract and with regard to current legislation to:

- reappoint the CEO; or
- advertise for recruitment of the role of CEO.

5.4 Independent Member

In accordance with the Act, Council is required to obtain independent professional advice. The independent member will be appointed following an advertisement calling for expressions of interest from a suitably skilled and qualified person.

The independent member is to be engaged on a contractual basis and cannot be an employee of Council.

5.4.1 Independent Member Remuneration

The independent member will be paid at a rate to be determined by Council from time to time.

5.4.2 Key competencies

The independent member must possess and demonstrate the following key competencies:

- strong leadership and communication skills;
- skills, expertise and experience in one or more of the following;
 - human resource management (including executive recruitment, remuneration and talent management);
 - senior business or government experience;
 - experience with and understanding of employment law;

- demonstrated ability in performance management and development of executive level staff;
- understanding of good governance and previous experience working with Governance bodies or Boards;
- ability to work effectively with Councillors and CEO;
- knowledge and understanding of the issues affecting Hindmarsh Shire.

5.4.3 Appointment process

Council will call for expressions of interest for independent committee membership where there is a vacancy in the position of independent member (or impending vacancy);

The Committee will prepare a shortlist, conduct interviews and make a recommendation to Council on the appointment of the independent member. The list of all expressions of interest considered by the Committee will be provided to Council.

5.4.4 Appointment timeframe

The independent member may be appointed for up to four (4) years, or the term of the Council, whichever is the lesser period.

The independent member may be re-appointed by Council, subject to Council's procurement requirements.

5.5 Committee procedures

5.5.1 Meeting schedule

The Committee will meet as required, but at a minimum every six months. The Committee will provide a report to Council following each meeting.

Special Meetings may be called by the Committee Chairperson or the Mayor providing two weeks' notice of and the reasons for the Special Meeting.

5.5.2 Chairperson responsibilities

It is the Chairperson's responsibility to:

- chair Committee meetings in accordance with Council's Governance Rules;
- prepare the agenda in consultation with the mayor; and
- prepare and distribute the minutes to Committee members.

The Chairperson will liaise with the Manager Governance & Human Services (or nominee) when necessary.

5.5.3 Meeting procedure

Committee meetings should follow Council's Governance Rules.

Where required, the CEO will attend Committee Meetings, but will not have voting rights.

5.5.4 Minutes of the meeting

- The Independent Chairperson will be responsible for taking minutes of Committee Meetings.
- The Agenda shall be distributed at least five working days in advance of the meeting to all Committee members and a call for Agenda items will be made prior to issuing the Agenda.
- A copy of the minutes shall be distributed to all Committee members within five working days of the meeting, as far as practicable.
- A report to Council prepared by the Independent Chairperson will be tabled after every meeting of the Committee as a confidential report to Council.
- Reports to Council should reflect a consensus view. Where consensus cannot be reached, the report should clearly outline the differing points of view i.e., the majority and minority points.

5.5.5 Legal advice

The Committee may request legal advice or other specific expert advice, as required and necessary.

Any formal advice requested by the Committee will be made available to all Committee members and, where relevant and appropriate, will be provided to Council through meeting minutes.

Any advice requested by the Committee will be arranged by the chair through the Manager Governance & Human Services to ensure compliance with Council's policies and procedures.

6 Contractual requirements

The CEO contract will at minimum outline:

- the responsibilities of the position;
- remuneration;
- term of appointment (up to five years)
- legislative obligations including those continuing after appointment; and
- processes for managing unsatisfactory performance or early termination.

7 Regular Consultation

In addition to the Annual Review, the CEO and Councillors shall meet every three months to conduct an informal review of performance objectives and discuss any pertinent matters as determined by either Council or the CEO.

8 References

Related documents	Legislation
CEO's Employment Contract	<i>Local Government Act 2020</i>
CEO Position Description	<i>Fair Work Act 2009</i>
Council's Procurement Policy	<i>National Employment Standards</i>
	<i>Equal Opportunity Act 2010</i>

Hindmarsh Shire Council Governance Rules	<i>Gender Equality Act 2020</i> <i>Protecting Integrity – Leading the Way. Managing the employment cycle of a council CEO – Local Government Inspectorate (Victoria) (February 2019)</i> <i>Government Policy on Executive Remuneration in Public Entities</i> <i>Victorian Independent Remuneration Tribunal and Improving Parliamentary Standards Act 2019</i>
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9 Document Control

CEO Employment and Remuneration Policy		Policy Category	COUNCIL
Version Number	1.0	Policy Status	DRAFT
Approved/Adopted By	COUNCIL	Date approved/adopted	31 May 2023
Responsible Officer	MGHS	Review date	3 years after approval or within 6 months of a Council election
Version history	Date	Version	Description
	November 2021	1.0	Initial Policy
	May 2023	1.1	Policy Review

POLICY



C020 Advisory Committee Policy

1 Purpose

The purpose of this policy is to:

- support Council in ensuring good governance and appropriate management of Advisory Committees;
- outline how Advisory Committees can be formed,
- outline how such Committees are to be governed; and
- specify the limits of an Advisory Committees power.

This policy ensure that the management of Advisory Committees is in accordance with the Act and meets the Act's principles of:

- achieving the best outcomes for the municipal community;
- engaging the municipal community in strategic planning and strategic decision making; and
- ensuring public transparency.

2 Scope

This policy applies to all members of Advisory Committees, Councillors and employees responsible for Advisory Committees.

3 Definitions

Council	means Hindmarsh Shire Council
Act	means <i>Local Government Act 2020</i>
Advisory Committee	means an Advisory Committee established under this policy
Advisory Committee Meeting	means a Meeting of an Advisory Committee
Advisory Committee Report	means a formal report produced by an Advisory Committee
Committee Meeting	means a meeting of an Advisory Committee
Quorum	means the absolute majority of members present at the meeting and must include at least one Councillor.
External Independent Members	means people who are not Councillors or Council Officers.

4 Responsibility

Director Corporate and Community Services

5 Formation of an Advisory Committee

The formation of, appointment to, and administration of an Advisory Committees is subject to input from the Council.

Advisory Committees must be formed (and rescinded) by Council Resolution, and the Terms of Reference (ToR), and membership must also be endorsed by Council.

6 Powers and Functions of an Advisory Committee

Advisory Committees do not have any executive, financial or delegated powers. Advisory Committees do not have the power to sub-delegate or form sub-committees without the approval of Council. Advisory Committees may establish Working Groups for specific events or projects.

The role of an Advisory Committee generally is to report to Council and provide appropriate advice and recommendations on matters relevant to its Terms of Reference in order to facilitate decision making by Council in relation to the discharge of its responsibilities.

An Advisory Committee can offer specialised advice and assistance with research on issues of interest to Council and the Community.

7 Advisory Committee Governance

Advisory Committees are subject to a Terms of Reference (ToR). Council has a standard ToR which may be amended slightly, but must be adopted at the time the Committee is formed and/or reviewed at the commencement of each Council Term.

Advisory Committees are assigned to the responsible member of Council's Management Team, to ensure that the ToR are met, to provide guidance on administrative matters and to ensure that the Committee functions appropriately and in accordance with Council's Governance Rules. The Manager is not a voting member of the Advisory Committee and has no delegated authority.

The staff liaison for an advisory committee will always be a member of Council's Senior Management Team, unless otherwise authorised by the CEO in writing. The CEO may also elect to assign more than one responsible staff member to an Advisory Committee.

Council must review, within the period of 6 months after a general election, all Advisory Committees and Advisory Committee membership.

8 Advisory Committee Meeting Agendas and Minutes

The agendas and minutes of all Advisory Committee Meetings will be completed in the appropriate Corporate Template, as prescribed by the CEO and forwarded to Council in a timely manner.

9 Membership

All Advisory Committees must have a minimum of five members, comprising of:

- a minimum of one Councillor; and
- a minimum of four external independent members.

Advisory Committee memberships will be capped at eleven, being a minimum of one Councillors, and a minimum of four external independent members. Any Committees currently in existence that exceed this membership limit may continue to operate, but as members vacate the positions, they will not be replaced to allow the Committee to transition to the recommended membership.

Membership should be representative of the diverse communities within Hindmarsh Shire.

Any community member may become a member of an Advisory Committee if appointed by Council (or the CEO pursuant to the ToR), and any such member will have the same entitlement to participate as a Councillor. Weight will be given to ensuring diversity of membership and skills on an Advisory Committee.

All Advisory Committees will have an elected Chairperson, and will where necessary, have the casting vote.

Where appropriate, representatives of peak external bodies may be required by members of Advisory Committees, and where this is applicable, it will be written into the Terms of Reference.

Advisory Committee meetings will be included in the Councillor's Calendar. Any Councillor is able to attend a meeting of any Advisory Committee. Only Councillors who are appointed to the Advisory Committee may vote.

If the Councillor appointed to an Advisory Committee is unable to attend a meeting, they can nominate another Councillor to attend the meeting on their behalf.

9.1 Appointment of Councillors to Advisory Committees

Councillors will be appointed to Advisory Committees during the Annual Statutory meeting in November of each year.

9.2 Appointment of Community Representatives to Advisory Committees

Community representatives will be appointed to Council through an expression of interest and selection process.

- Expressions of interest will be sought by public notice in the local media and on Hindmarsh Shire Council's website in March of every second year.
- Council will appoint the committee members to the Advisory Committee during the May Council Meeting following the advertising period.
- Every effort should be made to ensure a representative cross section of people from the relevant area are elected to serve on the Advisory Committee.
- Appointment to Advisory Committees will be based on the membership criteria outline in the relevant Terms of Reference.
- Appointment to an Advisory Committee will be for a period of two (2) years, commencing at the start of a financial year.
- A member of an Advisory Committee is able to resign at any time.

9.3 Executive

The executive composition of the Committee is to be elected at the first Advisory Committee Meeting in a financial year.

The executive composition of the Committee will be:

- Chairperson;
- Secretary; and
- up to 2 other office bearers as determined by the Advisory Committee.

9.3.1 Role of the Chairperson

The role of the Chairperson is to:

- chair all meetings;
- be the spokesperson of the Advisory Committee (a spokesperson for specific projects may be delegated by the chairperson to another committee member);
- moderate committee meetings; and
- promote behaviour in line with clause 13 – Code of Conduct.

10 Advisory committee meetings

The following rules apply to Advisory Committee:

- A quorum of the Committee will be half the members plus one and must include at least one Councillor.
- Voting will be by a majority of votes by a show of hands.
- Only Committee members in attendance are entitled to vote.
- The chairperson shall have the casting vote in the event of an equality of votes.

11 Conflict of Interest

Any member who has a conflict of interest in their role as a member of an Advisory Committee must:

- Disclose the conflict of interest before the item is raised during the meeting; and
- Exclude themselves from the discussion in relation to that matter, including any vote on the matter and any action in relation to the matter.

Where a determination regarding a matter has been made in accordance with the prior points and relates to an ongoing activity, event or program, the member who has declared a material conflict of interest may still participate in activities related to the matter, provided that they:

- Act honestly;
- Exercise reasonable care and diligence;
- Not make improper use of their position;
- Not make improper use of information acquired as a result of their position.

The conflict should be noted in the minutes and the member may be required to develop a Conflict of Interest Management Plan in consultation with the Council Officer and/or Advisory Committee Chairperson.

An exemption can be made where the interest is held in common with other residents, ratepayers, business owners, or any other large class of persons and the Committee Member's interest doesn't exceed the interest generally held by those people. If a conflict of interest is declared and this exemption is invoked by the member making the declaration, the Chairperson shall determine whether the 'interests in common' exemption applies.

12 Confidential Information

Committee members must not disclose information that they know, or should reasonably have known is confidential information.

Committee members have an obligation to not disclose any materials or information that is not publically available unless approved by the Chairperson or a representative of Hindmarsh Shire Council.

Committee members should be mindful of their obligations under the *Privacy and Data Protection Act 2014* regarding the use or disclosure of information.

13 Code of Conduct

Advisory committee members must:

- act with integrity;
- impartially exercise their responsibilities in the interests of the local community;
- not improperly seek to confer an advantage or disadvantage on any person including themselves;
- treat all persons with respect and have due regard to the opinions, beliefs, rights and responsibilities of Councillors, Advisory Committee members and officers;
- commit to providing a safe, inclusive and productive environment free from discrimination, harassment and bullying by not engaging in behaviour that is intimidating or that may constitute discrimination, harassment or bullying;
- take reasonable care of their own health and safety and that of others; and
- commit to regular attendance at meetings.

Any breaches of this code of conduct may result in termination of membership.

14 Media

Contact with the media by Advisory Committee members will be conducted in accordance with Hindmarsh Shire Council's Media Policy.

Committee members should defer media enquiries to the Chairperson in the first instance and should take care not to respond as a representative of the Advisory Committee.

15 Financial Management

Any financial management relating to an Advisory Committee will be completed by Hindmarsh Shire Council Officers.

15.1 Spending

Any decisions to spend money must be approved at the Advisory Committee meeting and noted in the minutes, with expenditure over the Advisory Committee's delegation requiring approval by Council. An Advisory Committee member is not guaranteed reimbursement if they spend their own money for a committee event or activity without having approval from the Committee or Council (if applicable).

15.2 Receiving Money

Whenever an Advisory Committee receives money, a receipt should be issued. A carbon duplicate book should be used to record all receipts, unless an electronic receipt can be issued.

There may be times when issuing a receipt is not feasible. For example if the Advisory Committee is organising a fundraising event or calculating entry fees, it would be impractical to write out a receipt for every person. Two members of the Committee should be responsible for collecting and counting the money. All money is to be taken to a Council customer service centre for receipting accompanied by signed supporting documentation. A receipt will be provided by Council upon receipt of the money to the customer service centre.

Any money collected should be handed over to Hindmarsh Shire Council as soon as reasonably practicable, but within 5 business days.

16 Fundraising

Where an Advisory Committee wishes to fundraise for an event or a town improvement activity they should submit the request to info@hindmarsh.vic.gov.au. The request will then be considered by the CEO.

Fundraising should be undertaken for a specific purpose so that people know where their money is going and what it is going to be used for.

Any fundraising undertaken by an Advisory Committee can only be undertaken where it has been approved by the CEO.

17 Sponsorship

Where an Advisory Committee wishes to enter into a sponsorship agreement with a business for an event they are running, it should be referred to the staff liaison so that a sponsorship agreement can be drafted.

18 Non-financial Donations

Non-financial donations should not be accepted by an Advisory without approval from the CEO. All non-financial donations are to be reported to the CEO as soon as possible after receipt.

19 Volunteering

All volunteers of an Advisory Committee should be registered with Council as a volunteer. Members of Advisory Committees are taken to be Council volunteers and must adhere to all requirements of Council volunteers as contained within Council policies.

20 Events

Where an Advisory Committee wishes to run an event, an Intention to Hold and Event Form needs to be completed 6 weeks before the event and submitted to Council for approval. This helps Council to determine whether any permits or requirements are needed such as:

- **Local Laws** – road closures, traffic management, permission for public land access, alcohol consumption
- **Planning** – permits to hold an event on private land
- **Environmental Health** – temporary food permits
- **Building** – permits for temporary structures such as fencing, stages and marquees
- **Maintenance** – servicing of public toilets
- **Risk and Safety** – event management plan, risk assessment

21 Incident Reporting

If an incident occurs at an Advisory Committee event, activity or meeting, the delegated Council Officer should be advised immediately so that the incident can be logged.

22 Monitoring and Review

Council is committed to monitoring the overall level of success of the policy's implementation. A periodic review of this policy will be undertaken to ensure its relevance aligns with the public interest. As a minimum, a review will occur in line with a new Council Term.

However, a Council can amend its policy at any time. The formation of any future Advisory Committees will require a decision of Council; therefore it is likely that this policy would be reviewed and adopted by Council at this time.

23 References

Related documents	Legislation
<i>Governance Rules</i>	<i>Local Government Act 2020</i>
<i>Public Transparency Policy</i>	<i>Charter of Human Rights and Responsibilities Act 2006</i>
<i>Community Engagement Policy</i>	<i>Equal Opportunity Act 2010</i>
<i>Advisory Committee Standard Terms of Reference</i>	<i>Freedom of Information Act 1982</i>
	<i>Local Government Act 1989</i>
	<i>Local Government Act 2020</i>
	<i>Privacy and Data Protection Act 2014</i>

24 Document Control

Advisory Committees Policy		Policy Category	COUNCIL
Version Number	1.2	Policy Status	DRAFT
Approved/Adopted By	COUNCIL	Date Adopted	-

Responsible Officer	DCCS	Review date	3 YEARS FROM APPROVAL
Version history	Date	Version	Description
	September 2021	1.0	Initial policy
	November 2022	1.1	Updated Conflict of Interest provisions
	May 2023	1.2	Updated to align with Terms of Reference

DRAFT

POLICY

C009 Live Streaming and Publishing Recordings of Council Meetings



1 Purpose

This Policy outlines the requirements associated with the live streaming and publishing recordings of Ordinary and Special Council Meetings via Council's website and/or social media pages. This policy will inform members of the public and Councillors on Council's processes, the potential benefits and any mitigation action to manage potential risks.

Council is committed to improving accessibility and community participation in Council meetings. It is anticipated that the live streaming of meetings and making recordings available on Council's website and/or social media pages will provide greater flexibility and convenient access for residents, as it will allow the public to watch the meeting in real time via the internet without the need to attend in person or at a time that suits them.

This gives the community greater access to Council decisions and debate, and eliminates geographic and time barriers which may prevent the public from attending meetings in person.

2 Scope

This policy will apply to all public Ordinary Meetings and Special Meetings conducted by the Hindmarsh Shire Council (Council) to be live streamed or recorded and published in accordance with this policy. The policy does not extend to any meetings closed to the public in accordance with Section 66(2) of the *Local Government Act (Vic) 2020*.

3 Definitions

Chairperson	has the same meaning as defined in the Hindmarsh Shire Council Governance Rules and Election Period Policy
Council	means Hindmarsh Shire Council
NMCC	means Nhill Memorial Community Centre
Council Meetings	means Ordinary Meetings and Special Meetings that aren't Confidential Council Meetings.
Confidential Council Meeting	means a Meeting of the Council which has been closed to members of the public under Section 66(2) of the <i>Local Government Act 2020</i>

Defamation	means words which convey a meaning (or “imputation”) about a person that lowers the person’s reputation in the eyes of reasonable members of the community, or causes the person to be ridiculed, avoided or despised by members of the general public.
Exceptional Circumstances	means circumstances where there is: <ul style="list-style-type: none">• a risk or threat to public health and safety;• a threat of violence or aggression by one or more people attending the Council Meeting against others;• unlawful conduct by an attendee of the Council Meeting;• significant disruption of the Council Meeting by the conduct of an attendee; and/or• a reputational risk to the Council.
Inappropriate Information	means information which amounts to, or could be perceived to amount to: <ul style="list-style-type: none">• Defamation;• infringement of copyright;• breach of privacy;• offensive behaviour including discrimination;• vilification or inciting hatred;• confidential or privileged; or• misleading.
Ordinary Meeting	means an Ordinary Meeting of the Council, as defined in Hindmarsh Shire Council Governance Rules
Privacy Breach	means unauthorised access to, or collection, use or disclosure of personal information in accordance with the <i>Privacy and Data Protection Act (Vic) 2014</i> .
Special Meeting	means a Special Meeting of the Council, as defined in Hindmarsh Shire Council Governance Rules.

4 Meetings to be Recorded and Streamed Live

Council Meetings may be video recorded and streamed live on Council’s website and/or social media pages.

Council commits to live streaming, recording and publishing all Council Meetings where it is practically possible to do so, including that the required equipment and internet connections are available to enable live streaming and recording and publishing.

Confidential Council meetings, or confidential sections of Council Meetings, will not be live streamed or recorded.

5 Councillors, Council officer, public responsible for their own comments

Council Meetings are an open forum of statements, questions and answers. Occasionally, comments could be made which may contain Inappropriate Information.

By live streaming and publishing recordings of Council Meetings, the potential audience is significantly increased, which also increases the likelihood and/or impact of Inappropriate Information.

Councillors, Council officers and members of the public are solely responsible for their own comments made during Council Meetings which are recorded or live streamed. The comments they make, particularly if they contain Inappropriate Information, could give rise to a cause of action by an aggrieved individual who suffers loss and damage because of those comments, and there is a risk that such cause of action could be prosecuted through a court of appropriate jurisdiction.

6 Liability of the organisation arising from publication

While Councillors, Council officers and members of the public attending a Council Meeting may be held personally liable for any loss or damage suffered by a person arising from the comments they make, the act of publishing such material on Council's Facebook Page may also cause the organisation to be liable for any loss and damage suffered by a person because of the published comments.

In recognition of the potential legal risk to Council, the Chief Executive Officer may determine in their sole discretion not to upload or publish a recording of a Council Meeting if it is reasonably believed it may contain Inappropriate Information or where Exceptional Circumstances arise. The Chief Executive Officer may also determine whether it is appropriate to publish a redacted version of the recording where Inappropriate Information is removed. In this case, the full and complete recording shall still be retained as a public record.

7 Public attending a Council Meeting may have their image recorded and/or streamed

Council will use its best endeavours to ensure images of people in the public gallery of a Council Meeting are not live streamed or recorded and published.

People in the public gallery of a Council Meeting which will be recorded and/or live streamed must be given appropriate notice of the possibility of their image being recorded and published and/or streamed.

Council expressly provides no assurances to people present in the public gallery of a Council Meeting that their image won't be recorded and published or live streamed.

8 No reliance on recording or live stream of Council Meeting

The opinions or statements made during the course of the Council meeting are those of the particular individuals, and not necessarily the opinions or statements of Council. Council does not necessarily endorse or support the views, opinions, standards, or information contained in the live streaming or published recordings of the Council Meetings.

Council does not accept any responsibility for the comments made or information provided during Council Meetings and does not warrant nor represent that the material or statements made during

the live streamed or published recordings of Council Meetings are complete, reliable, accurate or free from error. Council does not accept any responsibility or liability for any loss, damage, cost or expense that a person might incur as a result of using or relying on information or statements provided in the live streaming or recording of Council Meetings.

9 Notice to the Public

When a Council Meeting is to be recorded and/or live streamed:

- prominent signage informing all attendees of the Council Meeting that the meeting will be recorded and streamed live in the terms set out in Appendix 1 must be provided;
- at the commencement of each Council Meeting to be recorded and/or streamed live, the Chairperson shall provide a statement to notify the attendees of the Council Meeting that the meeting will be recorded and/or streamed live in the terms set out in Appendix 2;
- notice will also be given in the Council Meeting agenda as set out in Appendix 3;
- where the recording is to be published on Council's website and/or social media pages, notice will also be given on Council's Facebook Page in the terms set out in Appendix 4; and
- a copy of this policy will be referenced in all online notices given under this clause.

The Chief Executive Officer, in their discretion, may from time to time update the terms of the notices to be given under this clause without updating this policy.

10 Technical Disclaimer

There may be situations where, due to technical difficulties, a live stream of the Council Meeting may not be available. Whilst all reasonable efforts will be made to ensure that live streaming and Council's Facebook Page are functioning, Council takes no responsibility for and cannot be held liable for, the live streaming or Council's website and/or social media pages being temporarily unavailable due to technical issues beyond Council's direct control.

Technical issues may include, but are not limited to:

- the availability of the internet connection;
- device failure or malfunction;
- unavailability of social media platforms; and/or
- power outages.

Where live streaming is the subject of a disruption, Council will notify the public on both its social media channels and Council's website (if those channels have not been functionally compromised).

11 Termination of live streaming in Exceptional Circumstances

The Chairperson and/or the Chief Executive Officer has/have the discretion and authority at any time to direct the termination or interruption of live streaming of a Council Meeting where:

- there are Exceptional Circumstances; or
- the content of the Council Meeting is considered by the Chair to contain Inappropriate Information.

12 Access and Storage of Files

All recordings will be published to Council's website and/or social media pages within five business days of the meeting. Following a Council Meeting, members of the public will be able to access and watch the recording on Council's website and/or social media pages.

In recognition of the legal and reputational risk to Council, the Chief Executive Officer may determine in their sole discretion not to publish a recording if it is reasonably believed to contain Inappropriate Information or where Exceptional Circumstances are apparent from the recording.

All recordings of Council meetings will be maintained in accordance with Council's Records Management Policy and related procedures.

13 References

Related documents	Legislation
Councillor Code of Conduct Employee Code of Conduct Hindmarsh Shire Council Governance Rules and Election Period Policy	<i>Local Government Act (Vic) 1989</i> <i>Local Government Act (Vic) 2020</i> <i>Privacy and Data Protection Act (Vic) 2014</i> <i>Freedom of Information Act (Vic) 1983</i> <i>Copyright Act (Cth) 1968</i> <i>Defamation Act (Vic) 2005 (or its equivalent)</i>

14 Document Control

C009 Live Streaming and Publishing Recordings of Council Meetings Policy		Policy Category	Council
Version Number	1.0	Policy Status	DRAFT
Approved/Adopted By	Council	Approved/Adopted on:	-
Responsible Officer	CEO	Review Date	-
Version History	Date	Version	Description
	May 2023	1.0	New Policy

Appendix 1 Public Gallery Notice

The following will be posted in a prominent location at a Council Meeting that is to be recorded or streamed live:

“This meeting is being publicly broadcast on the internet and the recording will be published on Council’s Facebook Page www.facebook.com/hindmarshshirecouncil after the meeting.

As a visitor in the public gallery, you may be filmed. By remaining in the public gallery, you consent to being filmed and for the recording of you to be made publicly available by the Council.

Details about the broadcasting and recording of Council meetings is available in the Council’s Live Streaming and Recording of Council Meetings Policy which is available in hard copy at this meeting and electronically on the Council’s website.

If you have any questions about the Council’s policy, please speak with one of Council’s staff”.

Appendix 2 Meeting Chair’s Statement

The following statement is to be read by the Chair at the commencement of each Council Meeting which is to be recorded and/or streamed live where there are members of the public in the gallery:

“This meeting is being broadcast on the internet and the recording of the meeting will be published on Council’s Facebook Page.

As a visitor in the public gallery, you may be filmed. By remaining in the public gallery, you consent to being filmed and for the recording of you to be made publicly available by the Council.

A copy of the Council’s Live Streaming and Recording of Council Meetings Policy is available at the back of this room and on the Council’s website. Please speak with one of our staff members if you have any questions.”

Appendix 3 Agenda Notice

The following statement is to be included at the start of the agenda of any Council Meeting which is to be recorded and/or streamed live:

“This meeting will be streamed live on the internet and the recording of this meeting will be published on Council’s website and/or social media pages after the meeting.

Members of the public attending this meeting may be filmed. By remaining in the public gallery once the meeting commences, members of the public give their consent to being filmed, and for the recording of them to be made publicly available and used by Council.

Information about the broadcasting and publishing recordings of Council meetings is available in the Council’s Live Streaming and Publishing Recordings of Council Meetings Policy is available on the Council’s website.”

Appendix 4 Website and/or Social Media Pages Disclaimer

The following will be published on all website and/or social media pages containing a recording of a Council Meeting:

“The opinions or statements made during the course of a Council meeting are those of the particular individuals, and not necessarily the opinions or statements of Council. Council does not necessarily endorse or support the views, opinions, standards, or information contained in the live streaming or recording of the Council meetings.

Council does not accept any responsibility for the comments made or information provided during Council Meetings and does not warrant nor represent that the material or statements made during Council meetings are complete, reliable or accurate. Council does not accept any responsibility or liability for any loss, damage, cost or expense that might be incurred howsoever arising as a result of or in connection with the use or reliance on information or statements made in the live streaming or published recordings of Council meetings.

Whilst Council will use its best endeavours to ensure the live streaming and Council’s website are functioning, technical issues may arise and Council cannot guarantee that the live stream will always be available, or that recordings of Council meetings will be complete.”

DRAFT

TERMS OF REFERENCE

Hindmarsh Pride Committee



1. INTRODUCTION

The Hindmarsh Pride Committee (**Committee**) will strengthen the voice of the LGBTIQ+ community by providing advice to ensure Council's broader policy issues and Council Plan and programs reflect the interests of the LGBTIQ+ community.

2. OBJECTIVES

The key objectives of the Committee are to:

- Provide a representative sample of independent and authentic voices of people from the LGBTIQ+ community, with an ability to advise on current and emerging issues and priorities;
- Provide feedback and advice to Council on broader policy issues;
- Promote and assist Council to celebrate LGBTIQ+ days of significance and host events within Hindmarsh Shire;
- Assist Council to promote the benefits of diversity and enhance understanding about the barriers to equality facing LGBTIQ+ communities; and
- Report to Council via the tabling of minutes at Council meetings after each meeting.

3. MEMBERSHIP

The Committee shall comprise representatives as follows:

- Hindmarsh Shire Council Mayor or delegate.
- Up to 10 volunteer committee members representing the LGBTIQ+ community, appointed by Council through an expression of interest, selection and endorsement process.

Representatives of relevant community organisations, peak bodies and service providers may be invited to attend Committee meetings to provide specific advice on an as-need basis, and do not contribute to the Committees quorum.

The quorum for the committee is attendance by at least 50% of independent members, and the Mayor or delegate.

Membership shall be for a 12-month period expiring on 31 October of each year, unless Council determines otherwise.

Council may terminate the appointment of any Committee member if:

- The member is found to be in breach of Council Policies and/or the *Local Government Act*; or

- A member's conduct, action or comments bring Hindmarsh Shire Council into disrepute.

4. METHOD OF APPOINTMENT

Interested members of the community are required to complete an expression of interest form demonstrating they have an understanding of and an interest in Hindmarsh Shire and its LGBTIQ+ community.

Expressions of interest will be called over a 3-week period in October each year. Advertisements will be placed in local newspapers and through Council's newsletters, website and Facebook page.

A selection panel consisting of the Chief Executive Officer or nominee, and two Council officers will be formed to consider the expressions of interest and make recommendations to the Council for appointment to the Committee.

5. SELECTION CRITERIA

Applications will be assessed against the following criteria:

- Live, work or study, or have a relevant connection with Hindmarsh Shire;
- Knowledge and understanding of the needs and issues relevant to the LGBTIQ+ community;
- Capacity to analyse information and provide advice on issues affecting the LGBTIQ+ community;
- Willingness and ability to assist with promotion and organisation of days of significance and events;
- Willingness and ability to engage in open and respectful discussions that add value to the Committee and liveability of the Hindmarsh LGBTIQ+ community; and
- Availability to attend 80% of meetings scheduled throughout the year.

Councillors and Staff members of Hindmarsh Shire are not eligible to apply for membership.

6. CHAIRPERSON & MINUTE SECRETARY

The position of Chairperson will be an independent member of the Committee elected at the first meeting after 31 October each year. In the event that the Chairperson is absent, the Mayor or delegate will assume the role of Chairperson for the meeting.

The Committee will nominate a person as minute secretary. This position may be shared or rotated amongst members of the Committee.

The Chairperson will liaise with the CEO or nominee in setting the agenda.

The Chairperson will guide the meeting according to the agenda and time available, facilitating respectful discussions, and acknowledging the value of the diverse views of members.

7. MEETINGS

Meetings may be held face-to-face, online or a combination of both. A call to the membership for agenda items will be issued two weeks prior to the meeting, and the agenda will be distributed at least one week prior to the meeting.

The Committee will meet four times per year. The location of these meetings will rotate between Nhill, Jeparit, Dimboola and Rainbow. An alternative time, day or location of the meeting can be arranged as agreed by the Committee.

8. REPORTING

The Committee will have no formal reporting requirements. Minutes of all Committee meetings will be provided to the CEO for inclusion in the Council agenda.

Recommendations and requests arising from meetings will be presented to Council for consideration.

9. AUTHORITY

The Committee is an advisory Committee and does not have executive powers or authority to implement actions in areas over which the CEO or Council has legislative responsibility.

The Committee does not have any management functions and cannot involve itself in management processes or procedures.

The Committee must comply with Council's volunteer policy requirements.

9. CODE OF CONDUCT

Members are required to act honestly and treat others with respect while exercising due diligence and reasonable care.

Members have equal opportunity to participate in Committee discussions and will support colleagues to raise issues or problems and have them dealt with in an honest and respectful manner.

9. VOLUNTEERS

Committee members (other than Councillors) are volunteers.

DOCUMENT CONTROL

Hindmarsh LGBTIQ+ Committee		Policy Category	Council
Version Number	1.1	Policy Status	-
Approved/Adopted By		Approved/Adopted on:	-
Responsible Officer	Chief Executive Officer		
Version History	Date	Version	Description
	08 August 2022	1.0	Creation of new Terms of Reference
	31 May 2023	1.1	Update to reflect group name change



Nhill Agricultural & Pastoral Inc.

PO Box 80, Nhill 3418

Ph: 0448 732 609

Email: nhillap.secretary@gmail.com

ABN: 42 998 787 292

30th April 2023

Re: Public Holiday request for the Nhill Annual Show - Thursday 19th October 2023

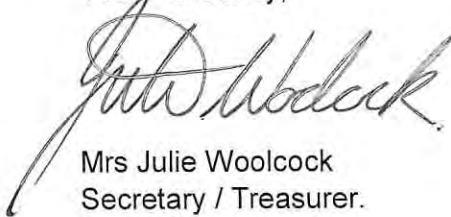
To: Hindmarsh Shire Council,

The Nhill A & P Society Inc. would like to make a request to the Hindmarsh Shire Council, to consider making the Melbourne Cup Day holiday for 2023, a public holiday for Nhill on Thursday 19th October 2023 to allow the community to participate in the annual Nhill A & P Society Inc. Show.

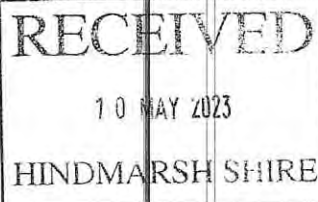
In the past we have been granted this request and for that we would like to thank you.

We would like to thank you for your consideration of this year request and look forward to your response.

Yours sincerely,



Mrs Julie Woolcock
Secretary / Treasurer.





RAINBOW A & P SOCIETY INC.

PO Box 85, Rainbow 3424
Telephone 03 53951465 - email rainbowshow3424@gmail.com
President Fred Saul - Secretary – Norelle Eckermann

Hindmarsh Shire Council

Dear Councillors

The committee of the Rainbow A & P Society Inc are requesting to have Rainbow Show Day as our Public Holiday instead of Melbourne Cup Day.

Our Show Day this year is Tuesday 17th October 2023. These are really important gathering days for our communities and we are looking forward to another great Show Day .

Norelle Eckermann
Secretary



Hindmarsh Heritage Assessment Study

Final report

Prepared for Hindmarsh Shire

© David Helms Heritage Planning 2023

info@davidhelmsheritage.com

Prepared by: DAVID HELMS, HERITAGE CONSULTANT

Final – April 2023

*Cover image: Pella Church School, Lowan Shire War Memorial,
Hindmarsh Hotel*

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1 Introduction

1.1 Purpose

The Hindmarsh Heritage Assessment Study (the Study) has been prepared for Hindmarsh Shire Council. The purpose of the Study is to:

- ▶ Assess the heritage significance of 36 local heritage overlay (HO) places,
- ▶ Review existing planning controls, and
- ▶ Prepare heritage policy and guiding documents to enhance the heritage protection framework in the Hindmarsh Planning Scheme. This includes concise heritage guidelines to encourage the conservation of heritage places and precincts.

A specific task is to ensure all local HO places have a statement of significance (SoS) in the appropriate Planning Practice Note 1: *Applying the heritage overlay* (PPN1) format with supporting documentation to ensure all local place values are identified and documented, and to provide a sound basis for future management.

A related task is to identify potential heritage places, which should be assessed in future. During the Study, seven potential heritage places were added to the list to be assessed. This included one place already within the HO, but forming part of the HO extent of another heritage place, and six places currently outside of the HO.

This final report provides an overview of the methodology used and records the decisions, findings and statutory recommendations arising from the Study. The new heritage citations form attachments to this final report.

The Study was prepared with the support of the Victorian Government through the Regional Planning Partnerships, Regional Planning Hub Program within the Department of Transport and Planning (DTP, formerly the Department of Environment, Land, Water & Planning, DELWP).

Background

There is no record of a heritage study being conducted for Hindmarsh Shire and the local HO places lack heritage significance analysis and supporting information.

Currently, there are 40 heritage places included in the HO of the Hindmarsh Planning Scheme. Of these:

- Four (HO7 Ebenezer Mission, HO13 Jeparit Soldiers' and Citizens' Memorial Hall, HO43 Stasinowsky's Lime Kiln and HO6 Yurnga Homestead) are included on the Victorian Heritage Register.
- Two are precincts (HO34 Dimboola Town Centre and HO33 Rainbow Town Centre).
- A total of 34 are individual places, and most are situated within the main towns of Dimboola (9), Jeparit (12), Nhill (7) and Rainbow (4). The remaining two places are in Kenmare (HO23 Kenmare Primary School) and Rainbow/Pella (HO8 Lutheran Centre).
- One place, the Anglican Church at Jeparit (HO12) has been demolished.

The places on the Victorian Heritage Register do not require further assessment.

Of the 36 locally significant places the HO34 Dimboola Town Centre and HO33 Rainbow Town Centre, and the HO18 Hopetoun House Hotel in Jeparit have draft citations and these required review and updating. The remaining 33 individual local HO places required full assessment including the preparation of a citation and SoS in the appropriate PPN1 format.

1.2 Acknowledgements

The assistance of the Project Control Group (see section 2.2) and the following people, who assisted with access to heritage places and provided information about them is gratefully acknowledged:

- ▶ Malcolm Drendel, St John's (Pella) Lutheran Church
- ▶ Ruth Gosling and Dianne Wall, Rainbow Archives and Historical Society Inc.
- ▶ Evelyn King and Dale Conway, Dimboola & District Historical Society
- ▶ Sally Klinge, Principal, Dimboola Memorial Secondary College
- ▶ Campbell McKenzie, Jeparit Uniting Church
- ▶ Craige Proctor, Wimmera Mallee Pioneer Museum (and other sites in Jeparit and surrounding districts)
- ▶ Murray Robinson, Rainbow Baptist Church (former)
- ▶ Kay Scott, Colleen, and Dave Williams, Nhill & District Historical Society
- ▶ Pastor Carl Thiele and Wayne Werner, St John's Lutheran Church, Jeparit.

1.3 Study team

David Helms prepared this study. He was responsible for the review or assessment of all precincts and places including undertaking site inspections, historic research, comparative analysis and preparing the statutory recommendations.

Natica Schmeder assisted with the descriptions of Dimboola Memorial Secondary College, Nhill Post Office, and the Nhill Court House.

2 Approach and methodology

2.1 Introduction

This report has been prepared in accordance with the Australia ICOMOS *Charter for Place of Cultural Significance*, 2013 (the Burra Charter) and its guidelines using the Hercon criteria (refer Appendix B). All terminology is consistent with the Burra Charter.

The methodology and approach to this review and its recommendations was also guided by:

- ▶ PPN1,
- ▶ Comments made by relevant Planning Panel reports and, in particular, the Advisory Committee report for the *Review of Heritage Provisions in Planning Schemes* (the Advisory Committee Report), completed in August 2007, and the *Heritage Issues: Summaries from recent Panel reports*, June 2015 prepared by Planning Panels Victoria (the 2015 PPV Heritage Issues report), and
- ▶ Guidelines for using the Hercon criteria and significance thresholds prepared by Heritage Victoria.

2.2 Project plan and Project Control Group

The Study was guided by a project plan and overseen by a Project Control Group (PCG).

The project plan set out projected timelines, key outputs, PCG meeting schedule and the approach to stakeholder engagement, which identified key stakeholders, methods of engagement and proposed consultation material (see below).

The PCG comprised:

- ▶ David Helms, heritage consultant
- ▶ Janette Fritsch, Manager Development, Hindmarsh Shire Council
- ▶ Kelly Wynne, Senior Planner, Regional Planning Partnerships, DELWP/DTP
- ▶ Suzy Thomas, Manager, Regional Planning Partnerships, DELWP/DTP

2.3 Stakeholder engagement

The key stakeholders for the Study were the owners/managers of heritage places and local people or organisations with an interest in local history and heritage such as historical societies, and Council staff and Councillors.

Stakeholder engagement was undertaken in two stages:

Stage 1: initial notification

Stage 1 engagement included a letter to property owners and managers advising the project is underway. This letter included a fact sheet explaining the purpose of the Study and the intended outcomes and key steps in the process (See Appendix C).

The letter also invited owners/managers to share any information about the place including its history or the building.

Local historical societies or any other groups with an interest in heritage were also contacted to seek information about places.

As part of the initial notification Hindmarsh Council:

- ▶ Included information about the Study in one of Council's fortnightly electronic newsletters
- ▶ Sent information to members of the Town Advisory Committees.
- ▶ Briefed Council officers and Councillors about the Study.

Stage 2: consultation on draft citations and guidelines

Stage 2 engagement with key stakeholders was carried out following the completion of the draft heritage citations and heritage guidelines.

Each place owner/manager was provided with the following information and invited to provide feedback:

- ▶ The draft heritage citation.
- ▶ The draft heritage guidelines.
- ▶ Recommended changes to heritage overlay controls, where relevant.

2.3 Fieldwork

All the existing HO places and precincts were inspected and documented. Most of the inspections were external only of the places as viewed from the public realm. Internal inspections were carried out for buildings that had a public use such as churches, schools, and the former shire halls. See Appendix A for details.

For the town centre precincts, the purpose was to determine their spatial, visual, and thematic coherence having regard to the intactness and integrity of the building stock, and to review the heritage status (Significant, Contributory, Non-significant) of each property within them.

For individual places, the purpose was to identify the buildings and other features that contribute to the heritage significance of the place, and to assess the intactness and integrity of the place.

For Contributory places within precincts the 'integrity' rather than 'intactness' was a primary consideration: that is, while the Contributory places may not be completely 'intact' (that is, retaining all original fabric) any repairs or maintenance have been carried out using the same or similar materials, details, and finishes, thus ensuring that they are 'whole' (that is, have good integrity).

For individual heritage places, on the other hand, the 'intactness' of the building or feature was a primary consideration; however, comparative analysis could determine that a building/feature with lower 'intactness', but good 'integrity' is of local significance if, for example, it is rare.

The other purpose of the fieldwork was to identify potential new heritage places. This included places that had already been identified through historic research. The scope of the Study did not allow for comprehensive field surveys of the entire Shire and so the focus of fieldwork was upon places that had identified through research, as well as the main townships and settlements. In addition to the four main towns the following villages and districts were visited:

- ▶ Antwerp
- ▶ Boyeo
- ▶ Diapur

- ▶ Gerang Gerung
- ▶ Kenmare
- ▶ Kiata
- ▶ Lorquon
- ▶ Netherby
- ▶ Tarranyurk
- ▶ Yanac
- ▶ Winiam
- ▶ Woorak

2.4 Place assessment and documentation

Local significance

All places of local significance were assessed and documented in accordance with the Burra Charter, and PPN1 using the methodology in Appendix B. This has included:

- ▶ Historic research using selected primary (Public Records Office of Victoria files, land title information, newspaper, historic photos, and journal articles) and secondary (local histories and heritage studies) and other sources. Generally, a place history will document when the place was created, for what purpose, for and by whom (including the architect, if possible), and major changes in its physical form and/or use over time (As well as gathering information about current HO places, historic research was used to identify potential new heritage places).
- ▶ A description of the place, indicating the extent of the significant fabric, highlighting any features of note, intactness and integrity, and recording contributory features (for example, buildings, early and original fences, outbuildings, and trees) as well as those features that have no heritage significance (for example, recent outbuildings and extensions).
- ▶ Comparative analysis. The purpose of comparative analysis is to establish a benchmark to understand which places clearly meet the threshold for local significance. To facilitate comparative analysis assessment of the places was undertaken in two parts, each comprising a series of typological groups:
 - Part 1 included schools (4), railway stations (2), post offices (3), shire halls (2), court houses (2) and churches (6).
 - Part 2 included precincts (2), houses (2), commercial buildings (6), recreation (2), infrastructure (3) and one fire station.

Places were compared with other examples in the HO as well as with comparable places not in the HO, but of potential significance.

- ▶ Statement of significance (SoS). The new SoS have been prepared in accordance with PPN1:
 - The Hercon criteria have been used in the assessment of significance,
 - The SoS is in the 'What?' 'How?' and 'Why?' format with the reasons why a place is significant expressed in relation to the Hercon criteria.

The outcome was a draft heritage citation for each place. Each draft citation was:

- ▶ Reviewed by the PCG, and

- ▶ Provided to property owner/managers for review.

The draft citations were updated, as required, in response to feedback received and a final citation prepared.

Statements of significance suitable for inclusion as incorporated documents in the Hindmarsh Planning Scheme have been prepared for each place. In accordance with PPN1 the title is either the full address of the heritage place, or the name of the heritage place if there is no clear address. An example of the latter is the timber road bridge over the Wimmera River at Jeparit.

The heritage citations and statements of significance for places of local significance are stored in the Hermes database.

Potential heritage places

For places of potential significance, a basic Hermes record has been created, which includes name, address, heritage place category and type, known historical details, approximate construction date and at least one image if the site was visited.

2.5 Other tasks

A review of the Municipal Planning Strategy and Planning Policy Framework was undertaken to identify whether any changes are required to support the statutory implementation of the findings of the Study, and recommendations for future work.

The statutory recommendations in relation to the changes to, or proposed application of, the HO schedule and mapping follow the guidance set out in PPN1. Specifically:

- ▶ Where a specific HO schedule control currently applies (External paint, internal alteration, Tree controls, Solar Energy system, Outbuildings or fences, Prohibited uses), the need or justification for the control was reviewed having regard to the significance of the place and retained, amended or removed, as required.
- ▶ New specific HO schedule controls are recommended where this is justified by the significance of the place.
- ▶ The HO is usually applied to the whole of the property as defined by the title boundaries. However, in accordance with the PPN1 exceptions include large sites where the HO is applied only to the part of that site containing the significant buildings or features, and a small amount of land to form a curtilage in order to retain the setting of the heritage place, and manage development in proximity to it.
- ▶ Where possible, uncomplicated, or easily recognised boundaries (such as a fence line) have been defined to ensure there is no room for potential dispute in terms of the land affected by the HO. Boundaries should not cut through the middle of buildings or features. 'Ground truthing' during fieldwork and aerial photos have been used to establish proposed new HO boundaries.

Finally, the form and content of the heritage guidelines was based on comparable examples of similar guidelines including the *Guidelines for the assessment of Heritage Planning Applications* (Heritage Victoria, 2000) and having regard to the Burra Charter, especially the Burra Charter Practice Notes. They have been designed to complement proposed changes to the PPF, including the new heritage policy, and provide clear guidance for decision making in relation to the future management and development of heritage places.

3 Key findings

3.1 Existing HO places

Individual heritage places

Appendix A provides the findings for each existing HO place. In summary:

- ▶ One place, the Jeparit Anglican Church (HO12), has been demolished. The site in Sands Avenue, which is adjacent to St Paul's Lutheran Church, is vacant and therefore is no longer of heritage significance.
- ▶ The assessment of the other 33 individual places has confirmed that they satisfy the threshold of local significance to Hindmarsh Shire. Appendix I contains the citations and statements of significance for each place.
- ▶ For one place, HO36 John Shaw Neilson Cottage, the historic research identified a related heritage place, which is the memorial to John Shaw Neilson on the Western Highway southwest of Nhill established as part of the same project that relocated his family cottage to Nhill. The heritage citation therefore applies to both the cottage and the memorial, and it is recommended that HO36 be extended to include the memorial.
- ▶ All places require the name and address details to be updated.
- ▶ Several places require updates to, deletion of, or addition of specific HO schedule controls having regard to the significance of the place and PPN1 guidelines.
- ▶ As part of a recent state-wide amendment, new solar energy system controls have been added to the HO schedule and a default of 'Yes' has been applied to all places currently within the HO (that is, a permit would be required to install solar panels in a visible location). It is proposed to 'switch off' this control, unless the place has aesthetic significance, which could be impacted by the installation of solar panels.

Individual heritage citations (See Appendix I) have been prepared for the places of local significance, except for:

- ▶ Dimboola Post Office (HO3), which has been assessed as part of the Dimboola Town Centre precinct. As this place has the same HO schedule controls as the HO34 Dimboola Town Centre precinct there is no need for it to have an individual HO. HO3 may therefore be removed, and the place added to HO34.
- ▶ Five places, which have been assessed as part of a new Jeparit Town Centre Heritage Precinct:
 - HO12, Jeparit Pharmacy
 - HO15 Hindmarsh Hotel
 - HO16 Jeparit Cooperative Store
 - HO17 National Australia Bank
 - HO18 Hopetoun House Hotel

The five Jeparit places are situated adjacent to and opposite one another in Roy Street, and it is therefore logical to assess them as a small precinct. The assessment of this area has also identified potential future additions to the precinct (see section 3.3 Potential

heritage places). For now, however, while forming part of a precinct the places will retain their individual HO numbers.

The assessment of places within precincts in this way is consistent with contemporary heritage practice. The purpose is to avoid, wherever possible, owners or managers of heritage places having to consider more than one heritage citation to understand the significance of their property.

The review also found that several places have been incorrectly mapped:

- ▶ The extent of the HO is too large and includes additional properties or land that is not significant. This applies to:
 - HO8 St John's (Pella) Lutheran Church
 - HO22 Rainbow Primary School
 - HO25 St Paul's Anglican Church
 - HO28 Lowan Shire Hall (Former)
 - HO29 Nhill Court House
 - HO36 John Shaw Neilson Cottage
 - HO42 Jeparit Weir
- ▶ The HO has been applied (partly or wholly) to the wrong site:
 - HO5 Dimboola Shire Hall
 - HO21 Nhill Railway Station
 - HO30 Yetholm, 25 Nelson Street, Nhill
 - HO41 Jeparit Bridge.

For four places, the current HO does not include all the significant buildings or features:

- ▶ HO2 Dimboola Railway Station
- ▶ HO15 Hindmarsh Hotel
- ▶ HO37 Nhill A. & P. Society Showgrounds
- ▶ HO39 Dimboola Recreation Reserve.

Appendix D shows the proposed HO mapping changes to correct these errors and further explains the rationale for the changes.

Heritage precincts

The two heritage precincts, Dimboola Town Centre and Rainbow Town Centre satisfy the threshold of local significance to Hindmarsh Shire. Appendix I contains the heritage citations for each precinct.

Both precincts have a high degree of integrity and for this reason the retention of external paint controls is recommended. However, solar energy controls are not required as most buildings have parapets, which means that panels would be concealed.

The assessment has identified changes to the extent of each precinct to create a more cohesive and logical boundary in accordance with PPN1:

- ▶ To remove predominantly Non-contributory properties or parts of properties at the edge of the precinct.

- ▶ Ensure that precinct boundaries do not cut through the middle of buildings.

Appendix D shows the proposed HO mapping changes and further explains the proposed rationale for the changes.

Other issues

Two places – the Wimmera Mallee Pioneer Museum (WMPM) and the former Lowan Shire Hall now occupied by the Nhill & District Historical Society (NDHS) – have significant collections of machinery, furniture, objects, and ephemera, which contribute to the significance of these places.

Assessment of these collections is outside the scope of this Study. Fortunately, the WMPM recently commissioned a significance assessment of the collection, and this is being used to develop interpretive material and display of the collections.

The NDHS holds a significant local history collection, but there has been no assessment of it and there is no collections policy. This is leading to issues with storage and display of items. Also, there are some maintenance issues with the building, which if left unchecked could impact upon it and the collection. This is discussed further in section 4.4.

While assessment of the condition of buildings was outside the scope of the Study, the deteriorating condition of one building, the Nhill Railway Station, stood out. It is apparent this building has had significant conservation works in the past, however, it is now in need of urgent maintenance to repair roofs and guttering, replace rotting timber and repainting. The building should also be made secure (See images below).



3.2 Recommended HO places

The fieldwork and research identified five places of potential local significance that could be assessed as part of the Study. These were chosen as one is already in the HO (as

part of another place) and the others are on Crown land managed by Hindmarsh Shire or DELWP/DTP:

- ▶ Jeparit Memorial Avenue. This includes the two war memorials, Lone Pine, surrounding stone fence and associated land in Broadway.
- ▶ Jeparit Railway Bridge. This is the timber trestle bridge over the Wimmera River just to the northwest of Jeparit built in 1911-12 as part of the railway extension to Lorquon, Netherby and Yanac.
- ▶ Nhill Soldiers' Memorial Hall, 7 Clarence Street, Nhill. This building was constructed in 1920-21 as a memorial hall for returned World War I soldiers and is still used by the local branch of the Returned Services League. This is already included in the HO, as part of HO29, which applies to the Nhill Court House.
- ▶ Lowan Shire War Memorial, Victoria Street, Nhill. Unveiled in 1921, this was the World War I memorial for Lowan Shire. Plaques have been added for later conflicts.
- ▶ Nhill Band Rotunda, Victoria Street, Nhill. Opened in 1909, this served as the bandstand for the Nhill Brass Band and other local bands and orchestras for over 60 years.

Two more places were nominated by the Dimboola & District Historical Society (DDHS):

- ▶ Dimboola Banner Offices (Former), 27 Lochiel Street. Established in 1929 as the offices for the Dimboola Banner Newspaper. Now the Dimboola Printing Museum, which is managed by the DDHS.
- ▶ Dimboola Power House (Former), 72 Upper Regions Street. Established in 1916 with later additions, this provided power for Dimboola until it was connected to the statewide electricity grid in 1959. Now forms part of the Hindmarsh Shire Works Depot.

With the agreement of the PCG the scope of the Study was extended to include assessment of these seven places.

The assessment has confirmed that each place is of local heritage significance and justifies inclusion in the heritage overlay, as an individual place. Appendix A provides a summary of the specific recommendations for each place. Appendix J contains the heritage citations for these places.

3.3 Potential heritage places

The fieldwork, research and stakeholder engagement has identified over 200 places of potential heritage significance. These are listed in Appendix H.

As well as individual places there is a potential town centre precinct in Nhill (Victoria and Nelson streets), and potential extensions to the town centre precincts in Dimboola (additional buildings in Lochiel and Victoria streets) and Jeparit (additional buildings in Roy Street).

While the list in Appendix E is a good representation of the potential heritage places within the Shire, it is not a definitive list of all places. The Study scope did not allow fieldwork of every street and road in the Shire and so it is possible that some places remain unidentified.

This is especially true of rural homesteads because they are often set well back from the road and therefore not easily spotted during fieldwork. Research has also identified some homesteads mentioned in local histories that were not located due to a lack of time. For

example, several stone homesteads were built for German settlers in the Pella district. These were constructed by Johann Stasinowsky, a local settler and stonemason, who also built the Pella church complex. The locations of some, such as the Mackenzie homestead (see below), have been tentatively identified based on historic information and aerial photography, but others remain unidentified. Similarly, several homesteads at Nhill, identified in a 1912 publication have been included on the list, but the locations remain unknown.

In addition to rural homesteads, comprehensive surveys of the residential areas in each of the main towns (Dimboola, Jeparit, Nhill, Rainbow) to identify houses of potential significance are required. The current list includes a select range of examples in each town from different eras.



'The story of Pella', published in 1975, identifies this as 'Paul McKenzie's' home at Pella. Now the home of Dick and Una Konig'. It is believed to survive at 111 Pigick-Pella Road, Rainbow.

3.4 Review of the Municipal Planning Strategy and Planning Policy Framework

Municipal Planning Strategy

The Municipal Planning Strategy (MPS) of the Hindmarsh Planning Scheme currently includes the following references to heritage:

▶ 0.2.01 Context

Prior to European settlement, the Shire was occupied by the Wotjobaluk tribe, with the Wimmera River providing essential water, hunting grounds and trade routes in an otherwise arid landscape. By the 1870's European settlement was well established in the Shire. Agriculture expanded and diversified in the late 19th Century with initial activities focused on wheat and sheep production. Secondary industries developed, especially to serve agriculture and mining. After both world wars, government sponsored settlement schemes that enabled large numbers of farmers to establish themselves on the land.

▶ 02.03-5 Built environment and heritage

Hindmarsh Shire contains a number of places of historic and cultural significance that need to be protected and enhanced for their conservation and tourism potential.

A number of historic buildings line both Nelson and Victoria Streets in Nhill, including the post office and several large hotels. Dimboola also contains a number of places of heritage significance around the town centre including the Old Shire Hall and the Victoria Hotel.

Rainbow and Jeparit both have a quaint old-world charm and rural character, which is largely attributed to the number of sites of architectural or historic significance.

Council's strategic directions for built environment and heritage are to:

- Promote urban design and architecture that reflects the characteristics, aspirations and cultural identity of the community.*
- Protect those places in Hindmarsh Shire that are of historic and cultural significance.*
- Support development that is compatible with the integrity of places of special historic, natural and cultural heritage significance.*
- Promote the identification, protection and management of Aboriginal cultural heritage values.*

Planning Policy Framework

The Planning Policy Framework (PPF) of the Hindmarsh Planning Scheme currently includes the following references to heritage:

▶ **Clause 11.01-1L Settlement – Hindmarsh**

Conserve Rainbow's character, based on its places of heritage significance.

Key issues

The key issues with the current MPS and PPF are:

- ▶ There is no mention of heritage in Cl. 02.02, which sets out the Vision for Hindmarsh Shire.
- ▶ The strategic directions in Cl. 02.03-5 do not acknowledge that there is no comprehensive heritage study of the whole shire, and only a small number of heritage places and precincts are currently identified and protected. Reference is made only to heritage places in the four main towns.
- ▶ The one statement in Cl. 11.01-1L is specifically in relation to Rainbow only.
- ▶ There is no local policy in relation to Heritage conservation following Cl. 15.03-1S.

To provide appropriate strategic policy direction for the places of heritage significance assessed by this study minor changes to the MPS and PPF are required to:

- ▶ Include mention of heritage in the Vision for Hindmarsh Shire in Cl. 02.02.
- ▶ Amend Cl. 02.03-5 to identify the need for a heritage study of Hindmarsh Shire, include reference to heritage places outside of the four main towns and adjust other strategies accordingly.
- ▶ Replace the specific heritage strategy for Rainbow in Cl. 11.01-1L with a general strategy applying to all towns.
- ▶ Provide local heritage strategies, as required, following Cl.15.03-1S.

A further review of the MPS and PPF should be undertaken once a heritage study for the Shire is completed.

3.5 Stakeholder consultation

Each place owner/manager including DTP/DELWP (for places on Crown Land) and Victrack (for railway buildings) was provided with the following information and invited to provide feedback:

- ▶ The draft heritage citation.
- ▶ The draft heritage guidelines.
- ▶ Recommended changes to heritage overlay controls, where relevant.

Four submissions were received, and Table 3.1 provides details of the submissions and the changes made, where relevant.

While Victrack verbally advised Hindmarsh Shire Council that they had received the notification and intended to make a submission, none was received.

Table 3.1 – Stakeholder submissions

Property address	Heritage place	Submission	Response	Summary of changes
107 Lloyd St, Dimboola	HO34 Dimboola Town Centre	Address is not a heritage site and has little importance as value to heritage of Dimboola.	The site is identified as a Non-contributory property within HO34 Dimboola Town Centre. Removal from HO34 is not appropriate, as it is within an intact streetscape with Contributory buildings on adjoining sites and opposite.	No changes required.
27 Wimmera St, Dimboola	HO34 Dimboola Town Centre	Understands why the former shop is identified as a heritage place but does not agree with inclusion of the house on the property as Contributory place.	27 Wimmera St contains two buildings. An interwar shop, which is Contributory to the precinct, and a post-war house, which is not. Council's rates department have confirmed that the property is rated as one. Because of this, it is not possible to apply two different gradings. Instead, the citation will be	27 Wimmera Street will retain a Contributory grading. However, the HO34 Dimboola Town Centre statement of significance has been amended to specifically identify the interwar shop at 27 Wimmera Street as the contributory building, and the house as not significant.

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Property address	Heritage place	Submission	Response	Summary of changes
			amended to specify that, while the shop at 27 Wimmera St is Contributory the house is not significant.	
35-41 Sands Ave, Jeparit	HO11 St John's Lutheran Church	Happy with the content of the citation but identified some errors.	Noted.	The citation has been updated to correct the errors.
66 Ellerman St, Dimboola	HO38 Dimboola Memorial Secondary College	Thank you for sending this very comprehensive report. It will be a wonderful asset for our centenary celebration in 2024.	Noted.	No changes required.

4. Recommendations

4.1 Changes to the HO schedule and maps

The changes to the HO schedule and maps are summarised as follows:

- ▶ Update the HO schedule as shown in Appendix E by:
 - Deleting HO3, Dimboola Post Office and HO12, Anglican Church, Jeparit.
 - Updating the names and address of all other current local heritage places to ensure they are correct and consistent with the new heritage citations, inserting statements of significance in the Heritage Place column, and applying, updating, or deleting specific controls, as follows:
 - Applying internal controls specifically to the ceiling and marble plaque within the former Dimboola Shire Hall (HO5), and to painted wall decoration within the Jeparit Uniting Church (HO10) and St John's Lutheran Church, Jeparit (HO11).
 - Specifying that the internal and solar energy system controls at St John's (Pella) Lutheran Church (HO8) apply only to the church and former school.
 - Specifying that the external paint, internal and solar energy systems controls for the Wimmera Mallee Pioneer Museum (HO32) apply only to the historic buildings relocated to the site.
 - 'Turning off' the external paint controls for the Dimboola Railway Station (HO2).
 - Deleting the unnecessary outbuilding/fence control from the former Jeparit Pharmacy (HO14), and tree controls from the Dimboola Pumping Station Site (HO40).
 - In Dimboola Town Centre (HO34) and Rainbow Town Centre (HO33) applying tree controls specifically to the Moreton Bay fig and Pepper street trees in Lochiel Street, Dimboola and the Canary Island palms in Federal Street, Rainbow
 - 'Turning off' the solar energy systems control where this is not required or applying it to specific buildings only.
 - Adding seven new places of local heritage significance. These places have been listed in accordance with the order established by the existing schedule, which is by town/district and then by HO number. This is considered a logical approach, which is consistent with PPN1 and makes future additions straightforward. It also requires minimal changes to the existing schedule. The proposed new HO numbers are:
 - HO44 Dimboola Banner Offices (Former), 27 Lochiel Street
 - HO45 Dimboola Power House (Former), 72 Upper Regions Street
 - HO46 Jeparit Railway Bridge (Wimmera River)
 - HO47 Jeparit Memorial Avenue, Broadway
 - HO48 Nhill Soldiers' Memorial Lounge, 7 Clarence Street
 - HO49 Lowan Shire War Memorial, Victoria Street
 - HO50 Nhill Band Rotunda, Victoria Street
 - Adding application guidelines to set out specific requirements in relation to the alteration, demolition, or painting of places.

- ▶ Update or add HO maps to:
 - Remove HO3 from 65 and 67 Lloyd Street, Dimboola and add these properties to HO34.
 - Remove HO12 from 35-41 Sands Avenue, Jeparit.
 - Add a new Map 21HO and apply HO36 to the John Shaw Neilson Memorial, Western Highway, Nhill as shown in Appendix D.
 - Correct errors and anomalies by ensuring HO2, HO5, HO8, HO15, HO22, HO25, HO27, HO28, HO29, HO30, HO36, HO37, HO39, HO41 and HO42 are correctly applied either over the whole of the site or a reduced area comprising the heritage features and a suitable curtilage (see Appendix D).
 - Make changes to the boundaries of the HO34 Dimboola Town Centre and HO33 Rainbow Town Centre heritage precincts to ensure precinct boundaries are logical and justified having regard to the significance of the precinct and consistent with PPN1 (see Appendix D).
 - Apply new individual HOs to the seven places listed above (see Appendix D for places with a reduced curtilage - for all other places the HO will apply to the whole property as defined by the title boundary).

4.2 Changes to the Municipal Planning Strategy and Planning Policy Framework

The following changes to the MPS and PPF are recommended (new or amended text highlighted, deleted text shown as ~~strikethrough~~):

- ▶ Amend Cl. 02.02 Vision as follows:

*Hindmarsh Shire Council's vision is for a caring, active community enhanced by its liveability, **heritage**, environment and economy with:*

- *Effective and accessible services to support health and wellbeing.*
- *Access to a wide range of leisure, sporting and recreation facilities.*
- *Well-maintained physical assets and infrastructure to meet community and organisational needs. Reduced reliance on water.*
- *A healthy natural environment.*
- ***Heritage places that are valued and cared for.***
- *A community living more sustainably.*
- *A strong rural economy and thriving towns.*
- *A thriving tourism industry.*
- *Modern and affordable information and communication technology throughout the municipality.*
- *Transport solutions that support the needs of our communities and businesses.*

- ▶ Amend Cl. 02.03-5 Built environment and heritage, as follows:

*Hindmarsh Shire contains ~~a number of~~ **many** places of historic and cultural significance that need to be protected and ~~enhanced~~ **conserved** for their ~~conservation~~ **heritage values** and tourism potential.*

~~A number of historic buildings line both Nelson and Victoria Streets in Nhill, including the post office and several large hotels. Dimboola also contains a number of places of~~

~~heritage significance around the town centre including the Old Shire Hall and the Victoria Hotel.~~

~~Rainbow and Jeparit both have a quaint old-world charm and rural character, which is largely attributed to the number of sites of architectural or historic significance.~~

Dimboola, Jeparit, Nhill and Rainbow are defined by largely intact historic town centres containing shops, hotels, post offices, banks and shire halls that demonstrate their important roles as district centres. Other heritage places include town houses, and buildings and features that demonstrate the historic pattern of settlement across the Shire including schools, halls, churches, homestead complexes, and infrastructure such as railway stations, silos, bridges and weirs.

However, only a small number of historic heritage places are currently identified and protected in the heritage overlay.

Council's strategic directions for built environment and heritage are to:

- Prepare and implement a post-contact heritage study for Hindmarsh Shire to ensure that all historic heritage places are identified and assessed.
 - Promote urban design and architecture that reflects the characteristics, aspirations and cultural identity of the community.
 - Protect and conserve places in Hindmarsh Shire that are of historic and cultural significance.
 - Support development that is compatible with the integrity significance of heritage places of special historic, natural and cultural heritage significance.
 - Promote the identification, protection and management of Aboriginal cultural heritage values.
- ▶ Amend Cl. 11.01-1L Settlement – Hindmarsh, as follows:
- Replace 'Conserve Rainbow's character, based on its places of heritage significance' with the following strategy:
- Protect and conserve the historic town centres of Dimboola, Jeparit, Nhill and Rainbow and individual heritage places within these towns.*
- ▶ Insert a new local heritage policy following Cl.15.03-1S, generally in the form shown in Appendix F.

4.3 Other planning scheme changes

The other changes to the Hindmarsh Planning Scheme are:

- ▶ Updating Clause 72.03 to include new Map 21HO.
- ▶ Adding the new statements of significance to the schedule of Incorporated Documents at Clause 72.04.
- ▶ Adding the *Hindmarsh Heritage Assessment Study* and *Hindmarsh Heritage Guidelines* as Background Documents in Clause 72.08.
- ▶ Identifying the need to prepare a comprehensive municipal heritage study in the Schedule to Clause 74.02 Further Strategic Work:

Prepare and implement a post-contact heritage study for Hindmarsh Shire to ensure that all historic heritage places are identified and assessed.

4.4 Future work

Hindmarsh Shire Heritage Study

A comprehensive heritage study of Hindmarsh Shire is desirable to ensure that all post-contact heritage places are identified, assessed, and documented. Subject to obtaining funding, this should be carried out in two stages:

- ▶ Stage 1 should involve the preparation of a thematic environmental history and the identification of places of potential heritage significance, using the list in Appendix H as a starting point. The study should identify the places of strong potential for local significance and set out an estimated budget and timeframe for undertaking detailed assessment of all places as part of a future stage (or stages).
- ▶ Stage 2 would involve the detailed assessment of places. This could be undertaken in separate stages depending on the available budget, and places could be assessed in groups according to type or theme, or location. The study should include statutory recommendations for changes to the planning scheme including updates to the HO schedule and maps, and the PPF. The thematic environmental history could be reviewed and updated, as required.

Nhill and District Historical Society collection and Lowan Shire Hall

The Nhill & District Historical Society holds a significant collection of furniture, books, objects, and ephemera associated with the former Lowan Shire Council and the local community. This collection is of great importance to Hindmarsh Shire and contributes to the significance of the former Lowan Shire Hall, where the collection is stored.

While this Study did not undertake an assessment of the condition of the building, it is evident that there are maintenance issues that, if left unchecked, could impact upon the building and the collection. The collection itself is also beginning to outgrow the building and storage of items is becoming an issue.

In late 2021 Hindmarsh Shire Council decided to take over the role of Committee of Management for the building from DTP/DELWP. This process is underway and is expected to be completed soon. It is understood that HSC will then enter into a user agreement with the NDHS to remain as tenants of the building.

To assist the NDHS in managing the collection and building the following is recommended once the new arrangements have been formalised:

- ▶ Council should support the NDHS in commissioning an assessment of the significance of the collection, and the development of a collections policy. A significance assessment was recently prepared for the Wimmera Mallee Pioneer Museum collection and, while it did not include a collections policy, it noted the importance of such a policy as it is:

... a guiding document that sets out what types of objects are to be collected. Without this policy in place, adding items to the collection can be by personal whim, and can lead to substantial management or storage costs. In most cases, the time taken collecting irrelevant material and subsequent storage issues does not allow for quality documentation or in-depth interpretation of significant items. (Wimmera Mallee Pioneer Museum Collection Significance Assessment, 2021, p.6).

- ▶ Council should undertake a condition assessment of the building to identify urgent and on-going maintenance works and, as a longer term objective, consider preparing a Conservation Management Plan to guide the future management of the building.

Nhill Railway Station

Hindmarsh Shire Council should advocate to Victrack to repair and maintain the Nhill Railway Station building.

5 References

Assessing the cultural heritage significance of places and objects for possible state heritage listing: The Victorian Heritage Register Criteria and Threshold Guidelines, Heritage Victoria, 2022

Heritage Issues: Summaries from recent Panel reports, Planning Panels Victoria, 9 June 2015

Melbourne Planning Scheme, Amendment C198 Panel Report, July 2014, Lucinda Peterson, Chair

Melbourne Planning Scheme, Amendment C207 Panel Report, January 2014, Jennifer Moles, Chair

Review of Heritage Provisions in Planning Schemes. Advisory Committee Report. The way forward for heritage, August 2007

Planning Practice Note 1: Applying the Heritage Overlay

Victorian Framework of Historical Themes, Heritage Victoria.

Warrnambool Planning Scheme. Amendment C57 Panel Report, December 2008, Jennifer A. Moles, Chair

APPENDIX A – HERITAGE PLACE ASSESSMENT SUMMARY

Existing heritage places

HO12 Jeparit Anglican Church is excluded from this list, as it has been demolished.

No.	HO	Name	Address	Fieldwork	SoS name	HO schedule changes?	HO map changes?
		DIMBOOLA					
1.	HO1	Dimboola Primary School No.1372	Hindmarsh Street	External inspection only	Dimboola Primary School No.1372	Yes, change Solar energy systems apply? to 'No'.	No
2.	HO2	Dimboola Railway Station	Hindmarsh Street & 36 Hindmarsh Street	As above	Dimboola Railway Station	Yes, change External Paint controls apply? and Solar energy systems apply? to 'No'.	Yes, see Appendix D
3.	HO3	Dimboola Post Office	65 & 67 Lloyd Street, 17 Wimmera Street	As above	Dimboola Town Centre	Delete HO3 from the HO schedule.	Remove 65 & 67 Lloyd St from HO3 and include within HO34. Remove HO3 from 17 Wimmera St
4.	HO4	St Peter's Anglican Church	37 Lochiel Street	As above	37 Lochiel Street, Dimboola	Yes, specify that Solar energy system controls apply to the church only	No
5.	HO5	Dimboola Shire Hall	101 Lloyd Street	Internal and external inspection	101 Lloyd Street, Dimboola	Yes, apply internal controls to the	Yes, see Appendix D

HINDMARSH HERITAGE ASSESSMENT STUDY

No.	HO	Name	Address	Fieldwork	SoS name	HO schedule changes?	HO map changes?
						ceiling and marble plaque in hall	
6.	HO9	Victoria Hotel	32 Wimmera Street	External inspection only	32 Wimmera Street, Dimboola	Yes, change Solar energy systems apply? to 'No'.	No
7.	HO34	Dimboola Town Centre Heritage Precinct	Lloyd, Lochiel, Victoria & Wimmera streets	External inspections only	Dimboola Town Centre	Yes, change Solar energy systems apply? to 'No' and apply tree controls specifically to the Moreton Bay fig and Pepper street trees in Lochiel Street.	Yes, see Appendix D
8.	HO38	Dimboola Memorial Secondary College	66 Ellerman Street	Internal and external inspection	66 Ellerman Street, Dimboola	As above	No
9.	HO39	Dimboola Recreation Reserve	43 Lloyd Street & 2-6 Wimmera Street	External inspection only	Dimboola Recreation Reserve	As above	Yes, see Appendix D
10.	HO40	Dimboola Pumping Station site	Park Street	As above	Dimboola Pumping Station Site	Yes – change tree controls to 'No'	No
		JEPARIT					
11.	HO10	Uniting Church	1-3 Sands Avenue	Internal and external inspection	1-3 Sands Avenue, Jeparit	Yes, apply internal controls to the painted scroll decoration in the church and hall	No
12.	HO11	St John's Lutheran Church	35-41 Sands Avenue	As above	35-41 Sands Avenue, Jeparit	Yes, apply internal controls to the painted decoration in the church.	No

No.	HO	Name	Address	Fieldwork	SoS name	HO schedule changes?	HO map changes?
13.	HO14	Jeparit Pharmacy (Former)	40-44 Roy Street	External inspection only	Jeparit Town Centre	Yes – change 'Outbuildings or fences not exempt ...', and 'Solar energy system controls apply' to 'No'.	No
14.	HO15	Hindmarsh Hotel	48-50 Roy Street	As above	As above	Yes, change 'Solar energy system controls apply?' to 'No'.	Yes, see Appendix D
15.	HO16	Jeparit Cooperative Store (Former)	52 Roy Street	As above	As above	As above	No
16.	HO17	National Australia Bank	33 Roy Street	As above	As above	As above	No
17.	HO18	Hopetoun House Hotel	29-31 Roy Street	As above	As above	As above	No
18.	HO19	Jeparit Post Office (Former)	30 Broadway	As above	30 Broadway, Jeparit	As above	No
19.	HO20	Fire Brigade Station	77 Broadway	As above	77 Broadway, Jeparit	As above	No
20.	HO32	Wimmera Mallee Pioneer Museum	72 Charles Street	Internal and external inspections	72 Charles Street, Jeparit	Yes, specify that external paint, internal alteration, and solar energy controls apply only to historic buildings relocated to the site	No
21.	HO41	Jeparit Timber Road Bridge, Wimmera River	River Road	External inspection only	Jeparit Timber Road Bridge	No	Yes, see Appendix D
22.	HO42	Jeparit Weir, Wimmera River	Lake Road	As above	Jeparit Weir	No	Yes, see

HINDMARSH HERITAGE ASSESSMENT STUDY

No.	HO	Name	Address	Fieldwork	SoS name	HO schedule changes?	HO map changes?
							Appendix D
		KENMARE					
23.	HO23	Kenmare Primary School No.3221 (Former)	Birchip-Rainbow Road	External inspection only	Kenmare Primary School No.3221 (Former)	Yes, change External paint and Solar energy system controls to 'No'.	No
		NHILL					
24.	HO26	Nhill Post Office	98-100 Nelson Street	Internal inspection of shop area only	98-100 Nelson Street, Nhill	No	No
25.	HO27	Nhill Railway Station & Goods Shed	11-21 Whitehead Avenue and 58 Nelson Street	External and part internal inspection of railway station	11-21 Whitehead Avenue & 58 Nelson Street	Yes, change 'Solar energy system ... apply?' to 'No'.	Yes, see Appendix D
26.	HO28	Lowan Shire Hall	104-106 Macpherson Street	Internal and external inspection	104-106 Macpherson Street, Nhill	No	Yes, see Appendix D
27.	HO29	Nhill Court House	110 Macpherson Street	External inspection only	110 Macpherson Street, Nhill	No	Yes, see Appendix D
28.	HO30	Yetholm	25 Nelson Street	As above	25 Nelson Street, Nhill	No	Yes, see Appendix D
29.	HO36	John Shaw Neilson Cottage and Memorial	83-91 Victoria Street & Western Highway	As above	John Shaw Neilson Cottage and Memorial	No	Yes, see Appendix D
30.	HO37	Nhill A. & P. Society Showgrounds	95-99 Victoria Street	As above	95-99 Victoria Street, Nhill	Yes, change 'Solar energy system ... apply?' to 'No'.	Yes, see Appendix D
		PELLA					
31.	HO8	St John's Lutheran Church	Pella Church Road, Rainbow	Internal and external inspection	Pella Church Road, Rainbow	Yes, specify that internal controls apply only to the church and former	Yes, see Appendix D

No.	HO	Name	Address	Fieldwork	SoS name	HO schedule changes?	HO map changes?
						school.	
		RAINBOW					
32.	HO21	Baptist Church (Former)	38 Taverner Street	Internal and external inspection	38 Taverner Street, Rainbow	Yes, change 'Solar energy system ... apply?' to 'No'.	No
33.	HO22	Rainbow State School No.3313	30 Bow Street	External inspection only	30 Bow Street, Rainbow	As above	Yes, see Appendix D
34.	HO24	Rainbow Court House (Former)	9 Eddy Street	Internal and external inspection	9 Eddy Street, Rainbow	As above	No
35.	HO25	St Paul's Anglican Church & Hall	12 Eddy Street	As above	12 Eddy Street, Rainbow	No	Yes, see Appendix D
36.	HO33	Rainbow Town Centre	Federal Street & King Street	External inspection only	Rainbow Town Centre	Yes, change 'Solar energy system ... apply?' to 'No' and apply tree controls to the Canary Island palms in the Federal Street median	Yes, see Appendix D

New heritage places

No.	HO	Name	Address	Fieldwork	Citation name	Specific HO schedule controls?	HO extent
		DIMBOOLA					
37.	HO44	Dimboola Banner Offices (Former)	27 Lochiel Street	External inspection only	27 Lochiel Street, Dimboola	None required	Site as defined by title boundaries
38.	HO45	Dimboola Power House (Former)	72 Upper Regions Street	As above	72 Upper Regions Street, Dimboola	None required	As above

HINDMARSH HERITAGE ASSESSMENT STUDY

No.	HO	Name	Address	Fieldwork	Citation name	Specific HO schedule controls?	HO extent
		JEPARIT					
39.	HO47	Jeparit Memorial Avenue	Broadway	External inspection only	Jeparit Memorial Avenue	Yes, apply Tree controls to the Aleppo Pine, Solar energy system, and fence control to stone boundary fence	See Appendix D
40.	HO46	Jeparit Railway Bridge	Lake Road	As above	Jeparit Railway Bridge	Yes, apply Solar energy system control.	See Appendix D
		NHILL					
41.	HO48	Nhill Soldiers' Lounge	7 Clarence Street	External internal inspection only	7 Clarence Street, Nhill	None required	Site as defined by title boundaries
42.	HO49	Lowan Shire War Memorial	Victoria Street	External inspection only	Lowan Shire War Memorial	Yes, apply Solar energy system, and tree controls to Canary Island palms	See Appendix D
43.	HO50	Nhill Band Rotunda	Victoria Street	Internal and external inspection	Nhill Band Rotunda	Yes, apply Solar energy system.	See Appendix D

APPENDIX B – ASSESSMENT METHODOLOGY

B.1 Introduction

This section provides a context for the assessment of significance of built heritage places suitable for potential inclusion in the HO, which draws on relevant guidelines for the preparation of heritage studies as well as other relevant Independent Panel reports, the Advisory Committee report in relation to the *Review of Heritage Provisions in Planning Schemes* (The Advisory Committee Report), which was completed in August 2007 and PPN1.

B.2 Establishing a threshold of local significance

What is a threshold?

The Heritage Victoria standard brief for Stage 2 heritage studies notes that local significance can include places of significance to a town or locality, however, whether the ‘threshold’ of local significance is achieved depends how relevant heritage criteria are applied and interpreted.

The Advisory Committee Report notes that the related questions of the application of appropriate heritage criteria and establishing ‘thresholds’ that provide practical guidance to distinguish places of ‘mere heritage interest from those of heritage significance’ have been the subject of continuing debate in recent times. While there was agreement that the AHC criteria may be appropriate for use at the local level, the question of what establishes a threshold remains open to interpretation.

The Advisory Committee Report defines ‘threshold’ as follows:

Essentially a ‘threshold’ is the level of cultural significance that a place must have before it can be recommended for inclusion in the planning scheme. The question to be answered is ‘Is the place of sufficient import that its cultural values should be recognised in the planning scheme and taken into account in decision-making?’ Thresholds are necessary to enable a smaller group of places with special architectural values, for example, to be selected out for listing from a group of perhaps hundreds of places with similar architectural values (Advisory Committee Report, p.2-41).

How is a threshold defined?

The Advisory Committee Report (p.2-32) cites the Bayside C37 and C38 Panel report, which notes that:

With respect to defining thresholds of significance, it was widely agreed by different experts appearing before this Panel that there is a substantial degree of value judgement required to assess a place’s heritage value, so that there is always likely to be legitimate, differing professional views about the heritage value of some places.

There is a wide range of matters that can be taken into account in making any assessment (e.g., a place’s value in relation to historic, social, aesthetic, cultural factors, its fabric’s integrity and so on), leading to further grounds for differences between judgements.

The Advisory Committee Report (p.2-45) makes the following comments:

As also discussed, a fundamental threshold is whether there is something on the site or forming part of the heritage place that requires management through the planning system.

*As we have commented, we see the development of thresholds as something, which responds to the particular characteristics of the area under investigation and its heritage resources. Nevertheless, the types of factors that might be deployed to establish local thresholds can be specified State-wide. They would include **rarity in the local context, condition/degree of intactness, age, design quality/aesthetic value, their importance to the development sequence documented in the thematic environmental history.** (Emphasis added)*

This process is essentially a comparative one within the local area. That area may not coincide with the municipal area. Its definition should be informed by the thematic environmental history.

The PPN1 now provides the following advice:

The thresholds to be applied in the assessment of significance shall be 'State Significance' and 'Local Significance'. 'Local Significance' includes those places that are important to a particular community or locality. Letter gradings (for example, "A", "B", "C") should not be used.

In order to apply a threshold, some comparative analysis will be required to substantiate the significance of each place. The comparative analysis should draw on other similar places within the study area, including those that have previously been included in a heritage register or overlay. Places identified to be of potential State significance should undergo limited analysis on a broader (Statewide) comparative basis.

The Victorian Heritage Register Criteria and Threshold Guidelines provide a useful and comprehensive step-by-step guide for determining whether a place satisfies heritage criteria. While developed specifically for assessment of places of potential State significance the principles and procedures set out may also be adapted and applied at the local level.

Intactness vs. integrity

The 'intactness' and 'integrity' of a building are often used as a threshold indicator.

A clear distinction needs to be made between the concepts of 'intactness' and 'integrity'. While interpretations of these terms in heritage assessments do vary, for the purposes of this report I adopt the definitions set out on pp. 16-17 of the Panel Report for Latrobe Planning Scheme Amendment C14:

For the purposes of this consideration, the Panel proposes the view that intactness and integrity refer to different heritage characteristics.

***Intactness** relates to the wholeness of (or lack of alteration to) the place. Depending on the grounds for significance, this can relate to a reference point of original construction or may include original construction with progressive accretions or alterations.*

***Integrity** in respect to a heritage place is a descriptor of the veracity of the place as a meaningful document of the heritage from which it purports to draw its significance. For example, a place proposed as important on account of its special architectural details may be said to lack integrity if those features are destroyed or obliterated. It may be said to have low integrity if some of those features are altered. In the same case but where significance related to, say, an historical association, the place may retain its integrity*

despite the changes to the fabric (Structural integrity is a slightly different matter. It usually describes the basic structural sufficiency of a building).

Based on this approach it is clear that whilst some heritage places may have low intactness, they may still have high integrity – the Parthenon ruins may be a good example. On the other hand, a reduction in intactness may threaten a place’s integrity to such a degree that it loses its significance.

The Heritage Victoria guidelines also define integrity as follows:

Refers to the degree to which the heritage values of the place or object are legible and able to be understood and appreciated. For example, does it include all the elements necessary to express its significance? If considerable change to the intactness of a place or object has occurred (through changes to the fabric or setting, physical deterioration etc) the significant values may not be readily identifiable, and the place or object may have low-level integrity. It should be noted that non-original fabric can contribute to the integrity of a place/object.

What is the role of the thematic history?

The previous comments highlight the important role played by thematic environmental histories in providing a context for the identification and assessment of places. However, while it is expected that most places of local significance will be associated with a theme in the thematic history not all places are and there may be some that are individually significant for reasons that are independent of the themes identified by the Study. The chair of the Advisory Committee Report, Jenny Moles, made the following comment in the Panel report prepared for the Warrnambool Planning Scheme Amendment C57:

*The Panel also does not see it as inimical to the significance of this building that there is currently no mention of a guest house theme in the Gap Study Thematic History. **It is simply not the case that every building typology will be mentioned in such a study.***
(Emphasis added)

The C57 Panel Report also once again highlighted that thematic histories are not ‘static’ documents and should be reviewed once more detailed assessments are carried out for places and precincts. This iterative approach allows a ‘more complete and more pertinent history of a municipality to be developed in terms of providing a basis for managing heritage stock and allows individual buildings to be placed in their historical context’ (Warrnambool Planning Scheme Amendment C57 Panel Report).

Conclusion

In accordance with the Advisory Committee Report the guidelines prepared by the Heritage Council have been adapted to assist with determining whether a heritage place meets the threshold of local significance to Hindmarsh Shire using the Hercon criteria. As there is currently no thematic history for Hindmarsh Shire the *Victorian Framework of Historical Themes* has been applied.

PPN1 advises that local significance can mean significance to a locality, and it is evident from the historic research that each town and district in Hindmarsh has a distinct history as well as shared history. Accordingly, local significance for this study can include places that are significant to the locality as well as places that may be also significant at a municipal level.

A place need only meet one Hercon criterion to satisfy the threshold of local significance. Meeting more than one Hercon criterion does not make the place more significant: rather it demonstrates how the place is significant for a variety of reasons.

Places of local significance will therefore satisfy one or more of the Hercon criterion, as follows:

- ▶ The place is associated with a key theme identified in the thematic environmental history. It may have been influenced by, or had an influence upon the theme. The association may be symbolic. The fabric of the place will demonstrate the association with the theme, and the place may be early, distinctive or rare when compared with other places (Criterion A).
- ▶ The place is associated with a way of life, custom, process, function, design or land use that were always few in number, or that are now few in number. (Criterion B).
- ▶ The place has potential to contribute further information about the history of the municipality or a locality and that may aid in comparative analysis of similar places (Criterion C).
- ▶ The fabric of the place exemplifies or illustrates a way of life, custom, process, function, land use, architectural style or form, construction technique that has contributed to pattern or evolution of the built environment of the municipality or locality. It may demonstrate variations within, or the transition of, the principal characteristics of a place type or class and it will usually have the typical range of features normally associated with that type or class – i.e., it will be a benchmark example – and will usually have relatively high integrity and/or intactness when compared to other places (Criterion D).
- ▶ It will have particular aesthetic characteristics such as beauty, picturesque attributes, evocative qualities, expressive attributes, landmark quality or symbolic meaning (Criterion E).
- ▶ The place is an exemplar of an architectural style; displays artistic value, or represents significant technical or artistic/architectural innovation or achievement when compared to other similar places in the municipality. The places will usually have a high degree of intactness and/or integrity when compared to other places (Criterion F).
- ▶ The place has strong social or historic associations to an area/community (Criterion G) or to an individual or organisation as a landmark, marker or signature, meeting or gathering place, associated with key events, a place or ritual or ceremony, a symbol of the past in the present, or has a special association with a person, group of people or organisation that have made an important or notable contribution to the development of the municipality or locality (Criterion H) and, in particular:
 - There is continuity of use or association, meanings, or symbolic importance over a period of 25 years or more (representing transition of values beyond one generation).
 - The association has resulted in a deeper attachment that goes beyond utility value.
 - The connection between a place and a person/s or organisations is not short or incidental and may have been documented – for example in local histories, other heritage studies or reports, local oral histories etc.

By comparison, places or precincts that do not meet the threshold of local significance will generally be those where:

- ▶ Historical associations are not well established or are not reflected in the fabric because of low intactness; or
- ▶ The place is common within the municipality or locality or already well-represented in the Heritage Overlay; or
- ▶ If a precinct, it has low proportion of Contributory buildings (i.e., low intactness), or if an individual place it has low intactness and/or integrity; or
- ▶ It is a typical, rather than outstanding example of an architectural style or technical achievement and there are better comparative examples the municipality or locality; or
- ▶ The social or historical associations are not well established or demonstrated.

B.3 What constitutes a precinct?

At present there are no definitive guidelines that aid in identifying and defining a heritage precinct. This was acknowledged by the Advisory Committee, which made the follow comments in the final report (p.2-48) submitted in August 2007:

Various Ministerial Panels have considered the question of the conceptualisation of the extent of a significant heritage place, particularly in relation to heritage areas or precincts, industrial sites and large rural properties. The Greater Geelong Planning Scheme Amendment C49 Ministerial Panel (February 2004) pointed out that the Practice Note Applying the Heritage Overlay does not provide any guidance on identification of heritage precincts. It noted that practice within the profession suggested that precincts should contain a substantial proportion of buildings that were assessed as being of precinct heritage significance, as defined in the statement of significance. A statement of significance should outline what is significant, why it is significant and how the place demonstrates the heritage significance.

The Advisory Committee considered several submissions and various relevant Independent Panel reports. The final conclusions and recommendations suggested that the criteria for the definition of a precinct should consider:

- ▶ the geographic distribution of the important elements of the place, including buildings and works, vegetation, open spaces and the broader landscape setting.
- ▶ whether the place illustrates historic themes or a particular period or type of development.
- ▶ whether it is a defined part of the municipality recognised by the community.
- ▶ whether non-built elements such as the subdivision pattern contribute to its significance.

The Advisory Committee recognized that due to historic patterns of development, precincts may have either heterogeneous or homogeneous characters, and concluded that criteria suggested by the Hobsons Bay C34 Panel, 'may be appropriate for inner urban, relatively homogenous precincts but appear to us to be too prescriptive for application in other situations'. On this basis it suggested (p.2-55) that:

*Thematically related buildings or sites that do not adjoin each other or form a geographic grouping should, where appropriate, be able to **be treated as a single heritage place and share a statement of significance and HO number.** (Emphasis added)*

This approach (referred to as 'Group, serial or thematic listings') was formalised in the 2012 update of the PPN1.

Finally, regarding the proportion of Individually Significant (or Individually Significant and Contributory) buildings that is desirable within precincts, the Advisory Committee considered (p.2-54) that:

... the stress on built fabric inherent in this question is misleading. Precincts need to be coherent, thematically and/or in terms of design, and need to be justifiable in relation to protection of significant components. It is neither possible nor desirable to set hard and fast rules about percentages.

Conclusions regarding precincts

For the purposes of this study, a precinct is considered to possess one or more of the following characteristics:

- ▶ They contain contributory places that individually or as a group illustrate important historic themes. (Criteria A or D)
- ▶ The places within a precinct may or may not adjoin one another. Where they do not form a contiguous grouping they will have a strong and demonstrated thematic or other association. (Criterion A)
- ▶ Where places form a contiguous grouping they will have largely intact or visually cohesive streetscapes that are either aesthetically or historically significant (or both). (Criteria D or E)
- ▶ Precincts that are historically significant will include elements such as building styles and subdivision layouts that are representative or typical of a particular era or type. (Criterion D)
- ▶ Precincts of aesthetic significance may also be distinguished by the quality/visual cohesion of the building design and other contributory features when compared to other examples. (Criterion E)

APPENDIX C – STAKEHOLDER FACT SHEET

Hindmarsh Heritage Assessment Study

Information Sheet 1 (June 2022)



What is heritage?

Heritage is what we have inherited from the past and wish to hand onto future generations. It includes buildings, places, trees, landscapes and our customs, language, and beliefs.

The Hindmarsh Shire Heritage Assessment Study (the Study) is documenting and assessing 36 local 'post-contact' heritage places – this means places that date from the period since first contact between Aboriginal and non-Aboriginal people.

St Peter's Anglican Church, constructed in 1888, is one of the oldest buildings in Dimboola and a fine example of a Victorian era Gothic style church.



Why is heritage important?

Heritage places are important for enriching our lives and our communities. Buildings, areas, landscapes, and other places of heritage value provide a window to the past and to the origins of our communities in the post-contact era. Heritage places also add character, appeal and interest to our cities, towns, and countryside. They are irreplaceable and precious.

Respect for our cultural heritage involves protecting and conserving places that have importance to us as a community. Rural and regional Victoria is peppered with beautiful towns with glorious pasts. It is important for future generations that we protect the legacies of those who built our state and developed so many towns and communities across country Victoria.

Why is Council carrying out the Study?

Hindmarsh Shire Council has identified the need to undertake a heritage assessment of 36 local heritage places in the Shire, which include two precinct areas (Dimboola Town Centre and Rainbow Town Centre) and 34 individual places located in Dimboola, Jeparit, Nhill, Kenmare, Pella, and Rainbow.

The 36 local heritage places are currently included in the heritage overlay (HO) of the Hindmarsh Planning Scheme.

However, Hindmarsh Shire does not have a municipal heritage study and the local heritage places do not have supporting documentation that explains what, how and why they are of heritage significance. There are also no local heritage policy or guidelines in the Hindmarsh Planning Scheme to assist with managing or developing heritage places.

The purpose of the Study is to assess each of the local heritage places and prepare up-to-date place citations and local policy and guidelines to assist the council and property owners and managers to protect, manage and develop heritage places.

A specific task is to ensure all local HO places have a statement of significance with supporting documentation to ensure all local HO place values are identified and documented and to provide a sound basis for future management.

A related task is to identify potential heritage places, which should be assessed in future.

As is required by the State Planning and Environment Act (1987) the Study will provide Council with the information it needs:

'To conserve and enhance buildings, areas and other places which are of scientific, aesthetic, architectural, or historical interest, or otherwise of special cultural value'

Will the current heritage controls that apply to my property change?

At this stage, no. When it is completed, the Study may identify places that require HO controls to be updated or changed.

However, this recommendation will need to be considered first by Council who must decide whether to proceed, which would require an amendment to the Hindmarsh Planning Scheme to change any heritage controls.

Until this happens, the current HO controls that apply to your property will not change.

Will I be able to have my say if it is proposed to change current heritage controls for my property?

Yes. The planning scheme amendment process will provide the opportunity for all affected landowners or occupiers to make a formal submission to Council about the proposed heritage controls. This may result in an independent panel hearing process if Council and the landowner, or the occupier, do not agree about the heritage controls being proposed over the site.

What happens next?

The assessment of heritage places has commenced, and site inspections will be carried out in early August 2022.

Council will provide the owners of all local heritage places with the draft heritage citations and guidelines for their property for comment before the Study is finalised.

At this stage it is anticipated that draft assessments will be sent to owners in November 2022. Once comments have been received it is anticipated the Study will be completed by February 2023.

If you have any questions or require further information, please contact Janette Fritsch on XXXXXX



The railway station at Dimboola demonstrates the importance of railways to the historic development of Hindmarsh Shire.

APPENDIX D – HO MAPPING

CHANGES TO EXISTING HO PRECINCTS

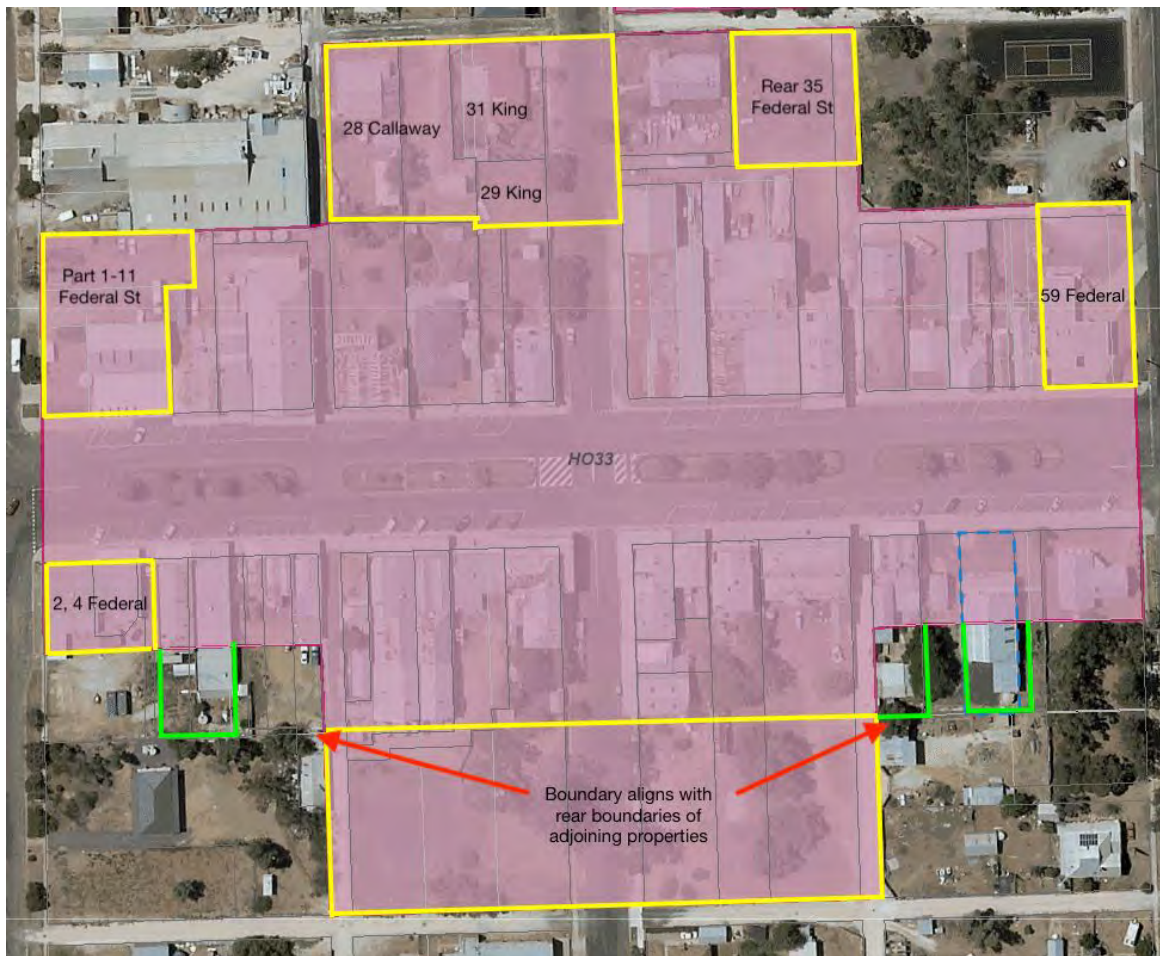
HO34 Dimboola Town Centre



Proposed new precinct boundary shown in yellow. The recommended changes are:

- ▶ Remove HO3 from 65 and 67 Lloyd Street and include within HO34 Precinct (For HO5 changes, see below).
- ▶ Remove HO3 from 17 Wimmera Street.
- ▶ Remove predominantly Non contributory (NC) properties at the edge of the precinct to create a more cohesive boundary:
 - 57-63 Lloyd Street. Post-war buildings (Police Station, houses, Ambulance Station).
 - 58-62 Lloyd Street. These comprise two NC post-war houses and one interwar house. The interwar house is of some historic interest, but as it has been altered and does not form part of an intact streetscape it is of limited significance.
 - 19-37 Victoria Street. NC buildings - Post-war houses, vacant site, post-war commercial.
 - 16, 20-28 Wimmera Street (south side only). One Contributory building, otherwise NC – very low integrity.

HO33 Rainbow Town Centre



The recommended changes are:

- ▶ Removal (outlined in yellow) of Non-contributory properties at 28 Callaway Lane, 1-11 (part, containing NC buildings), 2, 4, 35 (rear only) and 59 Federal Street and 29 & 31 King Street, and the vacant rear/side yards of 34-42, 52 & 54 Federal Street, 24-28 King Street and the adjoining laneway reserves and section of King Street.
- ▶ Extension (outlined in green) of Contributory places at 10, 12-14, 56 & 58 Federal Street to ensure that the HO boundaries do not cut through buildings.

CHANGES TO EXISTING HO PLACES

HO2 Dimboola Railway Station, Hindmarsh Street



Currently, HO2 applies to part of the Dimboola Railway Station complex including the whole of the original station building, about half of the metal footbridge (yellow arrow), part of the former Station master's residence site at 36 Hindmarsh Street (green arrow) and part of the station yard including the present main railway line.

However, it excludes the following contributory features:

- ▶ The van goods shed and lamp room at the south end of the platform (red arrow).
- ▶ The Station master's residence itself.

The recommendation is to amend the HO2 boundaries to create two parts as outlined in green): the first part containing the station buildings including the van goods shed and lamp room (up to the platform edge, excluding the railway line) and the whole of the metal pedestrian footbridge, and the second part containing whole of the station master's residence at 36 Hindmarsh Street.

HO5 Dimboola Shire Hall, 101 Lloyd Street



Currently, HO5 applies partly to 101 Lloyd and cuts through the middle of the Dimboola Shire Hall, but also applies to the whole of 103 Lloyd Street, containing the Fire Station. The balance of 101 Lloyd Street containing half the Shire Hall is within HO34 (Dimboola Town Centre Heritage Precinct)

Recommended changes:

- ▶ Amend HO5 to apply to the whole of 101 Lloyd Street, as outlined in green (remove HO34 from part of the site).
- ▶ Remove HO5 from 103 Lloyd Street, and include 103 Lloyd Street within HO34.

HO8 St John's (Pella) Lutheran Church, Rainbow



Currently, HO8 includes a large area of land east of the church complex that contains no heritage features.

Recommended change: Reduce HO8 by excising a section of land, as indicated above. The new boundary should be a minimum of 5m from the east side of the former parsonage to provide a suitable curtilage.

HO11/HO12 St John's Lutheran Church & site of Anglican Church, Jeparit



HO11 and HO12 apply to the same property (according to Vicplan) – 35-41 Sands Avenue.

HO11 applies to St John's Lutheran Church and Hall, while HO12 applies to the vacant land beside where the (demolished) Anglican Church once was.

Recommended change: Delete HO12

HO15 Hindmarsh Hotel



Currently, HO15 cuts through the Hindmarsh Hotel building.

Recommended change: Extend HO15 on the south side to include the whole of the south section of the site containing the hotel building (indicated in yellow) and adjusted on the north side to follow the correct lot boundary, as indicated by the dotted blue line.

HO22 Rainbow Primary School

Currently, HO22 includes a section of land that contains no heritage features.

Recommended change: Reduce HO22 by excising a section (the area now covered by the skate park), as indicated above. The new boundary should be a minimum of 5m from the south side of the shelter shed to provide a suitable buffer.

HO25 St Paul's Anglican Church, Rainbow

Currently, HO25 includes a section of land that contains no heritage features.

Recommended change: Reduce HO25 by excising the southern portion, as indicated above. The new boundary should be a minimum of 5m from the south side of the church hall to provide a suitable buffer.

HO27 Nhill Railway Station



Currently, HO27 is in the wrong place and contains no heritage buildings or features associated with the railway station.

Recommended changes: Delete the current HO27 and apply new HO27 in two parts to include the railway station (situated on part of 11-27 Whitehead Avenue) and the former goods shed to the south of the railway (situated on part of 58 Nelson Street), as outlined in green.

HO28 Lowan Shire Hall



The Lowan Shire Hall is located at 104-106 Macpherson Street – the site within the blue dotted line. Currently, HO28 also applies to the c.1960s building to the north and to the former Nhill Scout Hall (red arrow).

Recommendation: Reduce HO28 to only include 104-106 Macpherson Street.

(The former Scout Hall is of potential significance and has been added to list of places for future assessment).

HO29 Nhill Court House



The Nhill Court House is at 110 Macpherson Street, which is indicated by the blue dotted line. However, HO29 only applies to part of this site and cuts through the building.

HO29 also partly applies to four properties in Clarence Street, including

- ▶ Nhill Soldiers' Lounge (red arrow) – this is almost fully within HO29
- ▶ Nhill Library (green arrow) – only partly within HO29.

Recommended change: Reduce and adjust HO29 to only include the whole of 110 Macpherson Street (all land within dotted blue line).

(The Soldiers' Lounge, opened in 1921, has been assessed separately by this Study and is recommended for inclusion in a new individual HO. The Nhill Library has been added to the list of potential heritage places for future assessment.)

HO30 Yetholm, 25 Nelson Street, Nhill



Currently, HO30 applies partly to 25 and partly to 23 Nelson Street.

Recommended change: Correctly apply HO30 to 25 Nelson Street, which is the property outlined in the blue dotted line

HO36 John Shaw Neilson Cottage and Memorial, 83-91 Victoria Street, Nhill

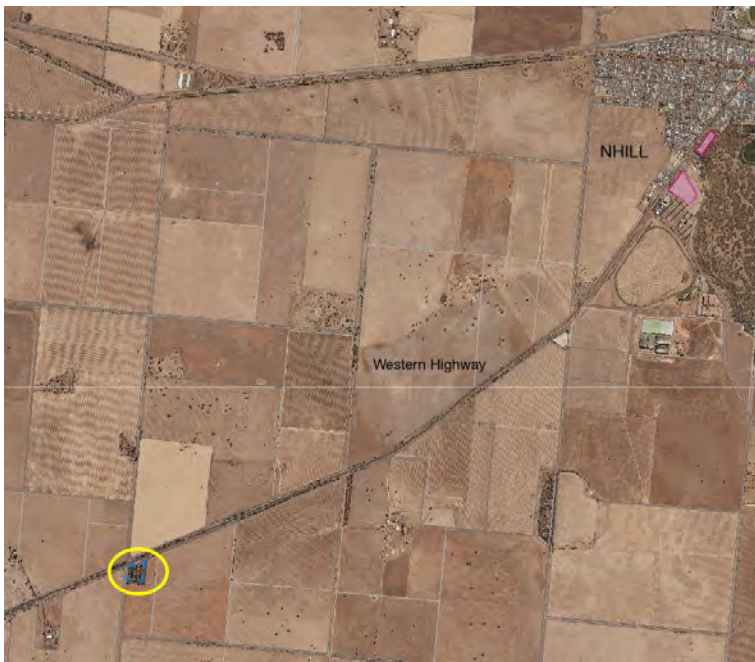


Currently, HO36 includes a large area of large that contains no heritage features.

An associated heritage place is the John Shaw Neilson Memorial on the Western Highway, southwest of Nhill

Recommended changes:

- ▶ Reduce HO36 to include only the cottage and a small curtilage as indicated by the yellow lines.
- ▶ Apply HO36 to the Memorial site as shown below:



John Shaw Neilson Memorial locality plan



John Shaw Neilson Memorial HO extent (outlined in yellow)

HO37 Nhill A. & P. Society Showgrounds



Currently, HO37 does not include whole of showgrounds site and excludes one of the very early pavilions.

Recommended change: small extension (outlined in yellow) to include pavilion.

HO39 Dimboola Recreation Reserve



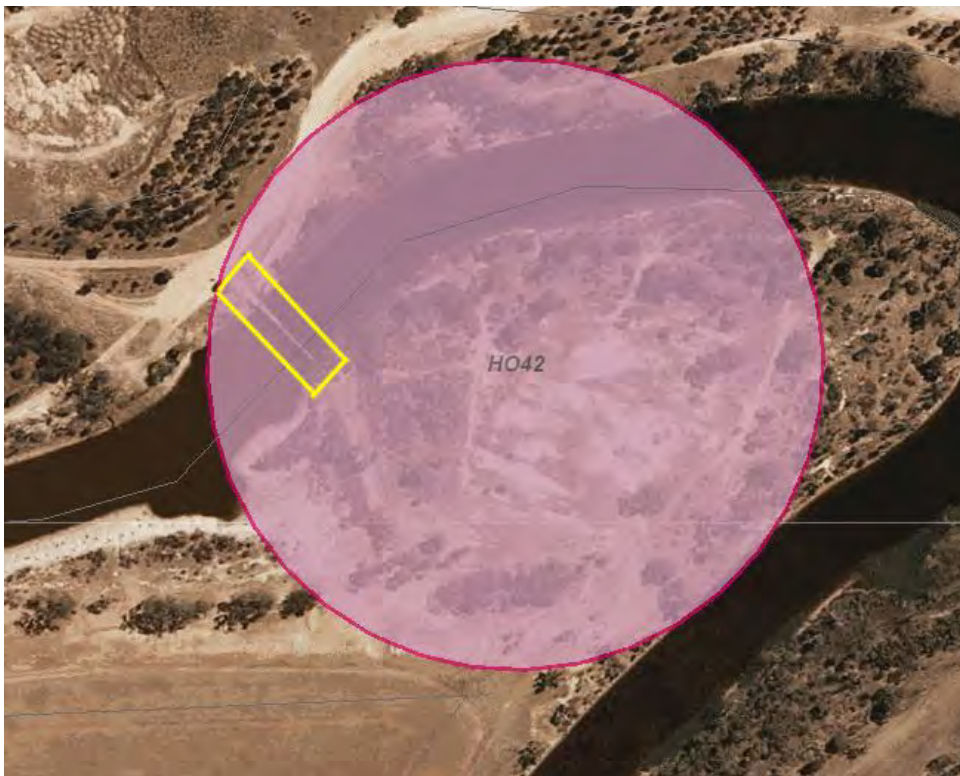
Currently, the boundary cuts through the middle of the Bwls Clubhouse and excludes the Girl Guides Hall, which contributes to the significance of the Reserve.

Recommended change: Extend HO39 boundary as indicated in yellow to fully include the Bwls Clubhouse and the Girl Guides Hall.

HO41 Jeparit Bridge

Currently, HO41 is in the wrong location and is too large.

Recommended change: Reduce and relocate as indicated in yellow to apply to the bridge and a small curtilage.

HO42 Jeparit Weir

Currently, HO42 is too large.

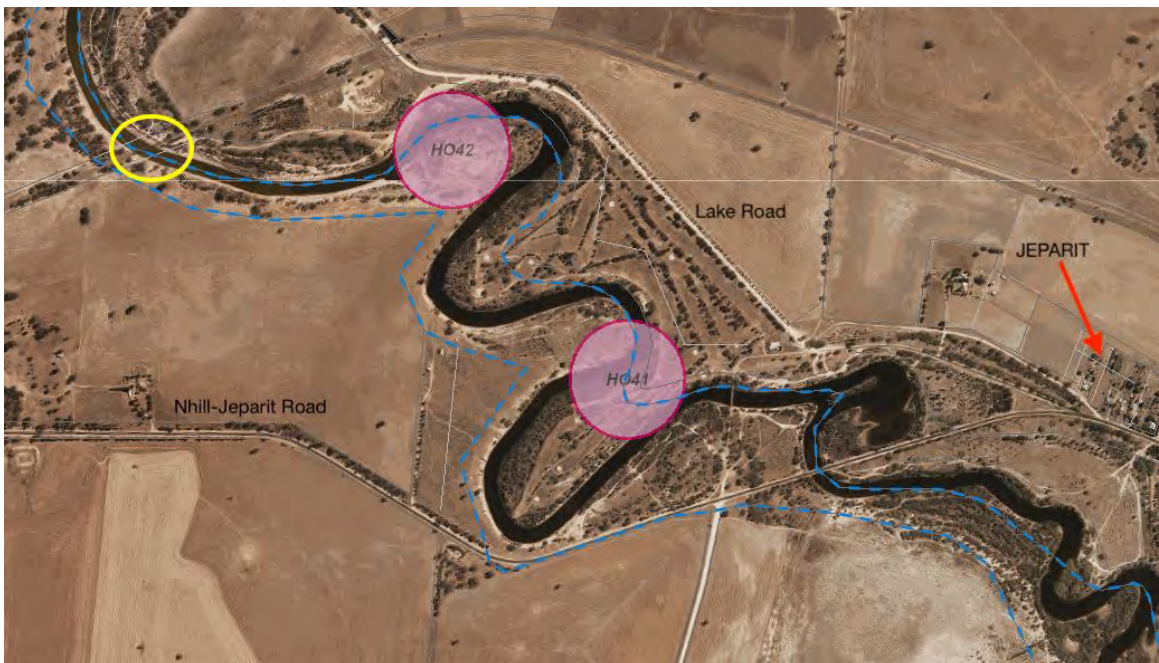
Recommended change: Reduce as indicated in yellow to apply to the weir and a small curtilage.

PROPOSED HO EXTENT OF NEW PLACES

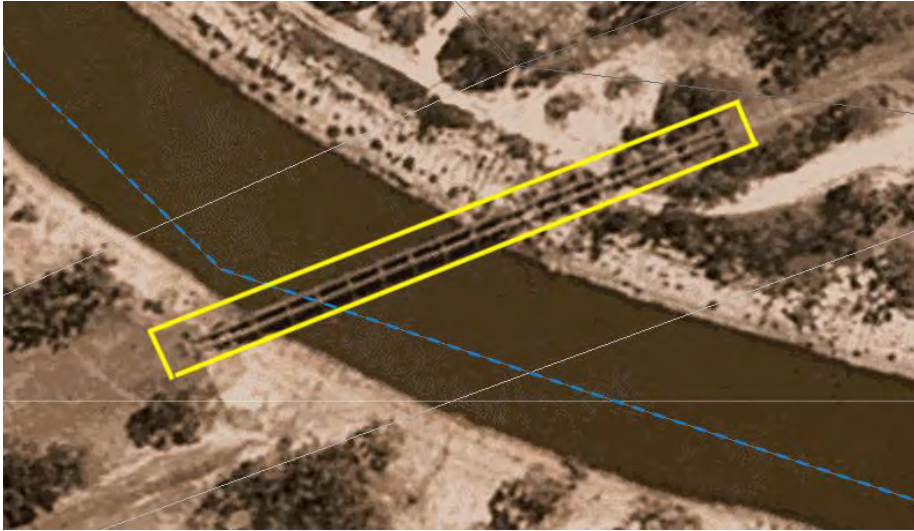
HO47 Jeparit War Memorial Avenue



HO46 Jeparit Railway Bridge



Jeparit Railway Bridge locality plan



Jeparit Railway Bridge HO extent – bridge and including a minimum of 2m from the edge on each side to form curtilage.

HO49 Lowan Shire War Memorial and HO50 Nhill Band Rotunda



HO49 Lowan War Memorial and Canary Island palms is at top outlined in yellow. Boundaries follow edge of carriageway on long sides, approximately in line with edge of paving on north side (top of page) and a minimum of 2m from the nearest palm tree on the south side.

HO50 Nhill Band Rotunda is at bottom, outlined in yellow – boundary a minimum of 2m from the edge of the rotunda.

APPENDIX E – HO SCHEDULE CHANGES

22/07/2021
C17hind

SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY

1.0 Application requirements

22/07/2021
C17hind

The following application requirements apply to an application under Clause 43.01, in addition to those specified elsewhere in the planning scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- For applications that propose part or full demolition of a heritage building or feature:
 - Plans and elevations showing the extent of all buildings and features to be demolished or removed.
 - A demolition method statement that describes how any retained contributory features will be protected and conserved during demolition and construction.
 - For applications proposing full demolition a structural engineering report prepared by a suitably qualified person that assesses the condition of the building or feature and whether any defects can be rectified.
- For applications that include changes to contributory heritage features, at least one image of the existing feature.
- For applications that include restoration or reconstruction of original details, plans prepared at a scale that clearly shows the dimensions, profile, form and design and materiality of the proposed details.
- For applications to externally paint a building, a paint colour schedule and plan showing the colours to be used on each part of the building.

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2.0 Heritage places

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VC226

The requirements of this overlay apply to both the heritage place and its associated land.

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	Antwerp								

HINDMARSH PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted ?	Aboriginal heritage place?
HO7	Ebenezer Mission	-	-	-	Yes	-	Register No. H288	No	No
	Dimboola								
HO1	Dimboola Primary School <u>No.1372, Hindmarsh Street</u> Statement of significance: <u>Dimboola Primary School No.1372</u>	Yes	No	No	No	No	No	No	No
HO2	Dimboola Railway Station, <u>Hindmarsh Street & 36 Hindmarsh Street</u> Statement of significance: <u>Dimboola Railway Station</u>	No	No	No	No	No	No	No	No
HO4	<u>St Peter's Anglican Church complex, 37 Lochiel Street</u> Statement of significance: <u>37 Lochiel Street, Dimboola</u>	Yes	No	No	Yes, church only	No	No	No	No
HO5	Dimboola Shire Hall (Former), <u>101 Lloyd Street</u> Statement of significance: <u>101 Lloyd Street, Dimboola</u>	Yes	Yes, timber ceiling and marble plaque in hall	No	Yes	No	No	No	No
HO9	Victoria Hotel, <u>32 Wimmera Street</u> Statement of significance: <u>32 Wimmera Street, Dimboola</u>	Yes	No	No	No	No	No	No	No
HO34	Dimboola Town Centre Heritage Precinct	Yes	No	Yes - Moreton	No	No	No	No	No

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	64-120 & 65-121 Lloyd Street, 7-21 & 18-20 Lochiel Street, 39-43 Victoria Street, 27 Wimmera Street Statement of significance: Dimboola Town Centre			Bay Fig and Pepper street trees in Lochiel St					
HO38	Dimboola Memorial Secondary College, 66 Ellerman Street Statement of significance: 66 Ellerman Street, Dimboola	No	No	No	No	No	No	No	No
HO39	Dimboola Recreation Reserve, 43 Lloyd Street and 2-6 Wimmera Street Statement of significance: Dimboola Recreation Reserve	No	No	Yes	No	No	No	No	No
HO40	Dimboola Pumping Station site, Park Street Statement of significance: Dimboola Pumping Station Site	No	No	No	Yes	No	No	No	No
HO44	Dimboola Banner Offices (Former), 27 Lochiel Street Statement of significance: 27 Lochiel Street, Dimboola	No	No	No	No	No	No	No	No
HO45	Dimboola Power House (Former), 72 Upper Regions Street Statement of significance: 72 Upper Regions Street, Dimboola	No	No	No	No	No	No	No	No

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	Jeparit								
HO10	<u>Jeparit Uniting Church, 1-3 Sands Avenue</u> Statement of significance: <u>1-3 Sands Avenue, Jeparit</u>	Yes	<u>Yes, painted scroll decoration in church and hall.</u>	No	Yes	No	No	No	No
HO11	<u>St John's Lutheran Church, 35-41 Sands Avenue</u> Statement of significance: <u>35-41 Sands Avenue, Jeparit</u>	Yes	<u>Yes, painted scenic decoration in church.</u>	No	Yes	No	No	No	No
HO13	Soldiers' and Citizens' Memorial Hall and Former Municipal Chambers 10-12 Roy Street	-	-	-	Yes	-	Register No. H1905	No	No
HO14	<u>Jeparit Pharmacy (Former), 40-44 Roy Street</u> Statement of significance: <u>Jeparit Town Centre</u>	Yes	No	No	No	No	No	No	No
HO15	<u>Hindmarsh Hotel, 48-50 Roy Street</u> Statement of significance: <u>Jeparit Town Centre</u>	Yes	No	No	No	No	No	No	No
HO16	<u>Jeparit Cooperative Store (Former), 52 Roy Street</u> Statement of significance: <u>Jeparit Town Centre</u>	Yes	No	No	No	No	No	No	No
HO17	<u>National Australia Bank, 33 Roy Street</u> Statement of significance:	Yes	No	No	No	No	No	No	No

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	<u>Jeparit Town Centre</u>								
HO18	Hopetoun House Hotel, <u>29-31 Roy Street</u> Statement of significance: <u>Jeparit Town Centre</u>	Yes	No	No	No	No	No	No	No
HO19	<u>Jeparit Post Office (Former), 30 Broadway</u> Statement of significance: <u>30 Broadway, Jeparit</u>	Yes	No	No	No	No	No	No	No
HO20	<u>Jeparit Fire Station, 77 Broadway</u> Statement of significance: <u>77 Broadway, Jeparit</u>	No	No	No	No	No	No	No	No
HO32	Wimmera Mallee Pioneer Museum, <u>72 Charles Street</u> Statement of significance: <u>72 Charles Street, Jeparit</u>	Yes, <u>historic buildings relocated to site only</u>	Yes, <u>historic buildings relocated to site only</u>	No	Yes, <u>historic buildings relocated to site only</u>	No	No	No	No
HO41	<u>Jeparit Timber Road Bridge (Wimmera River), River Road</u> Statement of significance: <u>Jeparit Timber Road Bridge</u>	No	No	No	Yes	No	No	No	No
HO42	<u>Jeparit Weir (Wimmera River), Lake Road</u> Statement of significance: <u>Jeparit Weir</u>	No	No	No	Yes	No	No	No	No
<u>HO46</u>	<u>Jeparit Railway Bridge (Wimmera River), Lake Road</u> Statement of significance:	No	No	No	Yes	No	No	No	No

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	<u>Jeparit Railway Bridge</u>								
HO47	<u>Jeparit Memorial Avenue, Broadway</u> Statement of significance: <u>Jeparit Memorial Avenue</u>	No	No	Yes – Aleppo Pine (<i>Pinus brutia</i>)	Yes	Yes – stone boundary fence	No	No	No
	Kenmare								
HO23	<u>Kenmare Primary School No.3221 (Former), Birchip-Rainbow Road</u> Statement of significance: <u>Kenmare Primary School No.3221 (Former)</u>	No	No	No	No	No	No	Yes	No
	Nhill								
HO26	<u>Nhill Post Office, 98-100 Nelson Street</u> Statement of significance: <u>98-100 Nelson Street, Nhill</u>	Yes	No	No	Yes	No	No	No	No
HO27	<u>Nhill Railway Station, 11-21 Whitehead Avenue, 58 Nelson Street</u> Statement of significance: <u>11-21 Whitehead Avenue & 58 Nelson Street</u>	Yes	No	No	No	No	No	No	No
HO28	<u>Lowan Shire Hall (Former), 104-106 MacPherson Street</u> Statement of significance: <u>104-106 MacPherson Street, Nhill</u>	Yes	Yes	No	Yes	No	No	No	No
HO29	<u>Nhill Court House, 110 MacPherson Street</u> Statement of significance:	Yes	Yes	No	Yes	No	No	No	No

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	<u>110 MacPherson Street, Nhill</u>								
HO30	Yetholm, <u>25 Nelson Street</u> Statement of significance: <u>25 Nelson Street, Nhill</u>	Yes	No	No	Yes	No	No	No	No
HO36	John Shaw Neilson <u>Cottage and Memorial</u> , <u>83-91 Victoria Street and Western Highway</u> Statement of significance: <u>John Shaw Neilson Cottage and Memorial</u>	No	No	No	Yes	No	No	No	No
HO37	<u>Nhill A. & P. Society Showgrounds, 95-99 Victoria Street</u> Statement of significance: <u>95-99 Victoria Street, Nhill</u>	No	No	No	No	No	No	No	No
HO48	<u>Nhill Soldiers' Lounge, 7 Clarence Street</u> Statement of significance: <u>7 Clarence Street, Nhill</u>	No	No	No	No	No	No	No	No
HO49	<u>Lowan Shire War Memorial, Victoria Street</u> Statement of significance: <u>Lowan Shire War Memorial</u>	No	No	Yes – <u>Canary Island palms</u>	Yes	No	No	No	No
HO50	<u>Nhill Band Rotunda, Victoria Street</u> Statement of significance: <u>Nhill Band Rotunda</u>	No	No	No	Yes	No	No	No	No
	Pella								

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HO8	<u>St John's Lutheran Church complex, Pella Church Road</u> Statement of significance: <u>Pella Church Road, Rainbow</u>	Yes	Yes, <u>church and former school only</u>	No	<u>Yes, church and former school only</u>	No	No	<u>Yes</u>	No
HO43	Stasinowsky's Lime Kiln, Pella Church Road and 3 Chain Road Rainbow	-	-	-	Yes	-	Register No. 1959	No	No
HO6	Yurunga Homestead, Cust Street	-	-	-	Yes	-	Register No. H598	No	No
HO21	Baptist Church (Former), <u>38 Taverner Street</u> Statement of significance: <u>38 Taverner Street, Rainbow</u>	Yes	No	No	<u>No</u>	No	No	No	No
HO22	Rainbow <u>State School No. 3313 (Former), 30 Bow Street</u> Statement of significance: <u>30 Bow Street, Rainbow</u>	Yes	No	No	<u>No</u>	No	No	No	No
HO24	<u>Rainbow Court House (Former), 9 Eddy Street</u> Statement of significance: <u>9 Eddy Street, Rainbow</u>	Yes	Yes	No	<u>No</u>	No	No	No	No
HO25	<u>St Paul's Anglican Church & Hall, 12 Eddy Street</u> Statement of significance: <u>12 Eddy Street, Rainbow</u>	Yes	No	No	<u>Yes – church only</u>	No	No	No	No

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HO33	Rainbow Town Centre Heritage Precinct <u>1-57 & 10-62 Federal Street, 24-34 King Street</u> Statement of significance: <u>Rainbow Town Centre</u>	Yes	No	Yes - <u>Canary Island palms in Federal Street median</u>	No	No	No	No	No

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APPENDIX F – NEW HERITAGE POLICY (CLAUSE 15.03-1L)

Heritage policy

Policy application

This policy applies to all land within a Heritage Overlay.

Strategies

General

Promote new development that respects and complements the contributory features of the heritage place, including:

- Building height, scale, massing, and form.
- Roof form and materials.
- Siting, orientation, and setbacks.
- Fenestration and proportion of solid and void features.
- Details, colours, materials, and finishes.

Avoid development that would result in the incremental or complete loss of significance of a heritage place by:

- ▶ Demolishing or removing a building or feature identified as Significant or Contributory within a heritage precinct.
- ▶ Altering, concealing or removing a feature, detail, material or finish that contributes to the significance of the heritage place.

Avoid distorting or obscuring the significance of the heritage place by using historic styles and detail where these previously did not exist.

Demolition and relocation

Prioritise the conservation, restoration, or adaption of a heritage place over demolition.

Discourage the complete demolition of any building or feature that contributes to the significance of a heritage place unless:

- ▶ The building or feature is structurally unsound, and the defects cannot be rectified.
- ▶ New evidence has become available to demonstrate that the building is not of heritage significance and does not contribute to the heritage place

Avoid demolition where it would result in the retention of only the façade and/or external walls of a Significant or Contributory building.

Support demolition of part of a Significant or Contributory building or feature if it will not adversely impact upon the significance of the place and any of the following apply:

- ▶ It will remove an addition or alteration that detracts from the significance of the place.
- ▶ It is associated with conservation works to the building.
- ▶ It will allow an historic use to continue.

- ▶ It will facilitate a new use that will support the conservation of the building.

Avoid the relocation of a building or feature that contributes to the significance of a heritage place unless a suitable new location is secured and either:

- ▶ The relocation is the only reasonable means of ensuring the continued existence of the building or feature and the option of retaining it in the current location is not feasible.
- ▶ The building or feature has a history of relocation and/or is designed for relocation.

Allow demolition or removal of a Non-contributory building in a heritage precinct, or any building or feature that does not contribute to the significance of a heritage place.

Conservation

Prioritise the maintenance and repair, rather than replacement of features, details, materials or finishes that contribute to the significance of heritage places, including:

- ▶ Verandahs, balconies and awnings.
- ▶ Doors and windows.
- ▶ Wall materials and details.
- ▶ Roof materials and details.
- ▶ Shopfronts.
- ▶ Chimneys.
- ▶ Front fences.
- ▶ Historic signage.

Encourage accurate 'like for like' replacement of features, details, materials or finishes that contribute to the significance of heritage places if they are damaged and cannot be repaired or are missing.

Encourage the accurate restoration or reconstruction of features, details, materials or finishes that have been partially or fully removed or replaced.

Support full reconstruction in exceptional circumstances (for example, if a building has been destroyed by fire) when there is sufficient physical or documentary evidence to enable accurate reconstruction.

Encourage the conservation of alterations and additions where they contribute to the significance of the place.

Conserve original colour schemes and ensure new colour schemes are appropriate to the architectural style of the building where external paint controls are triggered.

Discourage the painting of originally unpainted surfaces.

For buildings originally used for commercial or industrial purposes, encourage conservation of features such as equipment, machinery or signage that provide evidence of the original use.

Alterations

Discourage alterations to:

-
- ▶ The principal façade, roof or any walls or surfaces visible from the public realm including a side street or laneway for Significant and Contributory places.
 - ▶ Any feature, detail, material or finish specified in the statement of significance for Significant places.

Support alterations to visible or contributory fabric of Significant or Contributory places if it will not adversely impact upon the significance of the place and any of the following apply:

- ▶ It will allow an historic use to continue.
- ▶ It will facilitate a new use that will support the conservation of the building.
- ▶ It will improve the environmental performance of the building.

Additions

Support additions to buildings that retain principal and visible facade/s and roof features, and which:

- ▶ Respect the scale and massing of the existing heritage building or streetscape; and
- ▶ Maintain the prominence of the heritage features of the building or streetscape and do not detract from, or visually dominate, the heritage building or streetscape; and
- ▶ Are visually recessive against the heritage fabric.

New buildings

Support new buildings that respect and complement Significant and Contributory buildings in relation to form, scale, massing, siting, details, and materiality.

Fencing

Encourage conservation of fences or gates that contribute to the significance of a heritage place.

Ensure the height, materials, detailing and colours of front fences are appropriate to the architectural style of the heritage place.

Encourage new fences or gates for Non-contributory places to be in a simple contemporary style that complements the fences historically found in the heritage precinct.

Signage

Encourage the conservation of historic signs.

Encourage signs to be in traditional locations on heritage buildings,

Avoid signs that would:

- ▶ Be visually intrusive or dominant.
- ▶ Detract from the setting of a heritage place.
- ▶ Alter, damage, conceal or destroy features, details, materials or finishes that contribute to the significance of a heritage place.
- ▶ Interfere with views of heritage places.

Avoid the following types of signs unless consistent with the significance of the place:

- ▶ Animated, Electronic or Floodlit signs.
- ▶ Bunting sign.
- ▶ High-wall sign.
- ▶ Panel sign.
- ▶ Pole sign.
- ▶ Promotion or major promotion signs.
- ▶ Reflective sign.
- ▶ Sky sign.

Significant trees and gardens

Encourage pruning practices and procedures that reduce the risk of hazard development such as branch failure, disease and infection and premature tree death.

Ensure that development, or changes in immediate environmental conditions, adjacent to a tree identified will not have a detrimental impact upon the integrity and condition of the tree.

Where a tree needs to be removed due to poor health or dangerous condition, encourage replacement with the same species or a comparable alternative if the original is no longer suitable.

Sustainability and services

Encourage building services and equipment associated with a heritage place such as air conditioning units and piping, water heaters and the like to be concealed so they are not visible from a street (other than a lane).

Provide for the installation of solar energy systems that will support environmental sustainability such as solar panels, solar hot water services, water tanks and the like in visible locations when:

- ▶ There is no feasible alternative location due to the size or orientation of the lot or building.
- ▶ The system is selected, designed and installed in a manner that minimises potential impacts upon the heritage place and its setting.

Subdivision

Ensure that subdivision maintains an appropriate setting for a heritage place by including the retention of contributory features associated with a heritage place on a single lot.

Public realm and infrastructure

Conserve historic public realm infrastructure.

Ensure that new public realm infrastructure respects and complements the historic character of the heritage place.

Policy documents

Consider as relevant:

- ▶ *Hindmarsh Heritage Assessment Study* (David Helms Heritage Planning, 2023)
- ▶ *Hindmarsh Heritage Guidelines* (2023)

APPENDIX G – HERITAGE GUIDELINES

Hindmarsh Heritage Guidelines

Final (April 2023)



What is heritage?

Heritage is what we have inherited from the past and wish to hand onto future generations. It includes buildings, places, trees, landscapes and our customs, language, and beliefs.

Heritage places enrich our lives by providing a window to the past and illustrating the origins of our communities. Heritage places add character, appeal and interest to our cities, towns, and countryside. They are irreplaceable and precious.

Respect for our cultural heritage involves protecting and conserving places that have importance to us as a community.

St Peter's Anglican Church, opened in 1885, is one of the oldest buildings in Dimboola and a fine example of a Victorian era Gothic style church.



Purpose

The objective of the *Hindmarsh Heritage Guidelines* is to encourage and support the conservation of heritage places in Hindmarsh Shire.

The purpose of the Guidelines is to provide both Council and property owners or occupiers with clear guidance for decision making in relation to the future management and development of heritage places.

The Guidelines follow the philosophy, principles and processes set out in the *Australia International Council on Monuments and Sites (ICOMOS) Charter* (the *Burra Charter*¹). The aim is not to prevent change, but to ensure that change does not diminish the cultural significance of heritage places over time. A guiding principle of the *Burra Charter* is:

Do as much as is necessary, but as little as possible

Application and scope

The Guidelines apply to all properties included within the heritage overlay (HO) in Hindmarsh Shire.

¹ The Charter takes its name from Burra in South Australia where it was drafted.

The Guidelines explain what Council will take into consideration when assessing an application for development or subdivision of land. They will be considered in conjunction with other relevant State and local planning policies and controls contained in the Hindmarsh Planning Scheme.

The Guidelines do not provide solutions for every individual design issue that might arise, but rather are a starting point that provide some guiding principles.

The Guidelines include the following sections:

- How to prepare an application
- Guideline 1: Conservation (including painting, restoration and reconstruction)
- Guideline 2: Alterations and additions
- Guideline 3: New buildings and fencing
- Guideline 4: Signage
- Guideline 5: Demolition
- Guideline 6: Sustainability and services
- Guideline 7: Subdivision
- Guideline 8: Significant trees

How to prepare an application

Hindmarsh Council encourages property owners and managers to discuss any proposals with Council prior to preparing an application for any new development.

The following steps are recommended:

- Speak to a member of the Planning Team about planning permit requirements. They can also advise if there are other planning controls, guidelines, or policies that you should consider.
- Depending on the works, roughly sketch some concepts and include photos of the building and arrange for the concept plans to be reviewed by Council's heritage advisor.
- If necessary, an on-line meeting with Council's heritage advisor can be arranged.
- Once an approach has been agreed to, prepare an application.

The Planning Team can be contacted on (03) 5391 4444 or make an appointment to meet in person at the: Nhill Customer Service Centre (Monday to Friday, 8.30am – 5pm)

When preparing an application, it is important to understand the architectural character and historical development of your building.

The *Hindmarsh Heritage Assessment Study* has a citation for each heritage place in the municipality, including a statement of significance that explains the reasons why it is an important part of the heritage of Hindmarsh Shire.

As well as individual properties, three heritage precincts are included in the heritage overlay. These are the Dimboola Town Centre, Jeparit Town Centre and Rainbow Town Centre.

The citations for each heritage precinct describe the buildings and features that contribute to the significance of the precinct and each property is identified as follows:

- **Significant:** These are places of individual heritage significance that also contribute to the significance of the precinct. They will be specifically mentioned in the statement of significance and may also have an individual citation.
- **Contributory.** These are places that contribute to the significance of the precinct but are not of individual heritage significance.

- **Non-contributory.** These are properties that do not contribute to the significance of the precinct. While they are still subject to heritage overlay controls the Guidelines allow greater flexibility to develop these properties.

<p>Significant heritage place</p> <p><i>The former Dimboola Shire Offices is a Significant heritage place within the Dimboola Town Centre precinct.</i></p> <p><i>As well as contributing to the heritage character of Lloyd Street it has historic and social significance as the first council offices for the Shire of Dimboola and is one of the oldest buildings in Hindmarsh Shire.</i></p>	
<p>Contributory heritage place</p> <p><i>The shops at 44-50 Federal Street are Contributory to the Rainbow Town Centre precinct.</i></p> <p><i>They contribute to the historic, representative, and aesthetic significance of the precinct, as intact interwar shops with original shopfronts.</i></p>	
<p>Non-contributory property</p> <p><i>This c.1960s cream brick building is a Non-contributory property within the Rainbow Town Centre precinct.</i></p>	

Guideline 1: Conservation

Conservation includes all the ways we look after buildings. It includes repairs and maintenance, which do not require a planning permit and can avoid the need for costly replacement in the future!

Original fabric and details of heritage buildings – such as roof cladding, weatherboards, windows, doors, chimneys, shopfronts, verandahs, decorative details, and fences – should be retained, repaired, and restored to their original appearance wherever possible.

Where the condition of original fabric and details has deteriorated to an extent that it is beyond repair, it should be replaced 'like for like': that is, using the same materials and finishes, and with the same details.

The same principle applies to replacement (also called 'reconstruction') of missing or damaged/altered features. To ensure an accurate result, reconstruction of missing features should be based on physical (for example, surviving examples of the same feature on the building) or documentary (for example, early photos) evidence.

If there is not enough evidence for an accurate reconstruction, then a simplified design appropriate for the style of the building should be used.

Repairs and maintenance that do not require replacement of original fabric do not require a planning permit. However, replacement of original features, even if done 'like for like' may require a planning permit – please check with the Council planning department.

Tip: Avoid the incorrect use of traditional details or materials or adding a feature that never existed. For example, simple timber Victorian cottages usually did not have ornate cast iron verandahs, and some commercial buildings such as hotels and banks never had a verandah or awning. Council's heritage advisor can provide advice.

Painting

Regular repainting protects buildings from the weather and authentic colour schemes enhance the appearance of buildings and can add to their resale value.

Original colour schemes should be retained, and new colour schemes should be appropriate for the architectural style of the building. Appropriate colour schemes for historic buildings are suggested in Attachment 2.

Previously unpainted surfaces, such as brick, render and timber shingle, should *not* be painted or rendered.

Paint can be removed gently from brick and stone by experienced contractors. Sandblasting destroys brick and should not be used.

The historic appearance and charm of the Victoria Hotel at Dimboola is enhanced by a sympathetic colour scheme.



Guideline 2: Alterations and additions

Alterations are works, repairs and routine maintenance that change the appearance of a building or are not carried out to the same details, specifications, and materials.

Alterations to a heritage building should not obscure, alter or remove original features and details that contribute to the significance of the building.

For example, replacement of original timber windows with aluminium would not be supported.

The introduction of new elements in locations visible to the public is discouraged, such as dormer windows, porticos, verandahs, and window and door openings in the principal elevation(s).

Tip: The statement of significance will identify the features that contribute to the significance of the heritage place or precinct.

For Contributory buildings in heritage precincts contributory features and details are generally those that are visible to the public.

Similarly, additions to heritage buildings should not change principal elevations and, as far as possible, should be concealed behind the original building.

Where they are visible to the public, additions should respect the scale, form, siting, massing, materiality and detailing of the host building and, where relevant, the surrounding heritage precinct.

New work should be distinguishable from old, while being sympathetic with the significant fabric (see Case Study 1). This can be achieved by:

- Using a similar material, but with a different texture.
- Using a similar, but simplified design for detailing of windows, verandahs, chimneys etc.
- Avoiding strong contrasts in colour and finish between old and new fabric.
- Avoiding the use of imitation historic detailing such as small paned windows, cast iron decoration, ornate decorative features etc.

Where additions to heritage buildings will not be visible or will be substantially concealed from the street there is more flexibility (see Case Study 2).

The requirements for alterations and additions to Non-contributory buildings are less strict. Alterations are permissible and new additions should respect the scale, form, siting, massing, and setbacks of nearby Contributory heritage buildings.

The addition of reproduction or “mock” heritage features and details to non-contributory buildings (such as cast-iron verandahs) is not appropriate and will not be supported.

The following case studies illustrate different approaches to additions to heritage buildings in Hindmarsh Shire.

Case Study 1: Jeparit Fire Station

Jeparit Fire Station is sited with the median of Broadway and is visible from all sides. The additions to the Jeparit Fire Station respect and are sympathetic to the original building by being sited to the rear, having a simple gabled form, and cladding in a muted colour, with a discreet narrow, glazed link between the old and new buildings.



Case Study 2: Dimboola Shire Hall

The addition to the former Dimboola Shire Hall in Lloyd Street, Dimboola adopts a modern architectural expression and materials. However, the siting well behind the original building and the discreet connection using a narrow, glazed link ensures that it is a visually recessive element that respects and does not dominate the heritage building or the surrounding Dimboola Town Centre heritage precinct.



Guideline 3: New buildings and fencing

New buildings in a heritage precinct should respect and complement the scale, form, siting, materials and detailing of Significant and Contributory buildings within the precinct:

- New buildings should be distinguishable from old, while being sympathetic. This can be achieved by:
 - Using similar roof forms where this is an important characteristic or, in town centre precincts, concealing the roof behind a parapet.
 - Using similar materials, but with a different texture.
 - Using a similar, but simplified design for detailing of windows, verandahs, chimneys etc.
 - Visible windows and doors having similar proportions. Except for shopfronts, large expanses of glass should be avoided.
 - Avoiding strong contrasts in colour and finish between old and new fabric.
- Use of imitation heritage details such as cast-iron lacework is discouraged. However, simplified detailing that interprets historic features may be acceptable. For example, a simple timber skillion verandah with no cast-iron.
- The height is consistent with Significant and Contributory buildings in the precinct.
- The front and side setbacks should be the same as the adjoining Significant or Contributory buildings. Where the adjoining setbacks are different, then an average should be used.
- In town centre precincts zero front and side setbacks are usually appropriate.

Carpports, garages, and outbuildings

Carpports, garages, and outbuildings should not be sited in front yards of buildings.

Where possible, they should be sited within rear yards or within side yards and setback at least 1m from the front wall of the building.

Fencing

Original front fences and gates should be retained wherever possible. If deteriorated, they should be repaired, or elements replaced in kind where necessary.

New front fences should be appropriate in height, style, and material to the building they front. As a rule, simple houses had simple fences.

This simple timber picket fence complements the former Dimboola Court House.



Guideline 4: Signage

It is important to strike a balance between the needs of businesses to have adequate identification and ensuring that new signage does not become a dominant element that detracts from the historic character of heritage buildings and precincts.

Original signage that contributes to the significance of a heritage place should be conserved and remain visible, wherever possible.

New signs should be limited in number and located in traditional locations on heritage buildings such as flat against the parapet, within the fascia, below the verandah/awning, or on piers beside the shop windows.

New signs should not:

- Obscure, conceal or require the alteration or removal of architectural features and detailing including first floor windows.
- Project above a parapet, roof or a verandah or awning fascia, or above or beyond a wall.
- Be internally illuminated, unless it is an under-verandah sign.

The 'Jellex' sign on the northeast wall of the Dimboola IGA in Lochiel Street is a rare example of an early painted sign.



Guideline 5: Demolition

Full demolition of a heritage building will only be permitted if it can be proven that the building is structurally unsound or beyond reasonable repair and re-use. This must be demonstrated by a report from a suitably qualified building or engineering consultant.

Part demolition of a heritage building is permissible if it does not impact upon the heritage significance of the place. For example:

- Removing non-original additions or any feature that does not contribute to the significance of the heritage place.
- Removing the rear section of a Contributory building to allow for an addition.

However, removal of publicly visible original features such as chimneys, architectural details, verandahs, shopfronts, windows etc. will not be supported.

Full or part demolition of Non-contributory buildings within heritage precincts is acceptable but requires a planning permit.

Guideline 6: Sustainability and services

Wherever possible building services and equipment such as air conditioning units, water heaters and the like to be concealed so they are not publicly visible from a street (other than a lane) or public park.

Services and equipment that will support environmental sustainability such as solar panels, solar hot water services, water tanks and the like may be installed in visible locations when:

- There is no feasible alternative location due to the size or orientation of the lot or building, and
- It is designed and installed in a manner that minimizes potential impacts upon the heritage place and its setting.

The solar panels on the former Rainbow Court House have been positioned so they are not visible when viewed from the front.



Guideline 7: Subdivision

Ensure that subdivision maintains an appropriate setting for a heritage place including the retention of contributory features associated with a heritage place on a single lot.

Avoid the creation of lots that because of their size, location or layout could result in new development that would adversely impact upon the setting of a heritage place. For example, by:

- Cutting through the middle of buildings, except as part of strata-titling.
- Resulting in contributory features associated with a heritage place being on separate allotments.
- Creating the opportunity for new development that will conceal or result in loss of views to the heritage place.

Guideline 8: Significant trees

Significant trees in Hindmarsh Shire include historic street trees in Lochiel Street, Dimboola, the Avenue of Honour at Dimboola Memorial Secondary College, and the mature indigenous and exotic trees at the Dimboola Recreation Reserve.

The aim for Significant trees is to encourage retention as far as possible within their normally expected lifespan and to avoid development that could threaten their on-going viability.

New buildings, structures or works adjacent to a significant tree should not have a detrimental impact upon the integrity and condition of the tree.

Where significant tree/s need to be removed due to poor or declining health or dangerous condition, encourage 'like for like' or comparable replacement of the tree/s. An alternative species of tree, or no replacement, may be considered when:

- Changes in the site conditions since the species was first planted mean that the original species is no longer appropriate or is no longer suitable (for example, due to proximity to buildings or structures).
- The original species is inappropriate given the local climate, soils or other reasons and an alternative would be more suited.
- The species is identified as an environmental weed and cannot be appropriately managed when planted.
- The species is at risk from pest or disease and another species would be more appropriate.

To maintain the form and health of trees pruning should be in accordance with AS 4373 – 2007 'Pruning of Amenity Trees'.

The Avenue of Honour at Dimboola Memorial Secondary College commemorating those who served in World War I was originally planted in 1924. Since then, trees in poor condition have been replaced on at least two occasions with different species and new trees added for those who served in other conflicts.



Attachment 1 – Heritage Paint Schemes

Paint serves to protect and/or decorate buildings. An appropriate historic colour scheme is a simple and often inexpensive way of enhancing or revealing the heritage significance and historic character of a building or area.

Historic colour schemes used a limited range of colours up to World War Two. Although new colours became available during the interwar period (c.1919 to c.1940), tradition resulted in the continuing use of the same or similar colours from prior to World War One.

Inappropriate colour schemes can detract from the appearance of buildings and streetscapes, and incorrect techniques or lack of maintenance can result in damage or lead to the deterioration of building fabric. Common mistakes include using the wrong colours or too many colours, painting of unpainting surfaces, and use of incorrect techniques such as sandblasting to remove old paint.

Most of the heritage buildings in Hindmarsh Shire were constructed from the late Victorian era to the interwar period. That is, from around c.1890 to the 1930s. In the historic town centres, most of the buildings are brick (or rendered brick), and many have post-supported verandahs or awnings.

A consistent and accurate approach to colour schemes will enhance the appearance of the town centre streetscape and reveal their historic character.

How to choose an appropriate colour scheme

Please refer to the attached colour charts. Simple colour schemes using a maximum of three colours should be used, as follows:

- Choose a dark/deep colour for trim. Most commonly, this will usually be a deep green or red, but there are other options as shown on the attached colour chart. This should be applied to timber framing including window and door frames, and verandah posts and beams.
- Choose a light colour for the main body of the building for use on weatherboard or painted render surfaces (including to parapets). As shown on the colour chart, off-whites, cream, buff, biscuit, beige, pale stone are appropriate. This light colour may also be used on the verandah beam or fascia, as an alternative to the dark trim, or as contrasting detail with the dark trim (for example, window sashes).
- If required, choose a mid-colour for wall or parapet details. This should be a deeper tone of the main body colour.

Unpainted surfaces such as brick and render, and metal or tiled shopfronts should always remain unpainted (see below).

A colour scheme using non-traditional colours may be considered if it follows the same principles of a light colour for the main body, and dark colour for the trim details.

Notes

The colours in the chart are shown as close as possible to actual paint colours, but are intended as a guide only and colour names may differ depending on the brand and product range. For accurate colours, please refer to your local paint supplier.

Most paint suppliers can usually match traditional colours, and any manufacturer's colour can be replicated in another product.

Changing the strength of colours can assist in achieving a desired effect, especially where variations of the same colour are desired. However, some deep colours are made independent of a base and can be added to, but not reduced in strength.

It is recommended never to try patching paintwork as the surface of old paint will always differ from the new in gloss and texture due to weathering.

Where painting over an existing painted timber surface, complete removal of existing paint is not necessary.

Paint removal and sanding of timber surfaces should be done with care. The use of circular sanders is not advised, as in inexperienced hands they can leave circular patterns on plain surfaces. Paint removal from timber surfaces is best achieved with heat guns and scrapers.

Note: Timberwork should never be stripped of paint, as this will expose the wood to the weather leading to rot and deterioration.

Firmly adhered paint should simply be sanded with the edges to missing areas feathered out. The missing paint should then be replaced with primer and undercoats as necessary.

Where the difference between the surfaces is great, it is best to use low-sheen paints that are less reflective.

Early paints were frequently lead-based. Appropriate protective steps should be taken, as required.

Caring for unpainted surfaces

Do not paint unpainted surfaces such as brick, unpainted render or stone walls, or metal frames or tilework around shopfronts.

Remove paint where it has been inappropriately applied by a method that does not cause damage to the original fabric. The appropriate method will depend on the type of paint and the surface where it has been applied.

Note: Sandblasting should not be used in any circumstances, as this will cause damage to the fabric.

If render has been painted, then an alternative to complete removal is to repaint with matt or textured-finish paint in light grey or cream.

Notes

Painting over unpainted surfaces can detract from the appearance of buildings and also creates unnecessary maintenance costs into the future.

While removal of paint may seem expensive in the short term, it can over time result in significant savings by not having to repaint, and can also enhance the appearance and value of the building.

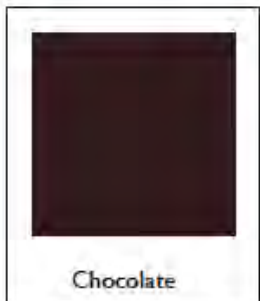


Example 1 – the simple two-colour scheme for this pair of timber shops in Lloyd Street, Dimboola is generally appropriate, although the use of the dark colour to the parapet detail is not historically correct – a deeper shade of the light colour would be better.



Example 2 - The contrast between the unpainted face brickwork and the painted render is an important feature of this former bank in Lochiel Street, Dimboola.

Dark Trim Colour examples



Main Body or Light Trim colour examples



APPENDIX H – POTENTIAL HERITAGE PLACES

Precinct

Hermes 209592	NHILL TOWN CENTRE	2-36 & 7-61 VICTORIA STREET, AND 67-105 NELSON STREET, AND 125-141 MACPHERSON STREET, AND 8 CLARENCE STREET, NHILL
209047	Young Bros. Auction Rooms (former)	99 NELSON STREET, NHILL
209048	Commercial Hotel	105 NELSON STREET, NHILL
209049	Farmers Arms Hotel	2-4 VICTORIA STREET, NHILL
208901	Former Commercial Bank	15 VICTORIA STREET, NHILL
206392	John L. Barnes building	24 & 26 VICTORIA STREET, AND 2 BROUGHAM STREET, NHILL
208987	Rintoules Union Hotel	41 VICTORIA STREET, NHILL
208988	National Australia Bank	51 VICTORIA STREET, NHILL
208989	National Bank of Australasia (Former)	28 VICTORIA STREET, NHILL

Railway Grain Silos Serial Listing

Hermes 209583	Railway Grain Silos	DIMBOOLA-RAINBOW ROAD, ANTWERP ARKONA-KATYIL ROAD, DIMBOOLA (ARKONA) UPPER REGIONS STREET, DIMBOOLA RAILWAY STREET, GERANG GERUNG BROADWAY, JEPARIT ELLAM-WILLENABRINA ROAD, JEPARIT (ELLAM) WESTERN HIGHWAY, KIATA LORQUON STATION-JEPARIT ROAD, LORQUON NETHERBY SOUTH ROAD, NETHERBY 10 SALISBURY-WOORAK ROAD, KIATA (SALISBURY) NHILL-DIAPUR ROAD, NHILL (TARRANGINNIE) TARRANYURK EAST ROAD, TARRANYURK MAUDE STREET, YANAC
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Individual places

Places in italics form part of the Railway Grain Silos group listing.

No.	Hermes no.	Place name	Location
1.		ANTWERP (DIMBOOLA)	
2.	208925	Antwerp Public Hall	ANTWERP-WOORAK ROAD, ANTWERP
3.	209176	Timber Road Bridge (Wimmera River)	ANTWERP-WOORAK ROAD, ANTWERP
4.	209175	Antwerp Methodist Church	1760 DIMBOOLA-RAINBOW ROAD, ANTWERP
5.	209316	Antwerp Cemetery	DIMBOOLA-RAINBOW ROAD, DIMBOOLA
6.	<i>209583</i>	<i>Railway Grain Silo</i>	<i>DIMBOOLA-RAINBOW ROAD, DIMBOOLA</i>
7.		ARKONA (DIMBOOLA)	
8.	209608	Old Shed with faded advertising sign	DIMBOOLA-RAINBOW ROAD, DIMBOOLA
9.	<i>209583</i>	<i>Railway Grain Silo</i>	<i>ARKONA-KATYIL ROAD & DIMBOOLA-RAINBOW ROAD, DIMBOOLA</i>
10.		BOYEO (NHILL)	
11.	209083	Boyeo Public Hall & Recreation Reserve	MCDONALD'S ROAD, NHILL
12.	209084	Boyeo State School No.2577 (Former)	MCDONALD'S ROAD, NHILL
13.		DIAPUR (NHILL)	
14.	208984	Diapur Public Halls	NHILL-DIAPUR ROAD, AND RESERVE ROAD, NHILL
15.	209621	Diapur Railway Station Tank	NHILL-DIAPUR ROAD, NHILL
16.		DIMBOOLA	
17.	209577	Anderson Street Houses	31-51 ANDERSON STREET, DIMBOOLA
18.	209574	Railway Staff Houses	83 & 85, 101-113, 127-133 ELLERMAN STREET, AND 30, 32 & 36 HINDMARSH STREET, AND 43 & 45 NORMANBY STREET, DIMBOOLA
19.	209582	House (Terrington)	15 ELLERMAN STREET, DIMBOOLA
20.	209573	House	112 ELLERMAN STREET, DIMBOOLA
21.	209612	House and fence	1 HIGH STREET, DIMBOOLA
22.	209611	House	7 HIGH STREET, DIMBOOLA
23.	209597	Victorian Railways Institute	HINDMARSH STREET, DIMBOOLA
24.	209002	St Joseph's Catholic Church	45 HINDMARSH STREET, DIMBOOLA
25.	209598	The Summit Reservoir	HORSHAM ROAD, DIMBOOLA

No.	Hermes no.	Place name	Location
26.	209581	Horsham Road Houses	38, 40, 42, 44, 48 & 50 HORSHAM ROAD, DIMBOOLA
27.	209009	House	28 LLOYD STREET, DIMBOOLA
28.	209008	House	30 LLOYD STREET, DIMBOOLA
29.	209010	House	32 LLOYD STREET, DIMBOOLA
30.	209011	House	38 LLOYD STREET, DIMBOOLA
31.	209575	Lloyd Street Houses	124-130, 136 LLOYD STREET, DIMBOOLA
32.	209015	House	137 LLOYD STREET, DIMBOOLA
33.	209016	House	135 LLOYD STREET, DIMBOOLA
34.	209012	Dimboola Masonic Temple	5 LOCHIEL STREET, DIMBOOLA
35.	209005	House	30 LOCHIEL STREET, DIMBOOLA
36.	209006	House	8 MCDONALD STREET, DIMBOOLA
37.	209007	House	6 MCDONALD STREET, DIMBOOLA
38.	209579	Dimboola Scout Hall	20 MULLER STREET, DIMBOOLA
39.	209580	House	3 NEW STREET, DIMBOOLA
40.	209001	Dimboola Uniting Church & St Andrew's Hall	17-19 NORMANBY STREET, DIMBOOLA
41.	209017	House	33 NORMANBY STREET, DIMBOOLA
42.	209019	House	30 NORMANBY STREET, DIMBOOLA
43.	209609	House	88 UPPER REGIONS STREET, DIMBOOLA
44.	209583	<i>Railway Grain Silo</i>	<i>UPPER REGIONS STREET, DIMBOOLA</i>
45.	209596	Mrs Clark's Victoria Coffee Palace	36-38 VICTORIA STREET, DIMBOOLA
46.	209014	Union Bank (Former)	48 VICTORIA STREET, DIMBOOLA
47.	209013	State Savings Bank of Victoria (Former)	50 VICTORIA STREET, DIMBOOLA
48.	209576	House	64 VICTORIA STREET, DIMBOOLA
49.	209578	Wimmera Street Houses	73, 75 & 81 WIMMERA STREET, DIMBOOLA
50.		ELLAM (JEPARIT)	
51.	209583	<i>Railway Grain Silo</i>	<i>ELLAM-WILLENABRINA ROAD, JEPARIT</i>
52.		GERANG GERUNG	

HINDMARSH HERITAGE ASSESSMENT STUDY

No.	Hermes no.	Place name	Location
53.	208944	Gerang Memorial Hall	GERANG-GLENLEE ROAD, GERANG GERUNG
54.	209583	<i>Railway Grain Silo</i>	<i>RAILWAY STREET, GERANG GERUNG</i>
55.		GLENLEE	
56.	208896	Lutheran Day School, Ni Ni Well State School	NI NI WELL ROAD, AND WOORAK WEST-NI NI ROAD, GLENLEE
57.	209583	<i>Railway Grain Silo</i>	<i>RAILWAY STREET, GERANG GERUNG</i>
58.		JEPARIT	
59.	208997	Houses	16 BROADWAY, AND 12 CHARLES STREET, AND 1-3 JOHN STREET, AND 7 ROY STREET, AND 45 ROY STREET, AND 15 UPPER ROY STREET, AND 17 UPPER ROY STREET, JEPARIT
60.	209583	<i>Railway Grain Silo</i>	<i>BROADWAY, JEPARIT</i>
61.	208998	House and front fence	19-21 BROADWAY, JEPARIT
62.	208999	House and former shop or office	24 & 26 BROADWAY, JEPARIT
63.	209572	House and front fence	51 BROADWAY, JEPARIT
64.	209567	House	61 BROADWAY, JEPARIT
65.	209000	Jeparit Masonic Lodge No.387	45 CHARLES STREET, JEPARIT
66.	209570	John Street Houses	4, 6, 10 & 12 JOHN STREET, JEPARIT
67.	209569	House (Kingsland)	1 ROY STREET, JEPARIT
68.	209622	Jeparit Town Centre Additions	14-16, 18, 20-24, 21-23, 25, 26-34, 35-37, 36, 38, 19-43 & 46 ROY STREET, JEPARIT
69.	209179	Sir Robert Menzies Memorial & Reserve	SANDS AVENUE, JEPARIT
70.	209571	House	27 SANDS AVENUE, JEPARIT
71.	208227	House (former St John's Manse)	31 SANDS AVENUE, JEPARIT
72.	209568	House	43 SANDS AVENUE, JEPARIT
73.		KENMARE	
74.	209555	Kenmare Cemetery	BIRCHIP-RAINBOW ROAD, KENMARE
75.		KIATA	
76.	209475	Homestead complex	40 DAHLENBURG ROAD, KIATA
77.	209477	Church (Former)	24 VICKERY STREET, KIATA
78.	209583	<i>Railway Grain Silo</i>	<i>WESTERN HIGHWAY, KIATA</i>

No.	Hermes no.	Place name	Location
79.	208942	Little Desert Hotel	6163 WESTERN HIGHWAY, KIATA
80.	208943	Kiata Hall	6171 WESTERN HIGHWAY, KIATA
81.		LORQUON	
82.	208945	Lorquon Memorial Hall	AFFLECK STREET, LORQUON
83.	208946	Methodist Church	1 MILLER STREET, LORQUON
84.	209551	House (former Presbytery?)	7 MILLER STREET, LORQUON
85.	208947	Lorquon Cemetery	LORQUON-PALMS ROAD, LORQUON
86.	209583	<i>Railway Grain Silo</i>	<i>LORQUON STATION-JEPARIT ROAD, LORQUON</i>
87.	209550	Grafton	75 LORQUON STATION-JEPARIT ROAD, LORQUON
88.		NETHERBY	
89.	208918	Lutheran Church (Former)	1 CHURCH STREET, NETHERBY
90.	208921	Netherby Methodist Church	6 CHURCH STREET, NETHERBY
91.	209549	House (former Manse)	2-20 LORQUON-NETHERBY ROAD, NETHERBY
92.	208922	Catholic Church (Former)	14 MEMORIAL PARK DRIVE, NETHERBY
93.	209583	<i>Railway Grain Silo</i>	<i>NETHERBY SOUTH ROAD, NETHERBY</i>
94.	208923	Wheatsheaf Hotel	1 WILLIAM STREET, NETHERBY
95.	208924	Shop (Former) and residence	3 WILLIAM STREET, NETHERBY
96.	208919	Netherby Public Hall	7 WILLIAM STREET, NETHERBY
97.	208920	House	9 WILLIAM STREET, NETHERBY
98.		NHILL	
99.	209226	Nhill RAAF Base and Aeradio Building (former)	78 AERODROME ROAD, NHILL
100.	209545	House (Sporn residence)	26 BROUGHAM STREET, NHILL
101.	208253	Lowan Masonic Lodge Hall	4 CAMPBELL STREET, NHILL
102.	209542	Nhill Scout Hall (former)	6 CAMPBELL STREET, NHILL
103.	208256	Nhill Library	5 CLARENCE STREET, NHILL
104.	208995	Former Noske Flour Mill & Silos	7 & 9-11 DAVIS AVENUE, NHILL
105.	209540	Davis Avenue Houses	8-14 DAVIS AVENUE, NHILL

HINDMARSH HERITAGE ASSESSMENT STUDY

No.	Hermes no.	Place name	Location
106.	208257	St Patrick's Catholic Church	27-33 LEAHY STREET, NHILL
107.	209544	House (Bound residence)	8 LOCH STREET, NHILL
108.	208992	Florence Villa	36 MACPHERSON STREET, NHILL
109.	209541	Macpherson Street Houses	38, 51, 91, 103-105, 112 MACPHERSON STREET, NHILL
110.	208254	St Paul's Lutheran Church	39 MACPHERSON STREET, NHILL
111.	208991	House (Town's Residence)	58 MACPHERSON STREET, NHILL
112.	208251	St Andrew's Presbyterian Church	102 MACPHERSON STREET, NHILL
113.	208250	St George's Anglican Church	109 MACPHERSON STREET, NHILL
114.	209584	House	19 NELSON STREET, NHILL
115.	208990	House (Goldsworthy residence)	21 NELSON STREET, NHILL
116.	209585	House	37 NELSON STREET, NHILL
117.	208996	Railway Staff Houses (former)	38-48 NELSON STREET, NHILL
118.	209546	House and front fence	41 NELSON STREET, NHILL
119.	208993	House	59 NELSON STREET, NHILL
120.	209600	Nhill Fire Station (Former)	94 NELSON STREET, NHILL
121.	209606	Homestead	239 NHILL-HARROW ROAD, NHILL
122.	209547	Homestead	1160 NHILL-YANAC ROAD, NHILL
123.	208258	Nhill Uniting Church complex	57-61 VICTORIA STREET, NHILL
124.	209225	Country Women's Association Rest Rooms	48 VICTORIA STREET, NHILL
125.	209543	Victoria Street Houses	70, 72, 76 & 80 VICTORIA STREET, NHILL
126.	209601	Boxdale Homestead	UNKNOWN NHILL
127.	209602	Oakdene Estate	UNKNOWN NHILL
128.	209603	Bonny View (William Krelle) Estate	UNKNOWN NHILL
129.	209604	Clear Bank Estate	UNKNOWN NHILL
130.	209605	Spring Hill Estate	UNKNOWN NHILL
131.		PELLA (RAINBOW)	
132.	209614	Homestead	360 DRENDEL ROAD, RAINBOW
133.	209615	Homestead	1 HEINRICH ROAD, RAINBOW

No.	Hermes no.	Place name	Location
134.	209613	Homestead	111 PIGICK-PELLA ROAD, RAINBOW
135.	209616	Homestead	500 PIGICK-PELLA ROAD, RAINBOW
136.	209617	Homestead	701 PIGICK-PELLA ROAD, RAINBOW
137.	209618	Homestead (Hillview)	702 PIGICK-PELLA ROAD, RAINBOW
138.	209619	Homestead	201 STASINOWSKY ROAD, RAINBOW
139.		PEPPER PLAINS (JEPARIT)	
140.	209178	Pepper Plains Baptist Church	1310 JEPARIT-WARRACKNABEAL ROAD, JEPARIT
141.		RAINBOW	
142.	208915	Rainbow Higher Elementary School (Former)	17 ALBERT STREET, RAINBOW
143.	209554	House	17 BOW STREET, RAINBOW
144.	209553	Houses	33 BOW STREET, AND 61 TAVERNER STREET, RAINBOW
145.	209206	St Stephen's Evangelical Lutheran Church & Hall	4 CUST STREET, RAINBOW
146.	209599	House	19 CUST STREET, RAINBOW
147.	209557	House	23 CUST STREET, RAINBOW
148.	209180	House	20 DARTS AVENUE, RAINBOW
149.	209587	Houses	8 & 10 EDDY STREET, RAINBOW
150.	209552	House and front fence	16 EDDY STREET, RAINBOW
151.	209303	Uniting (former Methodist) Church & Hall	KING STREET, RAINBOW
152.	209564	House (St Leonards)	13-15 LAKE STREET, RAINBOW
153.	209565	House (Bonaventure)	16 LAKE STREET, RAINBOW
154.	209607	Shed with painted advertising sign	RAILWAY STREET, RAINBOW
155.	209558	House	58 RAILWAY STREET, RAINBOW
156.	209620	Schuller Homestead	960 RAINBOW RISES ROAD, RAINBOW
157.	209559	House	22 RYAN STREET, RAINBOW
158.	209082	St Mary's Catholic Church	24 RYAN STREET, RAINBOW
159.	209566	House	15 SWINBOURNE AVENUE, RAINBOW
160.	209212	Presbyterian Church	44 TAVERNER STREET, RAINBOW

HINDMARSH HERITAGE ASSESSMENT STUDY

No.	Hermes no.	Place name	Location
161.	209556	House	48-50 TAVERNER STREET, RAINBOW
162.		SALISBURY (KIATA)	
163.	209583	<i>Railway Grain Silo</i>	10 SALISBURY-WOORKA ROAD, KIATA
164.		TARRANGINNIE (NHILL)	
165.	209583	<i>Railway Grain Silo</i>	NHILL-DIAPUR ROAD, NHILL
166.		TARRANYURK	
167.	209583	<i>Railway Grain Silo</i>	TARRANYURK EAST ROAD & DIMBOOLA-RAINBOW ROAD, TARRANYURK
168.		TULLYVEA (JEPARIT)	
169.	209211	Tullyvea Methodist Church	851 TARRANYURK WEST ROAD, JEPARIT
170.		WINIAM (NHILL)	
171.	208940	Winiam Mechanics' Institute and Free Library (Public Hall)	1 WINIAM HALL ROAD, NHILL
172.	208941	Winiam Cemetery	NHILL-HARROW ROAD, NHILL
173.		WOORAK (NHILL OR GLENLEE)	
174.	209204	Woorak Public Hall	NHILL-JEPARIT ROAD, NHILL
175.	209205	St Paul's Woorak Lutheran Church	NHILL-JEPARIT ROAD, GLENLEE
176.		YANAC	
177.	208917	Yanac Public Hall	4 FRANCIS STREET, YANAC
178.	209583	<i>Railway Grain Silo</i>	MAUDE STREET, YANAC
179.	209548	House and Canary Island Palm	3324 NHILL-YANAC ROAD, YANAC

APPENDIX I – HERITAGE CITATIONS (CURRENT HO PLACES)

Page No.	HO	Name	Address
		DIMBOOLA	
69	HO34	Dimboola Town Centre Heritage Precinct	Lloyd, Lochiel, Victoria, Wimmera streets
77	HO38	Dimboola Memorial Secondary College	66 Ellerman Street
85	HO1	Dimboola Primary School No.1372	Hindmarsh Street
92	HO2	Dimboola Railway Station	Hindmarsh Street & 36 Hindmarsh Street
99	HO39	Dimboola Recreation Reserve	43 Lloyd St & 2-6 Wimmera Street
105	HO5	Dimboola Shire Hall (Former)	101 Lloyd Street
110	HO4	St Peter's Anglican Church Complex	37 Lochiel Street
117	HO40	Dimboola Pumping Station site	Park Street
122	HO9	Victoria Hotel	32 Wimmera Street
		JEPARIT	
127		Jeparit Town Centre	
	HO14	<i>Jeparit Pharmacy (Former)</i>	<i>40-44 Roy Street</i>
	HO15	<i>Hindmarsh Hotel</i>	<i>48-50 Roy Street</i>
	HO16	<i>Jeparit Cooperative Store (Former)</i>	<i>52 Roy Street</i>
	HO17	<i>National Australia Bank</i>	<i>33 Roy Street</i>
	HO18	<i>Hopetoun House Hotel</i>	<i>29-31 Roy Street</i>
135	HO19	Jeparit Post Office (Former)	30 Broadway
140	HO20	Fire Brigade Station	77 Broadway
145	HO32	Wimmera Mallee Pioneer Museum	72 Charles Street
154	HO42	Jeparit Weir, Wimmera River	Lake Road
160	HO41	Jeparit Timber Road Bridge	River Road
165	HO10	Uniting Church	1-3 Sands Avenue
171	HO11	St John's Lutheran Church	35-41 Sands Avenue
		KENMARE	
178	HO23	Kenmare Primary School No.3221 (Former)	Birchip-Rainbow Road
		NHILL	
183	HO28	Lowan Shire Hall (Former)	104-106 Macpherson Street
188	HO29	Nhill Court House	110 Macpherson Street
193	HO30	Yetholm	25 Nelson Street

HINDMARSH HERITAGE ASSESSMENT STUDY

Page No.	HO	Name	Address
198	HO26	Nhill Post Office	98-100 Nelson Street
203	HO27	Nhill Railway Station & Goods Shed	11-21 Whitehead Avenue and 58 Nelson Street
208	HO36	John Shaw Neilson Cottage and Memorial	83-91 Victoria Street & Western Highway
212	HO37	Nhill A. & P. Society Showgrounds	95-99 Victoria Street
		PELLA	
219	HO8	St John's Lutheran Church	Pella Church Road, Rainbow
		RAINBOW	
227	HO33	Rainbow Town Centre	Federal Street and King Street
233	HO22	Rainbow State School No.3313	30 Bow Street
239	HO24	Rainbow Court House	9 Eddy Street
244	HO25	St Paul's Anglican Church & Hall	12 Eddy Street
251	HO21	Baptist Church (Former)	38 Taverner Street

HERITAGE CITATION REPORT

Name: DIMBOOLA TOWN CENTRE
Address: 64-120 & 65-121 LLOYD STREET, 7-21 &
18-20 LOCHIEL STREET, 39-43 VICTORIA
STREET, 27 WIMMERA STREET, DIMBOOLA

Place Type: Commercial Precinct
Citation Date: 2023

Heritage overlay: HO34
Significance Level: Local



Dimboola Town Centre

Heritage listings

VHR - No

HI - No

Planning scheme: Yes

Architectural Style:
Victorian Period (1851-1901)
Federation/Edwardian Period (1902-c.1918)
Interwar Period (c.1919-c.1940)

History and Historical Context

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 the explorer Edward Eyre arrived in the area and, with the assistance of local indigenous guides, made his way along the Wimmera River to Lake Hindmarsh, which he named after the Governor of South Australia. The first squatters arrived in the district in the 1840s and in 1859 Moravian missionaries established the Ebenezer Mission on a site at Land Hindmarsh. The mission was one of seven Aboriginal reserves in the colony

HERITAGE CITATION REPORT

by 1863.

The origins of Dimboola can be traced to the 'wine shanty' established by Matthew Ternan in 1859 at what was then known as 'Nine Creeks'. Three years later Ternan established a 'public house' and general store to serve the growing district, and community development was marked by the opening of the first Presbyterian Church, a log structure, which also served as a school. In 1863 Dimboola was proclaimed a township and the new name, chosen by district surveyor, J.G. Wilmot, was reputedly taken from a district in Ceylon 'Dimbula' where Wilmot had previously lived. That same year, Matthew Ternan died suddenly and his widow married Henry Lloyd, who became a prominent citizen of the town and is remembered by the naming of the main street in his honour.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, which commenced in 1873. The influx of settlers that followed stimulated the growth of the town and in 1875 a court was established in a room attached to one of the hotels and a timber school was erected. The development of the district led to the proclamation of Lowan Shire in December 1875, which held its first meeting in the old Dimboola Court Room in March 1876, prior to the erection of the new Court House on part of the Police Reserve later in that year. In August 1876 the Shire invited tenders for building the Shire Hall and Offices, which were completed by March 1877. The next few years saw the establishment of community and sporting organisations including the Agricultural and Pastoral Society, the beginning of the first newspaper (the *Dimboola Banner*), and the setting aside of land for the recreation reserve. In 1879 the first issue of the *Dimboola Banner* described Dimboola as having three hotels, a bakery, several stores and blacksmiths and a population of about 100.

The year 1882 marked a turning point in the town's development when it was connected to the railway from Melbourne. The mainline was extended to Nhill by 1887 (and thence to Adelaide) with a branch line to Jeparit and Rainbow completed in stages during the 1890s. The coming of the railway led to significant growth in the township and surrounding district over the following two decades, as it encouraged intensified farm settlement. As the 'railhead' (until 1887) for the northwest of Victoria, the railways department employed a large number of people in the town, and this encouraged the development of new industries such as the Eucalyptus Mallee Co. distillery at Antwerp.

Consequently, from 1881 to 1891 the population of Dimboola more than quadrupled from 100 to 563. New buildings erected during this time included the first brick school in 1882, the post office in 1885, as well as several shops in Lloyd Street. Other developments included a piped water system established in 1888 (which from 1903 was supplied from water held back by the new Dimboola Weir) and the formation of the fire brigade in 1887. The first street trees were planted in the late nineteenth century and from about 1898 townspeople were allowed to plant trees at their own expense, under the supervision of the shire secretary (*The Horsham Times*, 5 July 1898, p.4). The growth of the district led to a movement for severance from the Lowan Shire, which culminated in the proclamation of the Shire of Dimboola in April 1885.

By the early 1900s Dimboola was an important district centre that boasted four hotels, several shops and stores, five churches, a state school, mechanics' institute and free library, court house, shire hall, an agricultural and pastoral society, masonic hall, and sporting and social clubs. There was a flour mill and eucalyptus oil factory, and the surrounding land had become an important wheat-growing district.

The town entered another boom period during the early twentieth century as increasing wheat yields and good prices brought farmers higher incomes. The opening up of surrounding land for closer settlement for returned servicemen led to further growth and between 1901 and 1911 the population rose from 736 to 1435. Additions were made to the court house in the early 1900s and the opening in 1909 of an imposing new two-storey branch of the National Bank of Australasia symbolised the growth of the town. New shops were erected in Lloyd and Wimmera streets including the four 'commodious brick shops' all with 'plate glass windows' erected in 1912 for F.W. Koop on the east side of Lloyd Street, which were occupied by Messrs Laidlaw and Co., T.J. Hogan (solicitor), D. Block (watchmaker) and L. Eddy (tailor) (*The Horsham Times*, 19 July 1912, p.6). In the same year the post office was extended at the front to create a more spacious public foyer and increase the size of the mail room and office. By this time telephone service had been introduced to Dimboola and there were already 20 subscribers. The township was supplied by electricity from 1916 (the post office was among the first buildings to

HERITAGE CITATION REPORT

be connected) and in 1920 an imposing new Masonic Temple was erected in Lochiel Street to replace the original hall in Lloyd Street (the supper room was added in 1939).

The growth in car ownership after World War I led to the opening of several motor garages in the town. In 1919 E. Nagorcka established the Dimboola Motor Garage in Lloyd Street next to the fire brigade station. This was soon followed by the Central Motor Garage opened in 1920 by F.W. Schultz & Son in Lochiel Street at the corner of Victoria Street, which was the agency for Dodge cars and also offered cars for hire. The Central also had the honour, in 1925, of installing the first 'Bowser' petrol pump in Dimboola (*Dimboola Banner*, 14 November 1919 & 30 January 1920; *Dimboola Chronicle*, 9 July 1925). Meanwhile, in 1924 local contractor Mr. A.M. Hoepner erected 'The Premier' motor garage for Messrs. G.R. Klinge & Son on the opposite side of Lochiel Street immediately adjoining the National Bank. It was described as the largest of its kind in the town and was the agency for Buick and Ford cars and, like the Central, offered cars for hire.

The motor garages in Lochiel Street were part of the expansion of the commercial centre into Lochiel and Victoria streets during the 1920s. Adjoining the Premier garage Dimboola Stores Limited (known as the 'House of Quality' and a 'one stop shop' which sold everything from haberdashery to hardware) was established by 1929 (this is the present Dimboola IGA) while in Victoria Street new bank buildings were erected on adjoining sites for the Union Bank (1923) and the State Savings Bank (1928) and in 1926 Mrs Clark engaged A.M. Hoepner to build her 15-room Victoria Coffee Palace. Another sign of the growth of the town was the 1927 alterations to the post office to create a dedicated telephone exchange to serve the increasing numbers of subscribers. By this time the post office had a staff of 11 people.

Development of Lloyd Street continued during the interwar period when many older shops and buildings were rebuilt or replaced. In 1924 H. Bond & Son built four brick shops for Mr. McLaren, which featured shop windows fitted with British plate glass with white metal frames, tiled stalls, leadlight transoms and hexagon tiled doorways, and at the southwest corner of Lochiel Street the Star Theatre (later the Regent) was erected for P.W. McDonald. That same year despite the efforts of the Dimboola Fire Brigade (which were alerted by the engine driver of the Adelaide express train), a fire destroyed seven shops along the east side owned by Mr Koop occupied by various tenants including J. Christensen, butcher, L.D. Taylor, men's mercer, A.T. Paschke & Co. stock and station agents, G.S. Flude, chemist and O. Gilpin, draper. Martindale & Sons commenced rebuilding the shops in September 1925 (*Dimboola Chronicle*, 10 September 1925) and around the same time, on the opposite side of Lloyd Street a substantial row of five brick shops, including the first two storey shops and residences in the town, were constructed for Mr. A. Wilson. The contractor was Mr. Monkhouse of Brighton and Mr. F.G. Lange of Dimboola carried out the brick work (*Dimboola Chronicle*, 11 June 1925). Perhaps the most significant development was the new Dimboola Hotel, which replaced the nineteenth century hotel at the corner of Lochiel Street. Designed by Ballarat architect James Irwin the two storey building with a continuous street verandah to both elevations and a distinctive corner tower became a landmark upon completion in 1930. However, fires destroyed the other two hotels, the Commercial and the Camp in 1930 and 1931.

After the Great Depression brought a halt to development, building re-commenced in the mid-1930s with the addition of more brick shops in Lloyd Street, which replaced older timber shops on both sides. Along the west side, this included the row of brick shops beside those erected in 1925, one of which became the home of the Dimboola Newsagency. By the mid to late 1930s as the population peaked at just over 1800 the development of the Dimboola Town Centre was largely complete. Later additions included a motor car showroom and garage (Norton Motors) on the corner of Lloyd and Wimmera streets on the site of the original Masonic Hall (the old hall was partially retained and incorporated into the complex), and Commercial Bank of Australia in a modern building on adjacent site by the 1950s.

With the advent of television in the mid-1950s the popularity of cinema going waned. Consequently the Star Cinema (later known as the Regent) was sold to the Dimboola Sub-Branch of the R.S.S.A.A.I.L.A. (the predecessor of the R.S.L.), which built a new kitchen and supper room adjacent to the building in 1968.

In 1964 Dimboola Council erected the Elderly Citizens Centre in Victoria Street. The building contained a main hall with a 'general room', mens and ladies toilets and cloakroom and a kitchen arranged along one side. It appears the plans were prepared by or under the direction of the Shire Engineer, A.R. Keam. The cost of the new centre was financed in part by a Government Grant.

HERITAGE CITATION REPORT

In 1969 Jack Hibberd's play 'Dimboola' premiered at the Pram Factory Theatre in Melbourne. The play was popular with audiences and various productions followed including several mounted by local people in Dimboola. In 1979 a film of the play was made, which featured location shooting in and around the Dimboola town centre.

The use of the Court House ceased in 1982 and it was then used by the local TAFE college. The land was sold in 1988 and in July 1999 the building was relocated to its present site adjacent to the post office.

The centre suffered a substantial loss with the demolition in 2014 of the landmark Dimboola Hotel following a fire in 2003. Around the same time, the c.1900s building at the southeast corner of Lloyd and Wimmera streets that once housed the Tesla Photographic studios was also demolished.

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Description

Physical Description

The Dimboola Town Centre is a commercial and civic precinct comprised of buildings predominantly constructed from the late nineteenth to mid-twentieth centuries. The precinct is centred on Lloyd Street in the block between Wimmera and Lochiel streets and also includes buildings in both of those streets and in Victoria Street.

The earliest buildings in the precinct include the former Court House (1876 with later additions), Shire Hall (1877), and Post Office and residence (1885, extended in 1912). The court house and the post office show the influence of the classical style that was popular for public buildings in the nineteenth century. The court house is a gable-fronted timber building, with gabled wings on the south side. The front verandah has a skillion roof with a projecting gable supported by timber posts with stop-chamfer corners and curved brackets with trefoil or circular details. There are ladder friezes with finials to the main roof gable and the verandah, and a bargeboard with pronounced lobes to the main gable. The adjoining Post Office has tuckpointed brick walls, a slate roof with triangular vents, and brick chimneys with rendered cornices and string courses. Originally asymmetrical in plan with one projecting front gable, the 1912 additions extended the building at the front to create the twin gables that exist today, which in form, materials and detailing match the original building. The primary front and side elevations contain arched windows with stone cills and a continuous impost mould, and the gable ends have shaped bargeboards and finials, with a circular vent to the right front gable. The public entry is through an arched, recessed door in the left front gable, which is flanked by two slightly narrower windows. Above this is a rendered panel with 'Dimboola Post Office' in metal lettering. The residential section at the rear has a bay window to the projecting bay, and a side verandah supported on timber posts with simple angled brackets. The former Shire Hall is constructed of brick and is L-shaped in plan with a projecting gable and another gable over the entry, both with shaped bargeboards and arched louvred vents. The deep skillion return verandah has simple curved brackets.

Most of the commercial buildings in the precinct date from the 1880s to the 1930s. The shops are mostly single

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storey, built of brick or timber, and have roofs concealed by parapets, several with raised or stepped pediments. Some retain original or early timber or metal framed shopfronts with timber or tiled stallboards and recessed entries, and most have post-supported verandahs.

The west side of Lloyd Street is dominated by the impressive rows of single and double storey brick interwar shops at nos. 73-81 & 83-91. The upper floor facades of both rows are divided into bays by pilasters with flat caps (those to nos. 73-81 have dentilled brickwork, which is repeated along the parapet and in the chimneys) and most have original metal-framed shopfronts with tiled surrounds. Nos. 73-81 has the original cantilevered awning with pressed metal underside, while nos. 83-91 has a post-supported verandah. Other notable shops and buildings include:

- The former car dealership and garage at the northeast corner of Lloyd and Wimmera streets. This building has been built in stages and is said to incorporate the nineteenth century Masonic Hall (the visible brick wall with three buttresses and a high-set window along the north elevation is possibly a surviving remnant of that building). It has a parapeted facade with large plate glass windows, including an unusual curved and canted display window (constructed by Brooks Robinson), multi-paned bi-fold garage doors along the Wimmera Street elevations, and a pair of doors at the north end with triple porthole windows. The façade is splayed at the corner to accommodate space for vehicles to access the petrol bowser (now removed). The simple cubic parapets and verandah fascia, which are supported by grouped triple angled poles, conceal gable and triple sawtooth roofs behind. The car yard to one side (which now contains a display of historic farm machinery) retains three c.1960s/70s pole signs advertising Holden car models.
- 69-71 Lloyd Street, which is a very intact pair of timber shops with early timber-framed shopfronts and a parapet that features pilasters surmounted by balls and triangular pediments that sit above the parapet. The verandah has been altered, but retains some original fabric including the chamfered beams. Internally, the shops feature original beaded lining boards and one has a roof lantern.
- 106-108 Lloyd Street, which is another very intact pair of timber shops, with a simple timber parapet with a cornice and triangular pediments. According to the present owner, the building incorporates the original timber shops erected on this site c.1870 and the original façade can be seen within the roof space behind the current façade. When Lloyd Street was relevelled and formalised in the late nineteenth century, the facade of the building was extended at the front creating the deep shopfronts.^[1] The shopfronts have been replaced (The one to the left of the door to no.106 retains an interwar era metal frame), but the door frames are original and are flanked by pilasters with simple capitals (similar pilaster are at either end of the façade). The walls and ceiling above the door to the right are lined with beaded boards, while the door to the left features a framed 'cricket bat' mould above and a pressed metal ceiling. The post-supported verandah has been altered, but retains some original fabric including the cast iron frieze. Internally, there is pressed metal above the deep display windows and the walls and ceilings are lined in beaded boards. There is a central roof lantern to no.106, which also has a cellar below.
- The former Star Theatre at no.115 Lloyd Street, which has a distinctive arched and scalloped parapet featuring a star motif. Behind this is a gabled iron roof with ventilators and a brick chimney. The recessed front entry has a pressed metal ceiling and a metal display cabinet with a pointed top with a ball finial. To one side is a shopfront with a timber door and there is another timber door on the opposite side. The side walls are divided into bays by brick pilasters, each with a high set window. There is also an arched head timber sash window close to the front.
- The Masonic Temple in Lochiel Street, a gabled brick hall with a symmetrical façade that features arched windows framed by banded rendered piers.
- The former Dimboola Stores (now the IGA) in Lochiel Street, which has remnants of the original metal framed and tiled shopfronts (constructed by Brooks Robinson), a simple parapet and an early painted 'Jellex' sign on the east wall.

The precinct also contains three notable banks. The former National Bank of Australasia at the northeast corner of Lloyd and Lochiel streets is a fine and intact example of the Federation Free Classical style. Constructed of red brick it is embellished with rich cement ornamentation including Classical style architraves and pediments to the first floor windows, and a large triangular pediment with ornate foliated detailing, which is repeated in the

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arch above the entrance around the word 'Bank'. The façade is divided into three bays by pilasters, which have simple ball finials and the chimneys have heavy cornices and terracotta pots.

In Victoria Street, the former State Savings Bank at the corner of Lochiel Street is typical of the simple two storey banks within hipped roofs designed by Godfrey & Spowers during the 1920s, which were influenced by the Romanesque/Art Nouveau style. The entrance is made the focus and is emphasized by the projecting canopy and a parapet wall piercing through the roof structure. The use of exposed brick walls with stucco mouldings and the deep string course between the ground and first floor windows is also characteristic. On the adjoining site is one of several buildings that Walter Butler designed for the Union Bank, which typically has gables at each end and a semi-circular arched entry placed symmetrically in the main façade. In this example, the symmetry is emphasized by the chimneys placed centrally in each gable end and by the brick piers that frame the façade. At the rear is a gabled outbuilding, also designed by Butler.

The other early building on the northeast side of Victoria Street is the former Victoria Coffee Palace, which is a red brick building with a long traverse gable roof concealed behind a plain parapet, a tiled dado, and a simple post verandah. On the southwest side is a large early twentieth century corrugated iron-clad shed (possibly a former garage) with a steeply pitched gable roof lined with ventilators and a square opening in the facade (there is faded painted signage above the entrance), and the 1960s era Senior Citizens Club rooms. The latter is a gable-fronted building with Modernist form and detailing including the a low-pitched roof that projects forward of the front wall to form a porch in front of a window wall, and mild-steel signage in cursive script. At the rear is a large Olive tree (*Olea europaea*).

Early photos show that most streets were lined with trees by the early 1900s. Only two of these survive today, both in Lochiel Street, west of Lloyd Street. On the north side is a mature Moreton Bay Fig (*Ficus macrophylla*) and directly opposite is an equally large Pepper (*Schinus molle var. areira*). From the size of the trunks and the canopy both would appear to be approximately 80-110 years old. Together, these massive trees are local landmarks and frame the view toward the Wimmera River parklands.

[1] Information provided by current owner, pers. comm., 19 June 2019

Comparative Analysis

The Dimboola Town Centre compares with the town centres in Jeparit, Nhill and Rainbow. Of these:

- Jeparit Town Centre developed from the late nineteenth century to the interwar period. While recent demolitions have created some gaps in the streetscape, this has also happened at Dimboola (which has lost the Dimboola Hotel and a corner shop) and overall it remains comparable in terms of its mix of building stock and integrity to the other town centres. It is also distinguished by several very fine buildings including the two hotels, the former Jeparit Pharmacy, the National Australia Bank and the former Municipal Buildings, which elevate the centre.
- Rainbow Town Centre in Federal Street, King Street is included within the HO33 Rainbow Town Centre Precinct. It developed rapidly within the first three decades of the twentieth century and comprises a mix of Federation and interwar buildings, as well as a fine central median with mature trees, and the World War memorial. Like Jeparit it includes predominantly single storey buildings interspersed with two storey buildings including a former, two hotels, and a Cinema. It is slightly larger than Jeparit Town Centre
- Nhill Town Centre in Victoria and Nelson streets is not currently included in the Heritage Overlay. Of all the town centres, Nhill contains the highest proportion of Victorian era buildings including the post office, three former banks and shops. It also contains several substantial two and three storey Federation era buildings including three hotels, several shops, and the former Young Bros. offices.

While the Dimboola Town Centre developed from the mid-nineteenth century onwards, many of the original buildings were replaced in the early twentieth century and most of the extant buildings date from the Federation and Interwar periods. Like the other towns it includes predominantly single storey buildings interspersed with

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two storey buildings including three former banks, and a row of shops. It is distinguished by early civic buildings including the former Dimboola Shire Offices, the post office and the former court house.

Statement of Significance

What is significant?

The Dimboola Town Centre precinct, comprising 64-120 & 65-121 Lloyd Street, 7-21 & 18-20 Lochiel Street, 39-43 Victoria Street and 27 Wimmera Street, Dimboola is significant. The following buildings and features contribute to the significance of the precinct:

- The buildings constructed from c.1875 to c.1950.
- The overall consistency of building form (straight or shaped parapets, post supported verandahs or suspended awnings), early or original shopfronts (recessed entries, timber or metal framed windows and timber, tiled or stone clad surrounds), materials and detailing (weatherboard or face brick, corrugated metal roofs and/or walls, brick chimneys), and siting (built to the front and side boundaries) of the commercial buildings in the precinct.
- Original or early painted signage.
- The Moreton Bay Fig (*Ficus macrophylla*) and Pepper Tree (*Schinus molle var. areira*) situated within the road reserve in Lochiel Street, west of Lloyd Street.

The Significant buildings within the precinct are:

- Post Office, 65 Lloyd Street.
- Court House, 67 Lloyd Street.
- Shire Offices & Hall (former), 101-103 Lloyd Street.
- National Bank of Australasia (former), 7 Lochiel Street.

Other buildings are Contributory, except as specified below.

Alterations and additions to the Significant and Contributory buildings and 21 Lochiel Street, 105, 107 & 121, 80, and 98-100 Lloyd Street are not significant.

How is it significant?

The Dimboola Town Centre precinct is of local historic, representative and aesthetic significance to Hindmarsh Shire.

Why is it significant?

Historically, it is significant as evidence of the development of Dimboola into an important commercial and civic centre in the Wimmera region from the late nineteenth century. The former Shire Hall, former Court House, and the post office illustrate the role of Dimboola as the administrative centre of Lowan Shire and, from 1885, Dimboola Shire until 1914, while the other buildings demonstrate the development booms that followed the opening of the railway in 1882, and during the Federation and Interwar periods. Of note are the early timber shops at nos. 69-71, and 106-108, which are the oldest within the town, while the Fig and Pepper trees in Lochiel Street are remnants of the original street tree planting carried out in the early twentieth century by the local council.

(Criterion A)

The Dimboola Town Centre is a representative example of a typical country town civic and commercial centre. The mix of commercial, civic, community and residential buildings is a defining characteristic of rural town

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centres and the significance of the precinct is enhanced by the intactness to the original phases of development and the overall consistency of building form, scale and detailing. The high degree of intactness of the facades of many of the commercial buildings, which includes some original or early shopfronts and post-supported verandahs, or awnings and some original or early painted signage, is especially notable.

(Criterion D)

The Dimboola Town Centre has aesthetic significance for the consistency and integrity of the streetscapes, which comprise commercial buildings of related scale and form and detailing. Interspersed among these buildings are some impressive nineteenth century civic and commercial buildings including the Post Office, former Court House, and former Dimboola Shire Hall, which are local landmarks and add to the distinctive historic character. The mature Fig and Pepper trees in Lochiel Street are landmarks due to their size and frame the view toward the Wimmera River. Also of note within the precinct are:

- The former Bank of Australasia, which is a fine and intact example of a Federation era bank in the Free Classical style and a local landmark on a prominent corner.
- The former Motor Garage at the corner of Lloyd and Wimmera streets, with distinctive features such as the canted display window, a pair of doors at the north end with triple porthole windows and a splayed façade with simple cubic parapets and verandah fascia, which are supported by grouped triple angled poles.

(Criterion E)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Dimboola Town Centre
Aboriginal Heritage Place	-

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name: DIMBOOLA MEMORIAL SECONDARY COLLEGE
Address: 66 ELLERMAN STREET DIMBOOLA
Place Type: School - State Secondary (public), War Memorial, Avenue of Honour
Citation Date: 2023
Significance Level: Local
Heritage overlay: HO38



Dimboola Memorial Secondary College

Heritage Listings **VHR** - Recommended
HI - No
Planning Scheme - Yes

Architectural Style:

Interwar Period (c.1919-c.1940),
Postwar Period (1945- 1965)

History and Historical Context

Dimboola

Hindmarsh Shire is situated on the traditional lands of the Wotjobaluk, Jaadwa, Jadawadjali, Wergaia and Jupagalk nations, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 the explorer Edward Eyre arrived in the area and, with the assistance of local indigenous guides, made his way along the Wimmera River to Lake Hindmarsh, which he named after the Governor of South Australia. The first squatters arrived in the district in the 1840s and in 1859 Moravian missionaries established the Ebenezer Mission on a site at Land Hindmarsh. The mission was one of seven Aboriginal reserves in the colony by 1863.

The origins of Dimboola can be traced to the 'wine shanty' established by Matthew Ternan in 1859 at what was

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then known as 'Nine Creeks'. Three years later Ternan established a 'public house' and general store to serve the growing district, and community development was marked by the opening of the first Presbyterian Church, a log structure, which also served as a school. In 1863 Dimboola was proclaimed a township and the new name, chosen by district surveyor, J.G. Wilmot, was reputedly taken from a district in Ceylon 'Dimbula' where Wilmot had previously lived.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, which commenced in 1873. The influx of settlers that followed stimulated the growth of Dimboola and in 1875 a court was established in a room attached to one of the hotels. The development of the district led to the proclamation of Lowan Shire in December 1875, which held its first meeting in the old Dimboola Court Room in March 1876, prior to the erection of the new Court House on part of the Police Reserve later in that year. In August 1876 the Shire invited tenders for building the Shire Hall and Offices, which were completed by March 1877. The next few years saw the establishment of community and sporting organisations including the Agricultural and Pastoral Society, the beginning of the first newspaper (the *Dimboola Banner*), and the setting aside of land for the recreation reserve. In 1879 the first issue of the *Dimboola Banner* described Dimboola as having three hotels, a bakery, several stores and blacksmiths and a population of about 100.

The year 1882 marked a turning point in Dimboola's development when it was connected to the railway from Melbourne. The mainline was extended to Nhill by 1887 (and thence to Adelaide) with a branch line to Jeparit and Rainbow completed in stages during the 1890s. The coming of the railway led to significant growth in the township and surrounding district over the following two decades, as it encouraged intensified farm settlement. Consequently, from 1881 to 1891 the population of Dimboola more than quadrupled from 100 to 563. New buildings erected during this time included the first brick school in 1882, the post office in 1885, as well as several shops in Lloyd Street. The growth of the district led to a movement for severance from the Lowan Shire, which culminated in the proclamation of the Shire of Dimboola in April 1885.

By the early 1900s Dimboola was an important district centre that boasted four hotels, several shops and stores, five churches, a state school, mechanics' institute and free library, court house, shire hall, an agricultural and pastoral society, masonic hall, and sporting and social clubs. There was a flour mill and eucalyptus oil factory, and the surrounding land had become an important wheat-growing district.

The town entered another boom period during the early twentieth century as increasing wheat yields and good prices brought farmers higher incomes. The opening up of surrounding land for closer settlement for returned servicemen led to further growth and between 1901 and 1911 the population rose from 736 to 1435.

Dimboola Memorial Secondary College

Schools, like halls and churches, are a tangible symbol of community formation associated with the closer settlement in Hindmarsh Shire from the 1870s onwards and illustrate the rise and decline of districts over time.

Prior to 1872 private or denominational schools operated by churches were the primary education providers in Victoria. Then, in 1872, the *Free, Compulsory and Secular Education Act*, which was guided through the Victorian parliament by George Higginbotham, heralded a new era of State education in Victoria and is also credited with encouraging settlers from South Australia.

Education was an important part of maintaining a distinct culture and religion, hence the interest of religious institutions in opening and maintaining their own schools. While the establishment of the State education system led to the closure of many private or church schools after 1872 the schools operated by the Catholic and Lutheran churches continued to offer an alternative to the secular State schools. Some private schools also continued, and new ones opened although most were short lived.

In the southern parts of Hindmarsh Shire closer settlement began prior to or around the same time as, the passing of the 1872 Act, meaning that many of the first schools were began as private, often church-based, ventures that were soon taken over by the state system.

At the time of the 1872 Act primary education was deemed sufficient for most people, however, a new Education Act in 1910 allowed the Education Department to provide secondary education. A particular purpose of the legislation was to provide education in agriculture for country students and 30 of the 33 high schools established

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before 1925 were in rural districts. As a precursor to High Schools, Higher Elementary Schools were also established in rural areas. In Hindmarsh Shire, HES were established at Nhill in 1912 and Rainbow in 1916. The HES at Rainbow in 1919 moved into a purpose-built building in Albert Street where it remains today as part of Rainbow P-12 College. The HES at Dimboola, opened in 1924, also formed the World War I memorial for that district.

Dimboola Memorial Higher Elementary School (now Dimboola Memorial Secondary College)

World War I (WWI) had a profound and lasting impact upon Australia and to this day remains the costliest conflict in terms of deaths and casualties. From a population of fewer than five million, 416,809 men enlisted, of whom more than 60,000 were killed and 156,000 wounded, injured, or taken prisoner. The scars and losses of war were all the greater during WWI because (apart from a small number of wounded soldiers who returned home only to die later of their injuries) the bodies of the dead remained interred in the field of war, some unidentified or undiscovered. Families thus had no body to mourn nor opportunities to travel to such distant graveyards. This absence, combined with the high casualty rate, contributed to the general movement to memorialise the dead and those who served. The positioning and form of such memorials was a difficult and sometimes controversial task, all the more so because the trauma and loss of WWI was unprecedented both in casualties and in the public desire to commemorate it. Commemoration of World War II (WWII) and later conflicts was often layered atop the already established WWI memorials.

One of the first war memorials in Hindmarsh Shire was the 'Anzac (or Soldiers') Memorial Avenue' established in 1918 within the wide median of Broadway at Jeparit, which was formally opened by Dimboola Shire President, Cr. E.J. McCabe, at a ceremony held on Tuesday 13 August following the council meeting. The establishment of this avenue of honour (and another established at Rainbow in the previous year) followed a suggestion made by the Dimboola Shire Engineer in July 1917 that memorial avenues in honour of soldiers should be established using trees provided free of charge by the Forests Commission (*Rainbow Argus*, 6 July 1917, p.2).

While obelisks and soldier statues such as the ones unveiled at Nhill and Rainbow in 1921 remained the most popular form of war memorials there was a growing movement after World War I to establish memorials that would have a lasting community benefit, as well as symbolic and commemorative meaning. According to Inglis (2001:138):

The view of the Repatriation Commission, commending 'memorials of a useful nature', now attracted supporters in old nations and new. The world had enough monuments to the dead; let commemoration be devoted to the living.

So called 'functional' war memorials such as halls, schools and soldiers' lounges 'served a double purpose' and were considered to be 'in keeping with the spirit of more enlightened and humane age' (Inglis 2001:138).

At Dimboola the first meetings to discuss a suitable memorial to those who served in World War I (WWI) were held in 1919. Eventually, in 1921, it was decided that the memorial should be in the form of a Higher Elementary School (HES) and a site in Ellerman Street was chosen because of its prominent position overlooking the town. The school was established in that year and classes commenced in temporary premises in July.

Meanwhile, the local community began to raise funds for the building of the school and to lobby state politicians and ministers. On a visit to the region in early 1921 to officially open the Rainbow HES, the Minister for Education Sir Alexander Peacock met with a delegation from Dimboola and advised that if the 700 pounds raised by local branch of the R.S.S.I.L.A. to put toward a memorial was matched by a further 1000 pounds a school could be provided. The money was duly raised and soon after S.C. Brittingham, Chief Architect of the Public Works Department and M.P. Hansen, Chief Inspector of Secondary Schools visited Dimboola to discuss details of site and school design (*The Horsham Times*, 24 June 1921, p.6). Finally, in January 1923 the tender was authorised for the construction of the school (*The Horsham Times*, 30 January 1923, p.6).

The building was complete by early 1924 and students and staff moved into the building by May of that year. A final addition was the installation of a Roll of Honour containing the names of over 200 returned servicemen and 55 who paid the supreme sacrifice. This was crafted in polished Harcourt granite panels by Mr. A. Massey, monumental mason of Horsham (*The Horsham Times*, 2 November 1923, p.7). The building was officially

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opened in December 1924 by Mr. A.M. David, Secretary of the State Branch of the R.S.S.I.L.A.

In 1928 a memorial tablet was placed below the Roll of Honour to acknowledge the significant role of the late Robert Martindale in the establishment of the school.

In 1946 the school was raised to the status of a High School and renamed as Dimboola Memorial High School, and in 1987 the name was changed to Dimboola Memorial Secondary College.

The building and the associated war memorials (see below) continue to play an important role in Dimboola's annual Anzac Day and Remembrance Day services.

Avenue of Honour

In the same year the school opened an Avenue of Honour to commemorate local servicemen was established along the south side of the driveway leading to the front entrance. In 1928 replacement trees were offered by Mr. F.W. McPherson and Mrs. Martindale to replace trees that had died and in 1929 a public appeal was held to raise funds to replace the wooden name plates.

After WWII additional trees (W.A. Mallee) were planted to honour 31 servicemen and Matron O.D. Paschke and following the Korean War (1950-53) one tree was added for A.S.E. Codling.

The avenue was progressively replaced beginning in 2011 when 30 Spotted Gums were planted by students. In 2012 the local Returned Servicemen's League provided a further 33 Spotted Gums and Ted Brown donated a Lemon Scented Gum for Matron O.D. Paschke. By 2016 dieback in the W.A. Mallee trees planted after WWII required their replacement.

World War II memorials

WWII was commemorated by a memorial to a nurse, Matron Paschke, installation of memorial gates at the Ellerman Street entrance, and the addition of the WWII Roll of Honour below the WWI Honour Board.

In May 1949 the memorial to Matron Olive Paschke was unveiled by Wilfred Kent-Hughes, Minister for Transport and Captain Vivian Bullwinkle, one of Matron Paschke's colleagues. The memorial is in the form of a sundial. Olive Paschke was born and raised in Dimboola and in 1939 she enlisted with the Australian Army Nursing Service after training and working as a nurse in Dimboola and Melbourne. She served in Malaya and was awarded the Royal Red Cross for her courageous work in establishing a field hospital. In 1942 she was among a group of nurses including Sister Lt. Vivian Bullwinkle evacuated five days before the fall of Singapore on the ship *Vyner Brooke*, which was bombed by Japanese forces and sunk in the Bangka Strait. Matron Paschke supervised the transfer of wounded soldiers to the one remaining lifeboat and was among the survivors who took to rafts and was last seen alive before being swept out to sea. The other survivors including 22 of the nurses managed to reach Bangka Island, where all but two including Sister Bullwinkle were killed by the Japanese forces. In 1951 Matron Paschke was posthumously awarded the Florence Nightingale Medal, which recognises exceptional courage and devotion to victims of armed conflict.

In 1950 the pillars of the Ellerman Street memorial gates were erected and the wrought iron gates were installed in 1953. Meanwhile a tablet containing the WWII Roll of Honour was added at the front of the memorial building. The memorial gates and the WWII Roll of Honour were unveiled in 1955. The name of A.S.E. Codling, who served in the Korean War, was later added to the bottom of the Roll of Honour.

References

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Description

Physical Description

Dimboola Memorial Secondary College (formerly Dimboola Higher Elementary School and Soldiers' Memorial Hall) occupies an elevated site on the northwest side of Ellerman Street overlooking the town. The contributory heritage buildings and features on the site are the 1924 school building and its associated Honour Rolls and plaques and lamp posts, the Matron Paschke memorial, the Avenue of Honour along the south side of the driveway, and the Memorial entrance gates.

The Dimboola Higher Elementary School of 1924 is a transitional Edwardian and interwar school building constructed of red face brick, with roughcast render accents, and a terracotta tiled roof. It faces toward the southeast overlooking the school oval, at the top of the circular driveway leading from the Ellerman Street entrance, which wraps around the oval.

The front façade has a symmetrical, tripartite configuration. The ornamented entrance porch is located in the centre bay, with a projecting pavilion on either side. The main roof is hipped, with a ventilator – in the form of a decorative cupola – at its centre. The projecting pavilions have gabled-hipped (or Dutch gable) roofs. The eaves to all parts have expressed rafter ends. The front porch is the aesthetic focus of the building. At its centre is a gabled section behind a complex curved pediment set between pylons. The form of the pediment is a modernised Anglo Dutch style. The segmentally arched opening below has exaggerated render voussoirs and keystone, of a type seen on Edwardian Free Style buildings. There is also raised decorative elements from the classical orders in a flattened and simplified form that was common in the 1920s. At the sides are sections of porch beneath a broken-back roof (continuous with the main roof), with openings framed by a broad segmental arch and solid balustrade of roughcast render with raised smooth render and brick detailing. Like the porch pediment, the side pavilions are also framed by pylons which punch through the eaves and extend above the roof line. They have similar detail to those of the porch. Other details typical of early twentieth century schools include the tall timber multi-pane windows in singles, pairs and triples, and a timber verandah across the rear elevation, which has timber posts and simple blade brackets.

The opening to the entry porch frames the World War I Roll of Honour, which is on the front wall behind. This is composed of three panels of polished Harcourt Granite, with the central panel being taller with an arched top inscribed with 'The Great War 1914-1919 Roll of Honour. In Memoriam', while the flanking panels have 'Dimboola' and 'District'. Below these are the names of over 200 local men who served and 55 who made the supreme sacrifice, and a bronze wreath below the inscription 'Lest We Forget'. Below the WWI Roll of Honour is the memorial to Robert Martindale and on either side are the panels for the World War II Roll of Honour. Below these are bronze plaques commemorating the 75th anniversary of the memorial school and Roll of Honour, and another commemorating the 50th anniversary of the end of World War II.

The 1924 building is separated by a lawn from the circular driveway that leads from the front entrance. Placed symmetrically in front of the school at either end at the edge of the driveway are concrete lamp stands with a fluted shaft and classical style detailing. Directly in front and on axis with the main entrance is a flagpole set within a circular, formal rose garden surrounded by a Box hedge (early photos show this landscaping treatment is relatively recent). To the south side of this is the Matron Paschke memorial. Set on a broad concrete plinth this comprises a squat red brick pier with curved corners with an octagonal stone cap surmounted by a bronze sculpture in the form of a sundial. The stone cap has an incised line and an inscription: 'To live in the hearts of those we love is not to die'. On the north face of the brick pier is a bronze plaque with the inscription: 'In Memory of Matron Olive Dorothy Paschke R.R.C., A.A.N.S., Killed Off Sumatra, 12th Feb. 1942'.

On the southeast side of the driveway leading to the entrance is the Avenue of Honour. This is comprised of rows of regularly spaced native trees along either side (Spotted gums, *Corymbia maculata*, and Red flowering yellow gums, *E. Leucoxydon rosa*), each with a name plaque. There is also a Lemon Scented Gum (*Corymbia citriodora*) for Matron Paschke. Most of the trees are recent re-plantings. The exception is the semi-mature

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Kurrajong (*Brachychiton populneus*) for S. Rauert (WWI), which may be one of the original interwar plantings.

The WWII Memorial Gates at the main Ellerman Street entrance comprise two tall rendered piers with chamfered corners surmounted by ball lights. On the left pier is a granite plaque inscribed with 'Facta Non Verba' ('deeds, not words') while the granite panel on the right pier is inscribed with 'To The Memory of Ex-Students who served in the 1939-1945 War.'. Between the piers are large iron palisade gates with a curved profile and Fleur de Lys capitals. On the left is a cyclone wire pedestrian gate with a low octagonal rendered pier.

Comparative Analysis

The Dimboola Memorial Higher Elementary School (also known as the Soldiers' Memorial Hall) of 1924 is a fine example of an early twentieth century school building, which has no direct comparisons in Hindmarsh Shire. The other surviving HES at Rainbow is a much simpler design that lacks the architectural embellishment of the Dimboola building. The form, massing and detailing of the building demonstrates a transition between Edwardian schools of the early twentieth century (which are characterised by red brick construction with Marseilles tile hip or gable-hipped roofs, chimney with broad roughcast bands and mouldings, large windows in pairs to quadruples, with shaped parapets that occasionally project above (and sometimes actually through) the eaves line, and the Classical-style schools of the 1920s, which are distinguished by Palladian plan (either rectangular, U or H shaped), symmetrical compositions and uses of corridors or verandahs for access, simple low-pitch hip roofs with a Neo-classical parapet over the entry, often rendered brickwork with dark Marseilles tiled roofs. Dimboola has the materiality, form and detailing of the Edwardian style schools, and the symmetrical planning and layout of the 1920s schools. Overall, it is a very distinctive design, which has few comparators. Nhill HES (1933) was in a similar style, but has been demolished. Examples in other areas include St Arnaud (1926), Swan Hill (1927), Warracknabeal (1927) and Ouyen (1928).

Dimboola Memorial Secondary College is also significant as the main war memorial for Dimboola and district and is notable as it comprises a range of memorial types including a building, an avenue of honour, memorial gates and the Matron Paschke sundial. Other memorials are usually one or sometimes two of these features and this combination is highly unusual and rare on a Statewide basis. The Matron Pashcke sundial is also a rare (perhaps the only?) example of a memorial to a woman who served in World War II.

The Memorial Hall/School is also an example of a 'functional' war memorial. While obelisks and statues remained the most popular form of war memorials there was a growing movement after World War I to establish memorials that would have a lasting community benefit, as well as symbolic and commemorative meaning. The most common type after WWI was the war memorial hall such as the Soldiers' and Citizens' Memorial Hall and Council Chambers at Jeparit, opened in June 1925. Another example in Hindmarsh Shire is the Nhill Soldiers' Lounge, opened in 1921 on the same day that the war memorial statue in the town was unveiled.

Dimboola Memorial Secondary College is one of only four known surviving war memorial schools in Victoria. The first is said to have been Mysia State School No.1899, which opened in 1921. The others are at Mirboo North (former Mirboo North HES, now part of Mirboo North Secondary College), opened in 1925, and Heathcote (former Heathcote HES) opened in 1928. Another example at Foster, opened in 1922, has been demolished.

Statement of Significance

What is significant?

The Dimboola Higher Elementary School and Soldiers' Memorial Hall (later the Dimboola High School and now the Dimboola Memorial Secondary College) is significant. The contributory features are:

- The school designed by S.C. Brittingham and opened in 1924, including the World War I and World War II Rolls of Honour, the Martindale memorial tablet, and two associated concrete lamp standards adjacent to the driveway in front of the building.

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- The Avenue of Honour, originally established in 1924 for those who served in World War I, and extended c.1950s to commemorate World War II and Korean War servicemen and women.
- The Matron Paschke Memorial Sundial, unveiled in 1949.
- The World War II memorial gates erected in 1950 and 1953, and officially unveiled in 1955.

The additions to the 1924 school and other buildings and plantings on the site are not significant.

How is it significant?

Dimboola Memorial Secondary College is of local historic, representative, aesthetic, and social significance to Hindmarsh Shire.

Why is it significant?

Dimboola Memorial Secondary College was the third higher elementary school established in what is now Hindmarsh Shire and is associated with the development of secondary education in rural areas after the passing of the *Education Act* in 1910. The establishment of the school demonstrated the importance of Dimboola as a regional centre. Dimboola Memorial Secondary College is also significant as the primary war memorial for Dimboola and the surrounding districts and demonstrates the impact that the two world wars and other conflicts have had upon Victoria. The Matron Paschke memorial is significant as memorial to a woman who was associated with one of the most notorious incidents in World War II when the SS *Vyner Brook* was bombed and sunk by Japanese forces, which later killed most of the survivors of the sinking including 21 of Matron Paschke's colleagues at Bangka Island.

(Criterion A)

Dimboola Memorial Secondary College is significant as a rare example of a school dedicated as a memorial to World War I, as one of other three known surviving examples in Victoria. It demonstrates the desire of some communities to establish World War I memorials that would have a lasting legacy as well as symbolic and commemorative meaning.

The Matron Paschke memorial is significant as a rare example of a war memorial dedicated to a woman who served in World War II.

(Criterion B)

Dimboola Memorial Secondary College is a representative example of a school that shows the transition in school design from the Edwardian to the interwar periods. It has the materiality, form and distinctive detailing of the Edwardian style schools, and the symmetrical planning and layout of the 1920s schools.

Dimboola Memorial Secondary College is also representative of the various ways that wars that have been commemorated and remembered in Victoria and is notable as a memorial that contains several types including a memorial school with honour rolls, an avenue of honour, memorial gates, and the memorial to Matron Paschke, which is in the unusual form of a sundial.

(Criterion D)

Dimboola Memorial Secondary College built in 1924, is of aesthetic significance as a fine and well detailed early twentieth century school. The building is notable for the front porch which features a gabled section behind a complex curved pediment set between pylons and a pediment is a modernised Anglo Dutch style. The segmentally arched opening below has exaggerated render voussoirs and keystone and there is also raised decorative elements from the classical orders in a flattened and simplified form, details that are repeated in the side pavilions in the pylons which punch through the eaves and extend above the roof line. The aesthetic qualities of the building are enhanced by its elevated siting overlooking the school oval and the township, and features such as the concrete lamp standards that reinforce the symmetry of the building.

(Criterion E)

Dimboola Memorial Secondary College has social significance as a place that has strong associations with the local community through its use as a school for almost 100 years. The school was established with the support of the local community and they have continued to play an active role in the development of the school since its

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opening. It also has social value as the principal war memorial in Dimboola and is the focus of Anzac Day and Remembrance Day commemorations.

(Criterion G)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 66 Ellerman Street, Dimboola
Aboriginal Heritage Place	-

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Name: DIMBOOLA PRIMARY SCHOOL NO. 1372
Address: HINDMARSH STREET, DIMBOOLA
Place Type: School - State (public), Shelter Shed
Citation Date: 2023

Heritage overlay: HO1
Significance Level: Local



Dimboola Primary School

Heritage Listings VHR - No

HI - No

Planning Scheme - Yes

Architectural Style:

Victorian Period (1851-1901)
Federation/Edwardian Period (1902-c.1918)
Interwar Period (c.1919-c.1940)

History and Historical Context

Dimboola

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wegaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 the explorer Edward Eyre arrived in the area and, with the assistance of local indigenous guides, made his way along the Wimmera River to Lake Hindmarsh, which he named after the Governor of South Australia. The first squatters arrived in the district in the 1840s and in 1859 Moravian missionaries established the Ebenezer Mission on a site at Land Hindmarsh. The mission was one of seven Aboriginal reserves in the colony by 1863.

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The origins of Dimboola can be traced to the 'wine shanty' established by Matthew Ternan in 1859 at what was then known as 'Nine Creeks'. Three years later Ternan established a 'public house' and general store to serve the growing district, and community development was marked by the opening of the first Presbyterian Church, a log structure, which also served as a school. In 1863 Dimboola was proclaimed a township and the new name, chosen by district surveyor, J.G. Wilmot, was reputedly taken from a district in Ceylon 'Dimbula' where Wilmot had previously lived.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, which commenced in 1873. The influx of settlers that followed stimulated the growth of Dimboola and in 1875 a court was established in a room attached to one of the hotels. The development of the district led to the proclamation of Lowan Shire in December 1875, which held its first meeting in the old Dimboola Court Room in March 1876, prior to the erection of the new Court House on part of the Police Reserve later in that year. In August 1876 the Shire invited tenders for building the Shire Hall and Offices, which were completed by March 1877. The next few years saw the establishment of community and sporting organisations including the Agricultural and Pastoral Society, the publication of the first newspaper (the *Dimboola Banner*), and the setting aside of land for the recreation reserve. In 1879 the first issue of the *Dimboola Banner* described Dimboola as having three hotels, a bakery, several stores and blacksmiths and a population of about 100.

The year 1882 marked a turning point in Dimboola's development when it was connected to the railway from Melbourne. The mainline was extended to Nhill by 1887 (and thence to Adelaide) with a branch line to Jeparit and Rainbow completed in stages during the 1890s. The coming of the railway led to significant growth in the township and surrounding district over the following two decades, as it encouraged intensified farm settlement. Consequently, from 1881 to 1891 the population of Dimboola more than quadrupled from 100 to 563. New buildings erected during this time included the first brick school in 1882, the post office in 1885, as well as several shops in Lloyd Street. The growth of the district led to a movement for severance from the Lowan Shire, which culminated in the proclamation of the Shire of Dimboola in April 1885.

By the early 1900s Dimboola was an important district centre that boasted four hotels, several shops and stores, five churches, a state school, mechanics' institute and free library, court house, shire hall, an agricultural and pastoral society, masonic hall, and sporting and social clubs. There was a flour mill and eucalyptus oil factory, and the surrounding land had become an important wheat-growing district.

The town entered another boom period during the early twentieth century as increasing wheat yields and good prices brought farmers higher incomes. The opening up of surrounding land for closer settlement for returned servicemen led to further growth and between 1901 and 1911 the population rose from 736 to 1435.

Dimboola State School No.1372

Schools, like halls and churches, are a tangible symbol of community formation associated with the closer settlement in Hindmarsh Shire from the 1870s onwards and illustrate the rise and decline of districts over time.

Prior to 1872 private or denominational schools operated by churches were the primary education providers in Victoria. Then, in 1872, the *Free, Compulsory and Secular Education Act*, which was guided through the Victorian parliament by George Higginbotham, heralded a new era of State education in Victoria and is also credited with encouraging settlers from South Australia.

Education was an important part of maintaining a distinct culture and religion, hence the interest of religious institutions in opening and maintaining their own schools. While the establishment of the State education system led to the closure of many private or church schools after 1872 the schools operated by the Catholic and Lutheran churches continued to offer an alternative to the secular State schools. Some private schools also continued, and new ones opened although most were short lived.

In the southern parts of Hindmarsh Shire closer settlement began prior to or around the same time as, the passing of the 1872 Act, meaning that many of the first schools were began as private, often church-based, ventures that were soon taken over by the state system. The openings of schools were directly associated with the opening up of land for selection and in Hindmarsh Shire there were two key periods of school building during the 1880s and the 1920s. For example, in the former Lowan Shire more than 40 schools were opened in the period from 1880 to 1891.

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However, many rural schools were short lived, closing only a few years after opening and it was not unusual for schools to be relocated according to need. The process of school closures accelerated after World War II as the population of rural areas declined and State government policies encouraged the development of 'Consolidated' or 'Group' schools in larger towns such as Dimboola, Jeparit, Nhill and Rainbow, which were served by buses conveying children from outlying areas.

The first school at Dimboola, then known as Nine Creeks Rural School No.33, was established in May 1870 by teacher Thomas Cockey and by 1874 the Education Department had assumed control. Designated S.S. (State School) No. 1372, the school had an average attendance of 23 pupils. However, the building was overcrowded and in a state of disrepair and so on 13 February 1874 the Education Department accepted a tender for a timber school with teacher's quarters, which was completed by May 1875. The new school was constructed on the five acres of land occupied by the present school.

Steady increases in enrolments led to the need for a new and larger school. In 1882 the tender of James Anderson was accepted for a new brick school (40ft by 20ft) built beside the old timber school, which was converted into a teacher's residence. The new school, which was a standard design by the Education Department with dimensions of 40 ft by 20 ft capable of accommodating 80 students, was opened on 13 November 1882. By 1887, when average enrolments had climbed to 87, a further classroom (21ft x 20 ft) was added and in 1908 when enrolments had almost doubled rising to 170 the building was extended again to incorporate a third room (31ft x 24ft). Further additions and remodelling were carried out in 1914-15 (*Dimboola Banner and Wimmera and Mallee Advertiser*, 25 December 1914, p.2 Tender Notice) and in 1929-30 a new freestanding two-room infants' school was built to the south of the extended original school. In the 1920s a timber shelter shed was built in the grounds.

After World War II enrolments were boosted as surrounding rural schools were closed and children travelled by bus to Dimboola. In 1956 a Light Timber Construction (LTC) building was constructed adjacent to the infants' school and another LTC was added as the enrolment peaked at 356 in 1964.

In 1996 the 1882 school was extended to the east in a matching style to provide staff administration upgrade. This was opened on 29 November 1996 by the Hon. Bill McGrath M.L.A.

References

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- Heritage Victoria (HV), 'Report to Executive Director for Nichols Point Primary School complex', 11 September 2015
- Longmire, Anne, *Nine Creeks to Albacutya. A history of the Shire of Dimboola*, 1985
- Reid, Lesley M., *Dimboola Days. A sketch book of Dimboola*, n.d. [c.1985]

Description

Physical Description

Dimboola Primary School No.1372 comprises a complex of brick and timber buildings, which date from the late nineteenth to the mid to late twentieth centuries. The main building, to the right of the Hindmarsh Street entrance, comprises the 1882 school with additions made in 1887 and the early twentieth century.

The 1882 school and the 1887 addition are defined by the steeply-pitched gable-fronted sections, slightly offset from one another, at the northwest end. These have eaves with visible rafter ends and rectangular louvred vents. The roof of the 1882 school extends to form a verandah along the north side, which returns along the west end in front of the 1882 gable. Both sections have what appear to be six-over-six pane timber sash windows with arched brick lintels and stone sills - in the 1882 section these are regularly spaced along the north

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side, and the adjoining gable of the 1887 addition has two of these windows one either side of a taller window with paired four-pane windows below a three-pane highlight window.

On the south side of the 1880s school rooms are two projecting gabled additions, and in the southwest corner a hipped addition. The gable additions have large banks of multi-pane windows in the south elevations, with twelve-pane highlight windows along the east wall, while the windows to the hipped roof addition are limited to two tall multi-pane windows in the west wall. The central gabled section has a roof of similar pitch to the 1880s school rooms and is distinguished by a half-timbered section resting on rafter ends to the gable end. The gable to the east side has a lower pitch and a louvred vent.

To the left of the Hindmarsh Street entrance is the 1929-30 infants' room (now the Specialist Room), also constructed of brick with a hipped iron roof and a gabled porch/hall on the east side. This has pairs of twin tall multi-pane sash windows in each end elevation, and four-pane highlight windows along the east wall and to the porch/hall.

To the west of the former infants' room is the LTC building, which is constructed of brick with a skillion roof and a horizontal bank of windows along the south elevation.

The school contains two early timber shelter sheds. To the north of the main school building is the 1920s shelter shed. Rectangular in plan, this has a hipped roof with gables, and weatherboard walls with chain mesh infill at the eaves for ventilation. There are also louvred vents in the gable end. To the west of the main building is an early postwar shelter shed with a skillion roof and square openings with metal and cyclone wire gates.

Comparative Analysis

Following the passing of the *Education Act* in 1872 the newly formed Education Department developed a standard design for one-room schools, which was used from 1873 to 1890. The design comprised a gabled school room with a projecting gabled porch placed off-centre in the front elevation and tall multi-pane windows in the side elevations. Until 1888 over 60% also had an attached teacher's residence in a gabled wing extending from one of the side elevations. After 1888 detached residences became policy.

This standard design included several types according to the number of students that could be accommodated - the most common being the 40-type (40 students), 60 and 80 types. The 40-type was distinguished by two windows in the side elevations, the 60-type had three and the 80-type had four. Other variations included a 30, 100, 120 and 130 types. There were a small number of 'developed designs' with more interesting architectural treatments and layouts.

The 1882 Dimboola school was an 80-type but has since been significantly altered and extended. These alterations and additions demonstrate the expansion of the school over time as the township grew and also the evolution of school architecture, which show the increasing emphasis placed upon improving natural daylight within classrooms. The nineteenth century sections are distinguished by the steeply pitched gabled roofs, the return verandah and tall multi-pane windows. In the early twentieth century additions the roof pitch decreases and the windows have changed to large banks of multi-pane windows with hoppers (inward opening sections) in the end elevations supplemented by high-set multi-pane windows in the end elevations. By the late 1920s, hipped roofs become more common and by the 1930s were the standard on most new buildings.

Dimboola SS 1372 is now the oldest surviving school in Hindmarsh Shire, and the only comparison is the former Rainbow State School, which similarly comprises a one-room school, which was added to as enrolments grew. The other early schools at Jeparit and Nhill have been demolished and replaced.

Dimboola is also notable for the two-room infants' school and the shelter shed.

Schools specifically designed for infant children were an outcome of the Fink Commission (1899), which undertook investigations into kindergarten conditions in Victorian schools on behalf of the Education Department. Miss Eva Hooper who was a lecturer with the London School Board carried out the investigations and on the basis of her recommendations, a total of 53 Infant Schools were erected in Victoria between 1901

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and 1939. Heritage Victoria observes how the Infant Schools were:

... testimony to a new ambition. They were buildings whose exteriors were less important than the function of the interior spaces. The provision of schools designed for the particular needs of very small children was a new phenomenon in Victoria. A greater emphasis was placed on hygiene, lighting and ventilation. Greater consideration was given to the way school buildings might contribute to teaching practice, particularly in developing the child's aesthetic sense.

The former infants' school at Dimboola is one of two, two-room infants' schools designed by District Architect R.A. Smart under the direction of Chief Architect, E. Evan Smith. The other was a timber version constructed at Murtoa (in Yarriambiack Shire), designed in 1933. The former infants' schools at Dimboola and Murtoa are representative of the rural examples of this type, which although quite simple in design nonetheless demonstrate the original philosophy of being dedicated freestanding structures, separate from the other school buildings.

Shelter sheds were an important part of school life, providing shelter from the elements and an additional covered space. They were well ventilated to provide school children with plentiful fresh air. Few schools had shelter sheds in the nineteenth century. School Boards of Advice or parents often requested them, and occasionally the Education Department provided small grants or they were erected by the PWD. Requests were more often made for the cheaper alternative of building verandahs on the existing school building for this purpose (Heritage Victoria).

In the early twentieth century the Education Department started a major campaign of updating the school buildings of the nineteenth century. This was evident in such areas as Geelong where in 1906 it was reported that:

The State school authorities are making inquiries into the cost of providing all the country State schools in the Geelong district with hexagonal shelter sheds, with trellis-work sides. The sheds would prove a boon to the children attending the distant schools, where little or no shelter is provided, and as the outlay would not be very considerable, it is expected that orders will shortly be given for the erection of the buildings. (Geelong Advertiser, 4 October 1906 p.2, cited by Heritage Victoria)

Describing rural schools in the first decades of the twentieth century, an Education Department history, published in 1922, stated that 'shady trees are in growth, and the deeper interest in the children is seen in the play pavilions without and the libraries with books and magazines within'. Parents were still expected to organise and fund structures such as shelter sheds, fences, gates and woodsheds, however, from c.1905 the Education Department systematically gave pound-for-pound grants towards the cost of various improvements for school yards including shelter sheds, fences, asphaltting and shade trees. Parents typically formed themselves into local committees and arranged various means of raising their share of the funds (Heritage Victoria). This is a rare surviving example of a 1920s shelter shed and compares with the early shelter shed at the Rainbow Primary School.

Statement of Significance

What is significant?

The Dimboola Primary School No.1372 at Hindmarsh Street, Dimboola is significant. The contributory features are:

- The 1882 school, including the additions made in 1887, 1908, c.1914-15 and c.1930
- The 1929-30 infants' school

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- The 1920s shelter shed

The 1996 additions and other buildings are not significant.

How is it significant?

The Dimboola Primary School No.1372 is of local historic, representative and social significance to Hindmarsh Shire

Why is it significant?

Dimboola Primary School No.1372 is of historic significance as the oldest school within Hindmarsh Shire and demonstrates the early development of educational facilities in the Wimmera Region after the passing of the *Education Act* in 1872. The 1882 and 1887 sections are among the oldest buildings in Dimboola and the stages of development contribute to an understanding of the growth of the town during the late nineteenth and early twentieth centuries. The shelter sheds are associated with improvements made to school playgrounds in the twentieth century by school committees with the assistance of the Education Department.

(Criterion A)

Dimboola Primary School No.1372 is of representative significance as an evolved school building, which incorporates an 80-type school constructed in 1882 with an 1887 addition. It demonstrates the practice of the Education Department of adding to school buildings as enrolments grew and also the evolution of school architecture, which show the increasing emphasis placed upon improving natural daylight within classrooms. The nineteenth century sections are distinguished by the steeply pitched gabled roofs, the return verandah and double-sash multi-pane windows. The side by side additions made in the early twentieth century demonstrate the decrease in roof pitch, and the change in fenestration to large banks of multi-pane windows in the end elevations supplemented by high-set multi-pane windows in the side elevations. The 1908 addition is also distinguished by the half-timbered gable end, which demonstrates the Arts & Crafts influence upon school design in the early twentieth century. Finally, the 1920s additions demonstrate the transition to hipped roofs, which by the 1930s were the standard on most new schools. The former infants' school is also representative of the rural examples of this type, which although quite simple in design nonetheless demonstrate the original philosophy of being dedicated freestanding structures, separate from the other school buildings. The shelter sheds are representative of the simple timber shelters provided in schools during the early and mid twentieth century.

(Criterion D)

Dimboola Primary School No.1372 is of social significance, as a school that has served Dimboola and district for almost 140 years. It has strong and enduring associations with several generations of local families who have attended the school.

(Criterion G)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Dimboola Primary School No.1372

HERITAGE CITATION REPORT

Aboriginal Heritage Place

This information is provided for guidance only and does not supersede official documents, particularly the planning scheme. Planning controls should be verified by checking the relevant municipal planning scheme.

HERITAGE CITATION REPORT

Name: DIMBOOLA RAILWAY STATION
Address: HINDMARSH STREET &
36 HINDMARSH STREET, DIMBOOLA
Place Type: Railway Platform/ Station, Railway Residence/Quarters
Citation Date: 2023
Significance Level: Local
Heritage overlay: HO2



Dimboola Railway Station

Heritage Listings **VHR - No**
HI - No
Planning Scheme - Yes **Architectural Style:**
Victorian Period (1851-1901)
Interwar Period (c.1919- c.1940)

History and Historical Context

Contextual history

Railways, alongside water supply schemes, were critical to the settlement and agricultural development of Hindmarsh Shire:

... for though the great wheat areas were opened to the farmer by a variety of ingenuity - irrigation, Mallee-rolling or 'Mullenising', the stump-jump plough, the stripper harvester, the breeding of suitable wheats for the climate and conditions - the effective establishment of a great agricultural industry was altogether impracticable without railway services to carry the farmers' produce over the hundreds of miles between the outback settlements and the mills and seaports. And in each of the Australasian colonies this task devolved upon the state. (Fitzpatrick 1941:157)

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The critical importance of railways to settlement meant that local communities, through the formation of railway leagues took a prominent role in lobbying the state for the railways to come their way.

In Victoria, the failure of a number of private railway companies in the 1860s and the high capital costs and sparse populations of the country meant that the Colonial government assumed responsibility for the building of railways from the 1870s onwards. This phase of development saw the completion of additional trunk routes or main lines from Melbourne to regional centres to the east, north, west and south-west including Wodonga, Sale and Horsham.

The 1880s was a decade of economic prosperity and growth in Victoria and saw the greatest period of railway building in the colony. Between 1882 and 1892 an additional 1548 miles of line were opened, more than doubling that built over the previous three decades. The new lines were constructed in accordance with two Acts, one passed in December 1880 (Act No.682) that authorised the construction of 23 railways and the second, passed in December 1884 that proposed over 60 new railways. The 1884 Act, officially known as the *Railway Construction Act* became infamous as the 'Octopus Act' because it authorised railways in almost every electorate in the colony. As Lee (2008:93) concludes it was 'the most emphatic expression of the boom time mentality in public investment'.

In Hindmarsh Shire the 1880 Act saw the railway extended from Horsham to Dimboola, while the 1884 Act enabled the extension of the line westwards via Nhill to the South Australian border, which was completed by 1887. The 1884 Act also approved the branch line from Dimboola to Jeparit in 1894 and thence to Rainbow by 1899.

The centrality of the railways in the economic life of Hindmarsh Shire is demonstrated by the extensive infrastructure including station buildings, sheep and cattle yards, goods sheds and platforms, sheds for storage of agricultural produce, turntables and locomotive sheds and weighbridges. In the interwar and post-war periods, the increasing grain harvest also resulted in the need for grain storage and transfer facilities and led to the construction of the massive concrete grain silos and steel bins that now dominate the landscape of the Wimmera and Mallee regions.

Railways not only brought increased and easier trade in agricultural produce, but also new people - not least among whom were the railway workers and their families who were accommodated in 'departmental residences' in main towns such as Dimboola, Nhill and Jeparit. In 1968 there were 105 railway employees at Dimboola.

The nineteenth century railways in Hindmarsh Shire stimulated the development of the existing towns of Dimboola, Nhill and Jeparit, which developed into regional centres. New towns also developed around the railway sidings, for example, at Rainbow and Diapur. The twentieth century railway extensions, on the other hand, co-incided with the closer settlement initiatives and were the result of settlers 'demanding facilities and services that other towns took for granted'. In Hindmarsh Shire after years of lobbying the railway from Jeparit to Yanac via Lorquon and Netherby was completed in two stages in 1910 and 1916.

As patronage on Victoria's railway network declined in the post-war period passenger and goods services were slowly reduced, then withdrawn with many lines closed. In 1981 a State government report prepared by Ian Lonie recommended the closure of all rural passenger rail services in Victoria except for the line to Geelong. Following significant community outcry the plan did not proceed, but cuts to services continued and by the 1990s all of the intra-state passenger services to towns within Hindmarsh Shire had been withdrawn. In 2022, the Overland service between Melbourne and Adelaide was still operating a twice-weekly service, stopping on demand at Dimboola and Nhill.

Dimboola Railway Station

The contract for the extension of the North Western trunk line from Horsham to Dimboola was let in May 1881, and the line was opened in July 1882. However, due to local discontent over the line's route and construction delays there was 'no rejoicing'. At the time of opening the brick railway station at Dimboola had not been built and at first a temporary timber building was provided. In September 1882 Messrs. Pritchard and Blackwood

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were awarded the contract for the station building and the goods shed. The station was completed and opened in 1883 and the passenger building contained offices and a waiting room with polished timber benches. Meanwhile the importance of the station to surrounding wheat farmers was demonstrated by the building in 1882 by Messrs. Fry & Co. of a large grain shed at the station, calculated to hold 40,000 bags of grain.

The layout of Dimboola Railway Station was typical with the passenger platform and station buildings on one side (Hindmarsh Street) of the line and the goods shed and platform on the opposite side. The extension and connection of the North Western railway to the South Australian network in 1887 when it became the mainline between Melbourne and Adelaide, and the opening of the branch lines to Jeparit and Rainbow (and later to Yanac) increased Dimboola's importance as a crew and locomotive depot for interstate passenger and freight traffic. In 1889-90 a signal box was established beside the station buildings to control the increasing train movements through and within the station (*The Argus*, 25 June 1889, p.6). Around the same time plans were prepared for a locomotive shed, but due to the economic depression of the early 1890s, this was not constructed until 1898. The opening of the engine sheds was celebrated with a banquet held at the Dimboola Masonic Hall (*The Horsham Times*, 23 August 1898, p.2).

By the early 1900s the Dimboola Railway Station yard comprised five roads and six sidings. Two lines entered from the north - one the main line, and the other from Jeparit/Rainbow, and there was a separate dock for the Rainbow line on the south side of the passenger platform. By 1936 stockyards had been installed to the northeast of the station yard, and further alterations to the yard were made following the installation of bulk wheat silos in 1940.

Around 1910 a new stationmaster's residence was constructed in Hindmarsh Street just to the north of the station. This was one of several houses provided for the increasing numbers of railways staff employed at Dimboola. From the early 1900s to 1940 several houses were constructed in Ellerman Street north of Normanby Street for locomotive drivers and engine men, as this area was adjacent to the locomotive depot.

In 1926 the decision was made to construct a footbridge over the railway line to provide better access to the Higher Elementary School in Ellerman Street, which had opened in 1924. and to the railway staff houses that lined Ellerman Street. Originally, the bridge was to be built opposite Normanby Street, but instead it was sited beside the railway station and in line with Lochiel Street (*The Dimboola Chronicle*, 25 February, 1926). In the early 1940s a second timber footbridge was erected at the south end of the platform in line with Wimmera Street.

The peak period for the Dimboola Railway Station was during the immediate post-war era up to the 1960s when Dimboola, with a staff of over 100, was a major transportation centre for the Wimmera grain producing region and at least ten trains ran daily. Every week in 1956 locomotives based in Dimboola used almost 100,000 litres of fuel oil, 30 tonnes of coal and 20 tonnes of wood. The 21-metre turntable meant that all types of locomotives, except for X and H classes, could be serviced. The last scheduled broad-gauge passenger steam train, the K-192 departed Dimboola in June, 1968.

However, from the 1970s onwards there was a significant reduction in passenger and goods traffic. The locomotive shed was progressively dismantled, the signal box, goods shed and platform were removed and the yards rationalised, and intra-state passenger services were withdrawn in 1993 (*The Overland* passenger service still stops en route to Adelaide and Melbourne). Nonetheless, the location of Dimboola approximately halfway between Melbourne and Adelaide and close to the branch line to Jeparit means that it still plays an important role in the Victorian country railway network.

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Description

Physical Description

The Dimboola Railway Station complex comprises the following buildings and features:

- On the west side of the railway is the Station building, lamp room and van goods shed. The railway station is a late Victorian building constructed of red brick with cement dressings. The hipped iron roof has bracketed eaves and a triangular pediments with a circular vent, and the chimneys have rendered bands, corbelled tops with cement cresting. On the platform side there is a cast iron verandah of standard design with a convex roof, and fluted columns with a fern leaf motif to the capitals and in the wall behind is a series of symmetrically spaced openings. The central opening has an arched head, and the two openings either side have segmental arch heads. The west elevation contains original tripartite timber window and a timber door with toplight beside, each with segmental arch heads. An original opening at the south end has been closed in with timber framed door with sidelights and top lights. This has a rendered lintel with a stop chamfered edge. There are additions at the north end. To the south of the station building is the van goods shed. This is a simple gabled building clad in corrugated iron with large timber doors in each side elevation. On the platform side is an early black and white 'Dimboola' sign. To the south of the van goods shed is the lamp room. This is a small gable-fronted building, also clad in corrugated iron.
- To the north and south of the station buildings are pedestrian bridges. The bridge to the north is constructed of steel and has a lattice truss frame, with a timber deck and timber stairs with cyclone wire balustrades. The bridge to the south is constructed of timber with a steel frame supporting the main span over the railway. It is accessed by ramps and has cyclone wire balustrades
- In the north east corner of the station yard is the Locomotive turntable. This is an open circular feature with 10 'roads'.

Comparative Analysis

Concern about extravagant spending led to the Public Works Department developing uniform building designs 'as far as practicable adaptable to every line' from the late 1870s onwards (Ward 2019:175). As Dimboola was the only major station on the short extension from Horsham its design was based on those used at Camberwell, Auburn Road and Glenferrie Road, built in 1882 on the eastward extension of the railway line from Hawthorn. Though not all identical the architectural form and decoration of the buildings were highly comparable with hipped roofs and classically derived details. There were all rare examples of brick stations at a time when timber construction was more common due to cost-cutting measures. The three Melbourne stations were all demolished and replaced when the line was regraded as part of works in the 1920s to electrify the suburban railway network and so Dimboola remains the only surviving example of this small group of stations.

There are no direct comparisons in Hindmarsh Shire. When the line was extended in 1887, standard station designs were developed and built at Nhill and other towns along the route. The station at Nhill was originally a brick building, but due to unstable soils the building developed serious structural issues and was replaced in 1910 with the present timber building. The only original feature retained was the iron verandah, which is the same standard design used at Dimboola.

Dimboola and Nhill are now the only surviving railway station buildings in Hindmarsh Shire. All the others have been removed. Dimboola Railway Station is notable as it retains features such as the locomotive turntable, pedestrian bridges that provide evidence of the scale and status of Dimboola as an important junction and

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locomotive/crew station.

Stationmaster's residence

Prior to 1886, It appears that the Victorian Railways provided dwellings for Station Masters in the station buildings themselves. Dependant on the status of the station between 4 and 6 room dwellings were included, either as part of, or adjoined to the station building. There usually consisted of a sitting room, living room (which also served as a kitchen) and two bedrooms. This was largely because the Station master was expected to be on duty for all trains passing through the station, irrespective of the time. In 1886 a new series of standard plans for stations were introduced which did not include provision for living quarters for the Station master. At the same time a parallel series of plans were produced for station masters residences; their size being based on the classification of the station. All were based on a standard double fronted Victorian villa; with the individual classification based on the number of rooms (ARHS).

With some exceptions, it appears, that accommodation was not provided for other staff, who presumably, were expected to rent accommodation where they were appointed; as they largely worked shifts. The exception to this were Gate Keepers. Until 1891, all level crossings with roads were gated and the gate keeper was expected to be on duty to open and close the gates at all hours. So they had to live adjacent to their gate. In the majority of cases, gates were normally closed across the road; except in towns where there was frequent road traffic, where the reverse applied. In 1891, as a depression economy, most gated crossings, outside of major towns were abolished. This left the VR with a large number surplus gate houses. Many were relocated to become, station buildings, or were modified or combined and added to, to become housing for station masters and later other employees (ARHS).

It also appears that the Rolling Stock Branch, which included Drivers and firemen from the 1880s began to provide standard houses for drivers. This probably accounts for some more important stations including Dimboola Warracknabeal, Murtoa, Ouyen and Kerang having effectively two groups of buildings. One close to the station and another close to the locomotive depot (ARHS).

In 1910, it appears that a new series of designs were produced for both stations and dwellings. All contained elements of the Federation/Edwardian architecture of the time; and Class 1 and 2, were of a totally new design; but the Class 3 and 4 were largely of the same floor plan as their predecessors, with rooms opening off a central passageway. All though had a high, well ventilated roof design and wide eaves. From the 1910s onwards drawings are headed Employees houses not Station Masters houses (ARHS).

The house at 36 Hindmarsh Street is a 1910 Class 2 design, which appears to have been widely used in Wimmera and Mallee regions. It is not known whether it replaced an earlier residence. It is the only known example of its type in Hindmarsh Shire. Other examples are known to survive at Donald, Lascelles, Murrayville, Warracknabeal and Woomelang.

Statement of Significance

What is significant?

The Dimboola Railway Station complex between Hindmarsh and Upper Regions streets in Dimboola is significant. The following buildings and features contribute to the significance of the place:

- The railway station, designed by the Victorian Railways and built in 1882-83.
- The corrugated iron clad van goods shed and lamp room to the south of the station building.
- The former Stationmaster's residence, built c.1910, 36 Hindmarsh Street
- The pedestrian bridges to the north and south of the station yard.
- The Locomotive turntable.

Alterations and additions and other buildings on the site are not significant.

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How is it significant?

Dimboola Railway Station is of local historic, representative, and aesthetic significance to Hindmarsh Shire.

Why is it significant?

Dimboola Railway Station is historically significant as the first railway station built in Hindmarsh Shire and for its associations with the important role played by the railway in the development of Hindmarsh Shire and north-western Victoria. The line to Dimboola formed part of the major expansion of the Victorian Railway network carried out during the 1870s and 1880s which connected the major rural towns with Melbourne. Dimboola was included on the main western route, which was eventually extended to become the main line to South Australia. Connection with the South Australian network in 1887 and the branch line to Jeparit in 1894 increased Dimboola's importance as a crew and locomotive depot for interstate and freight traffic. This is demonstrated by features including the long pedestrian bridges (which illustrate the original size and layout of the railway yard sidings) and the turntable, which is the only remaining feature of the locomotive depot.

(Criterion A)

Dimboola Railway Station is of representative significance as a railway station complex established and developed from the late nineteenth to the early twentieth century. This is demonstrated by the arrangement of the station buildings on the platform, with the office and passenger building, van goods shed and lamp room, the stationmaster's residence, the pedestrian bridges, which were necessary to provide safe access across the wide station yard as Dimboola continued to develop north of the railway - this included providing access for railway workers who lived to the north of the station - and the locomotive turntable.

(Criterion D)

The station building is of aesthetic significance as a late nineteenth century railway station with classically influenced form and detailing. This includes the symmetrical facade treatment with central gablet featuring a blind arch and oculus vent, bracketed roof eaves, corbelled chimneys with rendered bands and capping, compressed and round arch openings, and an elegant concave verandah supported by fluted cast iron columns with a fern leaf motif to the capitals.

(Criterion E)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Dimboola Railway Station
Aboriginal Heritage Place	-

Other Recommendations

Remove the existing HO2, which has been applied incorrectly, and re-apply HO2 to include the nineteenth century station buildings and platform, station master's residence and the metal pedestrian bridge.

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Name: DIMBOOLA RECREATION RESERVE
Address: 43 LLOYD STREET DIMBOOLA
2-6 WIMMERA STREET, DIMBOOLA
Place Type: Picnic Ground/ Recreation reserve, Recreation Precinct, Memorial
Citation Date: 2023
Significance Level: Local
Heritage overlay: HO39



George Nettlebeck gates

Heritage Listings VHR - No

HI - No

Planning scheme - Yes

Architectural Style:

Federation/Edwardian Period (1902- c.1918)
Victorian Period (1851-1901)
Interwar Period (c.1919-c.1940)
Postwar Period (1945-1965)

History and Historical Context

Dimboola

Hindmarsh Shire is situated on the traditional lands of the Wotjobaluk, Jaadwa, Jadawadjali, Wergaia and Jupagalk nations, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 the explorer Edward Eyre arrived in the area and, with the assistance of local indigenous guides, made his way along the Wimmera River to Lake Hindmarsh, which he named after the Governor of South Australia. The first squatters arrived in the district in the 1840s and in 1859 Moravian missionaries established the Ebenezer Mission on a site at Land Hindmarsh. The mission was one of seven Aboriginal reserves in the colony

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by 1863.

The origins of Dimboola can be traced to the 'wine shanty' established by Matthew Ternan in 1859 at what was then known as 'Nine Creeks'. Three years later Ternan established a 'public house' and general store to serve the growing district, and community development was marked by the opening of the first Presbyterian Church, a log structure, which also served as a school. In 1863 Dimboola was proclaimed a township and the new name, chosen by district surveyor, J.G. Wilmot, was reputedly taken from a district in Ceylon 'Dimbula' where Wilmot had previously lived.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, which commenced in 1873. The influx of settlers that followed stimulated the growth of Dimboola and in 1875 a court was established in a room attached to one of the hotels. The development of the district led to the proclamation of Lowan Shire in December 1875, which held its first meeting in the old Dimboola Court Room in March 1876, prior to the erection of the new Court House on part of the Police Reserve later in that year. In August 1876 the Shire invited tenders for building the Shire Hall and Offices, which were completed by March 1877. The next few years saw the establishment of community and sporting organisations including the Agricultural and Pastoral Society, the beginning of the first newspaper (the *Dimboola Banner*), and the setting aside of land for the recreation reserve. In 1879 the first issue of the *Dimboola Banner* described Dimboola as having three hotels, a bakery, several stores and blacksmiths and a population of about 100.

The year 1882 marked a turning point in Dimboola's development when it was connected to the railway from Melbourne. The mainline was extended to Nhill by 1887 (and thence to Adelaide) with a branch line to Jeparit and Rainbow completed in stages during the 1890s. The coming of the railway led to significant growth in the township and surrounding district over the following two decades, as it encouraged intensified farm settlement. Consequently, from 1881 to 1891 the population of Dimboola more than quadrupled from 100 to 563. New buildings erected during this time included the first brick school in 1882, the post office in 1885, as well as several shops in Lloyd Street. The growth of the district led to a movement for severance from the Lowan Shire, which culminated in the proclamation of the Shire of Dimboola in April 1885.

By the early 1900s Dimboola was an important district centre that boasted four hotels, several shops and stores, five churches, a state school, mechanics' institute and free library, court house, shire hall, an agricultural and pastoral society, masonic hall, and sporting and social clubs. There was a flour mill and eucalyptus oil factory, and the surrounding land had become an important wheat-growing district.

The town entered another boom period during the early twentieth century as increasing wheat yields and good prices brought farmers higher incomes. The opening up of surrounding land for closer settlement for returned servicemen led to further growth and between 1901 and 1911 the population rose from 736 to 1435.

Dimboola Recreation Reserve

The site of the Dimboola Recreation Reserve was officially set aside for recreation and public gardens in March 1881 following a request by Dimboola Shire Council. Comprising over 71 acres the reserve was open to the public from sunrise to sunset provided they 'did not offend against decency in regard to dress or language, shoot wild fowl or net fish without consent'. Development of the reserve began in June 1881 when the Dimboola Football Club was permitted to erect goal posts and remove stumps and saplings. By the following summer the reserve was being used by the Dimboola Cricket Club, which requested that seats be provided, and in April 1882 the Dimboola Rowing Club was allowed to erect a boat shed on the bank of the river in preparation for their first regatta held later that year, which became an annual event known as Henley-on-Wimmera. From 1883 the Dimboola Agricultural and Pastoral Society held its annual shows at the reserve and the racecourse was relocated here by the mid-1880s from a site more than two miles from the town. A grandstand was erected in 1899.

Over time, further improvements including tree planting (in 1928 a pine tree plantation was established) were carried out and by the early twentieth century the reserve contained showgrounds, football oval and cricket pitch, tennis courts, bowls and croquet lawns (opened in 1920-21), a racecourse and a nine-hole golf links (established 1909, and later relocated to a new 18-hole course on the opposite side of the river) (*Weekly Times*, 28 September 1929, p.18; 5 October 1929, p.12). By the 1930s the annual Henley-on-Wimmera regatta was attracting up to 7,000 people.

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The Wimmera River was used for swimming from the early 1900s and an enclosed 'swimming cage' was installed in the river beside the banks to provide a safe place for local children to learn to swim. A local woman, Jane Robinson became the swimming instructor in 1910, and in 1938 was awarded life membership of the Swimming Club for her outstanding contribution to the club and community. Under her careful supervision children would swim around the cage and, when ready, were allowed to swim across the river to show 'they were waterproofed'. In the mid-1960s the swimming cage was replaced by a modern swimming pool complex in the northeast corner of the reserve. This was one of many 'Olympic pools' built after the success of Australia in swimming events at the 1956 Olympic Games.

In September 1922 at a meeting of the Dimboola A. & P. Society, Cr. D.S. Anderson raised the issue of the replacing the gates to the park with the Shire, on the one hand, and the relevant societies and clubs, on the other, sharing the costs. Some funds had already been promised resident. Society member George Nettlebeck expressed his concern that the Shire weren't fully committed to the type of gates he envisaged (after seeing some recently in South Australia) and, as a result, he would donate £150 to pay for the gates. The new gates, constructed by local builders, Martindale & Sons with the ironwork carried out by Mr. E.H. Tucker, were used for the first time on the opening day of the Dimboola A. & P. Society Show on Saturday 21 October 1922. (*Weekly Times*, 28 September 1928, p.12). In early November, 1922 then A. & P. Society president, Mr. W.G. Harders, successfully moved that Mr Nettlebeck be awarded the first life membership of the society because of his contribution for the gates. Mr Nettlebeck would later become president of the A. & P. Society.

In 1931 a Girl Guide Troop was formed in Dimboola. By the 1960s the troop had grown to comprise two Guide Companies and two Brownie Packs and better accommodation was required. The former Dimboola East State School No. 2735 (which had closed in 1943 and been moved to the near the Dimboola weigh bridge where it was used as a storeroom) was acquired and moved to northeast corner of the reserve and converted to become the Guide hall.

In 2011 the gardens and playground in the Northeast of the reserve was renamed as the Pickering Gardens in commemoration of the outstanding service given by Dr John and Annette Pickering to the Dimboola community over many years.

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Description

Physical Description

The Dimboola Recreation Reserve is generally bounded by Wimmera Street, Lloyd Street, Park Street and the Wimmera River, excepting some properties at the southwest corner of Wimmera and Lloyd streets. It is a large reserve with an informal layout that contains a range of sporting venues and community facilities set within a mix of indigenous and mature trees, and some lawned areas. At the southern end of the reserve is the Dimboola football and cricket ground and beside this, adjacent to Park Street, is the Les Howland Oval. Other clubs and venues within the reserve include the tennis club, bowling club, swimming pool, the rowing club and the Girl Guide hall. In the northwest section is the caravan park. Almost all the buildings and structures associated with these uses date from the late twentieth century and most are utilitarian structures constructed of cement block and/or corrugated iron or colourbond. The contributory buildings, plantings and features within the reserve are:

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- The George Nettlebeck entry gates and fence. These are situated at the main entrance to the reserve on Lloyd Street. The entry gates comprise six substantial rendered concrete piers with wrought iron balustrades and gates. The piers have stop chamfer Ovolo profiles to the corners and stepped caps surmounted by an orb. The four central piers are placed symmetrically on either side of the central vehicle entry gates, with pedestrian gates on either side, and the end piers sit forward connected by curved balustrades. The wrought iron gates and balustrades are finely detailed with circular and fleur de lys motifs and wavy tops to the vertical railings, and elaborate curliques to act as supports for the gates. On the central post to the right is a bronze plaque: 'This entrance was erected by Geo. Nettlebeck Esq. 1922'. On either side of the gates are woven wire fences with timber posts. On the north side this extends to the Pickering Gardens, while to the south the fence terminates at double gates.
- Ticket box. Situated just inside the entry gates, this small rendered building has a low-pitched roof set behind two tall piers, detailed to resemble the entry gate piers with stepped caps and orbs. There is a small square opening in the front wall, and small seats set into wall niches beside. Placed in front is a plaque set on to a rock: 'Dimboola. In recognition of our great sporting men and women and dedicated A & P Society Members'.
- Annis & George Bills Horse Trough. Situated just inside the entry gates on the left side, this is a reinforced cement trough in a standard design used for the horse troughs manufactured by the trust established by Annis & George Bills and supplied free of charge to towns throughout Australia from c.1927 to c.1945. The front is panelled and there is a curved and stepped pediment with an impressed plaque: 'Donated by Annis & George Bills Australia'. The trough is supported by non-original cement blocks on a cement slab. (Note: it is unclear whether this is the original site of the trough, or if it has been moved here).
- The Girl Guides Hall. This is situated within the northeast corner of the reserve facing Lloyd Street. It is a small timber building with distinctive skillion roofs with upturned eaves around the main building and to the porch, which is supported on tubular steel poles and balustrade with the motto 'Be Prepared' in metal letters. Above the porch is a circular plaque with the trefoil Girl Guides symbol (The three leaves represent the three-fold Promise as originally laid down by the Girl Guides founder. The base of the stalk represents the flame of the love of humanity. The vein pointing upwards through the centre of the trefoil represents the compass needle pointing the way. And the two stars represent the Promise and Law). There are two sets of paired timber doors in the front elevation and horizontal windows in the side elevations. The building has been re-clad in hardiplank boards. On the north side, adjacent to the access road leading to the swimming pool, two posts with shaped finials support a pair of mild steel gates with rectilinear pattern inset with 'B' and 'P'.
- Mature plantings. These include the remnant River red gums (*E. camaldulensis*) and other indigenous trees throughout the reserve, the stand of pines (*Pinus sp.*) to the east of the Les Howland Oval, and the trees within the Pickering Reserve including the Canary Island palms (*Phoenix canariensis*) and Kurrajongs (*Brachychiton populneus*).
- The Jane Robinson Memorial. This is a bronze plaque set into a stone: 'In memory of Mrs Jane (Brassie) Robinson who taught thousands of young Dimboola children to swim in the crate on the Wimmera River'. Beside this is an interpretation sign with historic images and information. The memorial is beside the Wimmera River close to the Rowing Club building.

Comparative Analysis

The Dimboola Recreation Reserve compares with the Nhill Agricultural & Pastoral Society Showgrounds (HO37), as well as Sir Robert Menzies Park at Jeparit and the Rainbow Showgrounds and Recreation Reserve. Common features of these places include memorial entry gates or pavilions dedicated to local people, a central football/cricket oval and/or parade ground, and several pavilions or shelter structures, often timber framed and clad in corrugated iron, as well as courts for tennis, bowls or croquet.

The Dimboola Recreation Reserve is the oldest of the main reserves in Hindmarsh Shire and has been continuously used as a place of recreation for over 140 years. As well as typical sports such as football, cricket, tennis, bowls and croquet it was the venue for the annual 'Henley-on-Wimmera' rowing regatta, which was a

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major event attracting several thousand people to Dimboola at its peak. It is distinguished by the mature trees, comprised of a mix of indigenous and exotic species which contribute to the amenity and character and create a distinctive cultural landscape. Other notable features include the Nettlebeck Gates, which is a fine example of interwar civic architecture, and the quirky Girl Guides Hall, which includes several distinctive features including the 'Be Prepared' motto in the porch balustrade, the Trefoil symbol plaque above the porch, and the mild steel gates with 'B' and 'P'.

The Nhill Showgrounds, by comparison, differs from the others as it has been used exclusively by the Agricultural & Pastoral Society for the annual shows, and does not contain any sporting facilities. Of all the showgrounds in Hindmarsh Shire, it has the most complete collection of buildings and structures that demonstrate the use by the A&P Society over many decades including pavilions for the showing of livestock, poultry, craft and homewares, and other buildings for administrative and catering purposes including the Secretary's office, publican's booth and the Young Farmers' Rooms, and memorial entry gates, all arranged around the central show ring. These include some very early structures dating from the early 1900s such as the publican's booth and an early stock pavilion. The poultry pavilion, which can accommodate 500 birds, is a fine example of its type. As a whole, Nhill Showgrounds is a fine and representative example of a rural showgrounds complex.

Statement of Significance

What is significant?

The Dimboola Recreation Reserve at 43 Lloyd Street and 2-6 Wimmera Street, Dimboola is significant. The following buildings and features contribute to the significance of the place:

- The George Nettlebeck entry gates and adjoining sections of woven wire fence along the Lloyd Street boundary
- The Ticket Box inside the main entry.
- The Girl Guide Hall including the 'B' and 'P' mild steel gates.
- The Annis & George Bills horse trough inside the main entry and to the left
- The mature indigenous and exotic trees including River red gums (*E. camaldulensis*), Pinus sp., Canary Island palms (*Phoenix canariensis*) and Kurrajongs (*Brachychiton populneus*)
- The Jane Robinson memorial.

Other buildings, fencing and features are not significant.

How is it significant?

The Dimboola Recreation Reserve is of local historic, representative, aesthetic and social significance to Hindmarsh Shire.

Why is it significant?

The Dimboola Recreation Reserve is the oldest of the town reserves in Hindmarsh Shire and has been continuously used as a place of recreation for over 140 years. As well as catering for typical sports such as football, cricket, tennis, bowls and croquet it has been the venue for the annual 'Henley-on-Wimmera' rowing regatta, which was a major event attracting several thousand people to Dimboola at its peak. The historic significance of the reserve is demonstrated by features such as the Nettlebeck Gates, which demonstrate the role played by the local community in making improvements to the reserve, and the Girl Guide Hall, which illustrates the importance of the Girl Guide movement in the lives of young and adolescent girls in the early to mid twentieth century.

(Criterion A)

The Dimboola Recreation Reserve is significant as a representative example of a rural recreation and community reserve, which has been used for a range of sporting and community uses over its 140 year history.

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Characteristic features of this type of place represented here include informal landscaping comprised of both indigenous and exotic plantings, memorial entry gates, a central football/cricket oval and/or parade ground, and facilities for various sporting and community groups including Girl Guides, tennis, bowls or croquet, swimming and, unique to Dimboola, rowing.

(Criterion D)

The Dimboola Recreation Reserve is of aesthetic significance as a large informal parkland. The aesthetic qualities are derived from the mature trees, comprised of a mix of indigenous and exotic species, and the setting within a bend of the Wimmera River, which creates a distinctive and picturesque cultural landscape.

The Nettlebeck Gates are of aesthetic significance as substantial and finely detailed interwar gates with Classical style detailing. The aesthetic qualities are derived from the details of the six rendered piers including the stop chamfer Ovolo profiles to the corners and the stepped caps surmounted by an orb, and their symmetrical arrangement with the four central piers and gates placed in line behind the two end piers, which sit forward and are connected by curved balustrades. The heaviness of the piers contrasts with the delicacy of the wrought iron gates and balustrades, which feature circular and fleur de lys motifs and wavy tops to the vertical railings, with elaborate curliques to the gates.

The Girl Guides Hall is of aesthetic significance as a distinctive post-war building with unusual upturned eaves to the main roof and porch, and for details including the 'Be Prepared' motto in the porch balustrade, the Trefoil symbol plaque above the porch, and the mild steel gates with 'B' and 'P' that demonstrate the use of the building.

(Criterion E)

The Dimboola Recreation Reserve is of social significance as a place that has been known used and enjoyed by several generations of the local community. These associations are demonstrated by buildings such as the Girl Guide Hall, and the Jane Robinson Memorial.

(Criterion G)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	Yes
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Dimboola Recreation Reserve
Aboriginal Heritage Place	-

Other Recommendations

Extend HO39 to include the Girl Guide Hall.

HERITAGE CITATION REPORT

Name: DIMBOOLA SHIRE HALL (FORMER)
Address: 101 LLOYD STREET DIMBOOLA
Place Type: Council Chambers
Citation Date: 2023

Significance Level: Local



Dimboola Shire Hall (former)

Heritage Listings

VHR - No

HI - No

Planning Scheme - Yes

Architectural Style: Victorian Period (1851-1901)

History and Historical Context

Dimboola

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wegaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 the explorer Edward Eyre arrived in the area and, with the assistance of local indigenous guides, made his way along the Wimmera River to Lake Hindmarsh, which he named after the Governor of South Australia. The first squatters arrived in the district in the 1840s and in 1859 Moravian missionaries established the Ebenezer Mission on a site at Land Hindmarsh. The mission was one of seven Aboriginal reserves in the colony by 1863.

The origins of Dimboola can be traced to the 'wine shanty' established by Matthew Ternan in 1859 at what was then known as 'Nine Creeks'. Three years later Ternan established a 'public house' and general store to serve

HERITAGE CITATION REPORT

the growing district, and community development was marked by the opening of the first Presbyterian Church, a log structure, which also served as a school. In 1863 Dimboola was proclaimed a township and the new name, chosen by district surveyor, J.G. Wilmot, was reputedly taken from a district in Ceylon 'Dimbula' where Wilmot had previously lived.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, which commenced in 1873. The influx of settlers that followed stimulated the growth of Dimboola and in 1875 a court was established in a room attached to one of the hotels prior to the erection of the new Court House on part of the Police Reserve later in that year. The next few years saw the establishment of community and sporting organisations including the Agricultural and Pastoral Society, the beginning of the first newspaper (the *Dimboola Banner*), and the setting aside of land for the recreation reserve and in 1879 the first issue of the *Dimboola Banner* described Dimboola as having three hotels, a bakery, several stores and blacksmiths and a population of about 100.

The year 1882 marked a turning point in Dimboola's development when it was connected to the railway from Melbourne. The mainline was extended to Nhill by 1887 (and thence to Adelaide) with a branch line to Jeparit and Rainbow completed in stages during the 1890s. The coming of the railway led to significant growth in the township and surrounding district over the following two decades, as it encouraged intensified farm settlement. Consequently, from 1881 to 1891 the population of Dimboola more than quadrupled from 100 to 563. New buildings erected during this time included the first brick school in 1882, the post office in 1885, as well as several shops in Lloyd Street.

By the early 1900s Dimboola was an important district centre that boasted four hotels, several shops and stores, five churches, a state school, mechanics' institute and free library, court house, shire hall, an agricultural and pastoral society, masonic hall, and sporting and social clubs. There was a flour mill and eucalyptus oil factory, and the surrounding land had become an important wheat-growing district.

The town entered another boom period during the early twentieth century as increasing wheat yields and good prices brought farmers higher incomes. The opening up of surrounding land for closer settlement for returned servicemen led to further growth and between 1901 and 1911 the population rose from 736 to 1435.

Dimboola Shire Hall (former)

From 1864 most of what is now Hindmarsh Shire formed part of the Wimmera Shire, which was proclaimed on 4 March 1864. The growth of Dimboola and Nhill and surrounding farming districts eventually led to the proclamation on 31 December 1875 of Lowan Shire, which was excised from Wimmera Shire in March 1876. The first meeting of Lowan Shire Council was held in the old Dimboola Court Room (attached to one of the hotels) on 22 March 1876, and in August 1876 the Shire invited tenders for building the Shire Hall and Offices, which were completed by March 1877. The first Council meeting in the new offices was held on 5 April 1877, and the building was also used by church congregations and other groups such as the Literary and Debating Society and the various Lodges, itinerant theatrical groups, and for public meetings and balls.

The new Council set about improving roads and infrastructure such as water supplies to the main towns and also lobbied for telegraphic communications and improved postal services. However, as Longmire (1985:49) notes there was 'unanimity amongst Councillors' for these improvements:

... Council business, nonetheless, reflected conflict between the squatters and selectors, and rivalry between Nhill and Dimboola.

For the first five years of Council it has been said that 'the interests of Dimboola township were supreme' (Longmire 1985:52). However, the growth of Nhill led to question claims that Dimboola was the most important in the Lowan Shire and the matter came to a head in 1882 when on the deciding vote of Cr George Edwards of Dimboola the decision was made to move the Shire Offices to Nhill. Dimboola residents showed their disapproval of this action by burning an effigy of Edwards with a placard 'George Edwards the Traitor' in front of the Shire Hall in October 1882.

Angry at their loss, residents of Dimboola began to consider the possibility of forming a new shire where 'their rightful position would be acknowledged' (Longmire 1985:55). This led to the formation of severance movements with concern about the debt held by Lowan Shire, which was considered to be 'altogether too large,

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and in consequence of its unwieldy size, it was unworkable and some of the residents ... were 46 miles from Nhill where the Shire Offices were' (Longmire 1985:60). Finally, on 2 April, 1885 the notice of formation of the Shire of Dimboola was given and the new boundaries proclaimed.

As more land to the north of the Wimmera and the southern Mallee was open for settlement the boundaries of Dimboola Shire were adjusted over the years. For example, the East Riding of the Shire was severed and annexed to Borung Shire in May 1893, and Dimboola Shire was redefined as three ridings a year later. As the settlements of Jeparit and Rainbow grew into substantial towns Councillors representing the interests of Dimboola (remembering the experience with Nhill) were reluctant to accept their growing claims of importance. Nonetheless, from July 1899 every third Council meeting was held at Jeparit in the Mechanics' Institute.

Finally, after World War I the citizens of Jeparit sought assistance to incorporate new municipal chambers in a Soldiers' and Citizens' Memorial Hall at Jeparit. In spite of initial opposition in the South and West ridings, and renewed threats of severance, the hall was financed by a loan raised by Council, and money raised by the memorial hall committee. The two-storey building was opened by H.J. Martin of the Victorian branch of the R.S.S.I.L.A. on 27 May 1925. The Council offices and council chamber occupied the upper level, and the Hall committee controls the downstairs library and reading room, the Returned Soldier's clubroom, billiard room, main hall and supper room.

With the creation of Hindmarsh Shire (which recreated much of the old Lowan Shire) in 1994 the Shire headquarters were based in Nhill.

The former Dimboola Shire Offices remain in community use. In 2020 additions were made at the rear of the building and it now forms part of the Dimboola Library and Customer Service Centre.

References

Dimboola Historical Society, *Celebrate Dimboola: One hundred and fifty years. A selection of images from the Dimboola & District Historical Society photographic collection*, 2009

Dimboola Chamber of Commerce, *Back to Dimboola. Welcome Home*, 1969

Longmire, Anne, *Nine Creeks to Albacutya. A history of the Shire of Dimboola*, 1985

Reid, Lesley M., *Dimboola Days. A sketch book of Dimboola*, n.d. [c.1985]

Description

Physical Description

The former Dimboola Shire Offices is a single storey building constructed of white-tuckpointed red brick walls with corrugated metal roofs. 'T'-shaped in plan, it has a longitudinal gabled roof, with a gable-fronted roof at the southeast end and there is a minor gable over the entry. The gables feature scalloped bargeboards and there is a tall louvred vent with an arched head to the main gable and a half-circular vent with a rendered cill below an arched rendered sign panel with 'Old Shire Hall' in painted letters to the entry gable. The skillion verandah, which returns along the southeast elevation has simple timber posts, stop-chamfered beams and simple arched brackets. The original or early timber windows are a mix of three-pane casements (front elevation) and sash (side and rear elevations). The chimneys are finely detailed with stop chamfer profiles to the corners and squared rendered cornices.

Internally, there is a long hall, which was the Council Chamber. This has a vaulted timber ceiling with carved timber trusses. Leading off the hall are two small rooms. The hall and both rooms have fireplaces with simple surrounds. Above the fireplace in the hall is a marble plaque in memory of Doctor W.C. Ross, who died on 25 September 1903.

The building is in good condition and has moderate integrity. The windows to the right of the entry door and at the rear of the building on the northwest side have been replaced. There is a recent addition at the rear, containing the Dimboola Library, which is connected to the original building by a narrow, glazed walkway. This is

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sensitively designed and has not impacted upon the original building.

Comparative Analysis

The former Dimboola Shire Hall of 1877, and the former Lowan Shire Hall of 1888, are characteristic of the small buildings erected by small rural councils in the late nineteenth century. The limited resources available to these Councils meant that such buildings were unpretentious and fit for purpose with the minimum amount of accommodation required to perform the necessary municipal functions, as the Councils were keen to avoid any impression of extravagance or wasteful spending. Nonetheless, they were solid buildings, usually of masonry construction (when timber construction was more common) and with enough decoration to be considered an 'ornament' to the town, which was the usual compliment. Built about a decade apart these buildings are similar in terms of their hip and gable roofs and verandahs to the principal elevations, and the internal layout comprising a large central hall for the Council chamber with attached offices. Lowan Shire Hall is slightly larger and the symmetry of the original building has been disrupted by the addition on the east end. The detailing is also slightly more elaborate, with shaped bargeboards and truss work including large finials to the gable ends, and the ornate cast iron frieze and brackets to the verandah.

Statement of Significance

What is significant?

The former Dimboola Shire Hall, constructed in 1876-77, at 101 Lloyd Street, Dimboola is significant.

Alterations and additions are not significant.

How is it significant?

The former Dimboola Shire Hall is of local historic, representative, aesthetic and social significance to Hindmarsh Shire.

Why is it significant?

The former Dimboola Shire Hall is historically significant as the oldest municipal building in Hindmarsh Shire. It is associated with the formation of Lowan Shire, which was proclaimed in 1876 and held its first meetings in a local hotel before this building was opened in March 1877. The building served as the headquarters of the Lowan Shire until 1882 when the Shire offices were moved to Nhill and then regained its municipal function in 1885 as the headquarters of the newly proclaimed Dimboola Shire. It remained the Shire headquarters for Dimboola Shire until 1925 when the new Soldiers' and Citizens' Memorial Hall was opened in Jeparit. As well as its municipal functions, the building was also an important early meeting place in the town and was used for church and lodge services, public meetings, theatrical presentations, and social events and balls. It has remained in community use and now forms part of the Dimboola Library and Customer Service Centre for Hindmarsh Shire.

(Criterion A)

The former Dimboola Shire Hall is significant as a representative example of the simple municipal buildings erected by small rural councils in the late nineteenth century. The limited resources available to these Councils meant that such buildings were unpretentious and fit for purpose with the minimum amount of accommodation required to perform the necessary municipal functions, as the Councils were keen to avoid any impression of extravagance or wasteful spending. This is demonstrated by the masonry construction, the simple decoration to the verandah, gable ends and chimneys, and the internal layout comprising a large central hall for the Council chamber with attached offices.

(Criterion D)

The former Dimboola Shire Hall is of aesthetic significance as a nineteenth century building within the Dimboola Town Centre, which stands in contrast to the predominant commercial buildings of the early twentieth century. The verandah with the simple arched brackets and the scalloped barge boards to the gable ends are distinctive details.

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(Criterion E)

The former Dimboola Shire Hall is of social significance as a building that has served the communities of Dimboola and the Wimmera region for over 140 years as municipal offices, a town hall and meeting place, and now as a community service centre. It is a building that local people associate strongly with history and identity of Dimboola and is highly valued as an important heritage building within the town.

(Criterion G)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	Yes
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 101 Lloyd Street, Dimboola
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Name: ST PETER'S ANGLICAN CHURCH COMPLEX
Address: 37 LOCHIEL STREET, DIMBOOLA
Place Type: Church, Church Hall, Parsonage
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO4



St Peter's Anglican Church

Heritage Listings VHR - No

HI - No

Planning Scheme - Yes

Architectural Style:

Victorian Period (1851-1901) Gothic Revival
Federation/Edwardian Period (1902-c.1918)
Interwar Period (c.1919-c.1940), Postwar Period (1945-1965)

History and Historical Context

History of Dimboola

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 the explorer Edward Eyre arrived in the area and, with the assistance of local indigenous guides, made his way along the Wimmera River to Lake Hindmarsh, which he named after the Governor of South Australia. The first squatters arrived in the district in the 1840s and in 1859 Moravian missionaries established the Ebenezer Mission on a site at Land Hindmarsh. The mission was one of seven Aboriginal reserves in the colony by 1863.

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The origins of Dimboola can be traced to the 'wine shanty' established by Matthew Ternan in 1859 at what was then known as 'Nine Creeks'. Three years later Ternan established a 'public house' and general store to serve the growing district, and community development was marked by the opening of the first Presbyterian Church, a log structure, which also served as a school. In 1863 Dimboola was proclaimed a township and the new name, chosen by district surveyor, J.G. Wilmot, was reputedly taken from a district in Ceylon 'Dimbula' where Wilmot had previously lived.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, which commenced in 1873. The influx of settlers that followed stimulated the growth of Dimboola and in 1875 a court was established in a room attached to one of the hotels. The development of the district led to the proclamation of Lowan Shire in December 1875, which held its first meeting in the old Dimboola Court Room in March 1876, prior to the erection of the new Court House on part of the Police Reserve later in that year. In August 1876 the Shire invited tenders for building the Shire Hall and Offices, which were completed by March 1877. The next few years saw the establishment of community and sporting organisations including the Agricultural and Pastoral Society, the beginning of the first newspaper (the *Dimboola Banner*), and the setting aside of land for the recreation reserve. In 1879 the first issue of the *Dimboola Banner* described Dimboola as having three hotels, a bakery, several stores and blacksmiths and a population of about 100.

The year 1882 marked a turning point in Dimboola's development when it was connected to the railway from Melbourne. The mainline was extended to Nhill by 1887 (and thence to Adelaide) with a branch line to Jeparit and Rainbow completed in stages during the 1890s. The coming of the railway led to significant growth in the township and surrounding district over the following two decades, as it encouraged intensified farm settlement. Consequently, from 1881 to 1891 the population of Dimboola more than quadrupled from 100 to 563. New buildings erected during this time included the first brick school in 1882, the post office in 1885, as well as several shops in Lloyd Street. The growth of the district led to a movement for severance from the Lowan Shire, which culminated in the proclamation of the Shire of Dimboola in April 1885.

By the early 1900s Dimboola was an important district centre that boasted four hotels, several shops and stores, five churches, a state school, mechanics' institute and free library, court house, shire hall, an agricultural and pastoral society, masonic hall, and sporting and social clubs. There was a flour mill and eucalyptus oil factory, and the surrounding land had become an important wheat-growing district.

The town entered another boom period during the early twentieth century as increasing wheat yields and good prices brought farmers higher incomes. The opening up of surrounding land for closer settlement for returned servicemen led to further growth and between 1901 and 1911 the population rose from 736 to 1435.

St Peter's Church of England

The first settlers in Hindmarsh Shire soon began holding religious services and as numbers increased, formed themselves into congregations. Before churches were built, religious services were held in private residences and later, as townships formed, or in public buildings such as halls or schools, or even in parks. Residences were built to accommodate clergymen and their families, and as such were an integral part of building a local religious community with a resident priest. Sunday schools were a common form of spiritual education for children of the various congregations.

Churches also illustrate the waves of migration since the nineteenth century. Migrant communities were defined particularly by cultural and religious identities carried from the place of origin and a marked characteristic of the Wimmera and Mallee regions is the high numbers of people who worshipped at the traditional 'churches of dissent': Presbyterian, Methodist, Baptist, Church of Christ and Lutheran. According to Priestley (1967:102) this strength depended partly on the origins of the first settlers (many came from South Australia, a 'paradise of dissent') but was also fostered by the 'circumstances of the district itself':

The simplicity, even austerity, of the forms of worship in these dissenting churches, as well as the social values they championed, seemed to accord naturally with the simple austere lives which wheat farmers and business traders were forced to live. (Priestley 1967:102)

The first church services in Dimboola were conducted in 1859 by the Presbyterians, followed soon after by the Church of England. These early services were held in a building built of native pine slabs, which became known

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as the 'log cabin church'. There are various stories as to the origins of this building, but it remained the property of the Presbyterian Church until its demolition in 1956. During the 1860s Dimboola was served by itinerant preachers who travelled long distances, but by 1870 as the population of the Wimmera district grew and townships began to develop the newly appointed Archdeacon of Ballarat and Hamilton recognised the need for more frequent visitation. In 1870 the decision was made to create a new Diocese to serve the western part of the Colony and in 1875 Dimboola became part of the Diocese of Ballarat, which included most of the west and south west of Victoria extending to the South Australian border.

With the opening up of the Wimmera for selection the need for new churches and schools became even more pressing as the population continued to grow. At Dimboola, monthly services commenced in June 1876 following the arrival of the Rev. J.M. Watson who took up residence in the town in May. A Sunday School was established and as enrolments at the school and the congregation continued to grow the first parsonage was acquired. The first occupant was the Rev. George Geer and Dimboola became the centre of a parochial district that initially included Murra Warra, Bleak House, Murtoa and Jung Jung.

In 1885 the Bishop of Ballarat wrote of the challenges of establishing new churches within the vast Wimmera Mallee region, which in the early 1880s contained only one temporary timber church and parsonage. Services were otherwise held in five halls, four state schools and four private houses. The Bishop identified a need for at least 30 churches and three parsonages (church residences), with priority given to the then emerging centres of Murtoa, Minyip, Kewell, Warracknabeal, Dimboola, Kiata, Nhill, Draper Town and Yanac-a-Yanac. The churches at Murtoa, Warracknabeal and Dimboola were planned to be of brick, and to cost 500 pounds each to make them 'fit for public worship'. The other buildings were planned to be of wood. The cost of the churches was to be funded by the Diocese (including money donated by Church of England parishes in England) and local contributions (*The Church of England Messenger and Ecclesiastical Gazette for the Diocese of Melbourne and Ballarat*, 5 February 1885, p.8 'In the bush').

At Dimboola, planning for St Peter's Church began around the time of the arrival of the second resident clergyman, the Rev. R.J.E. Hayman in December 1884. Tenders for the new brick church, designed by C.D. Figgis, were called in May 1885 and the tender of Mr W.J. Cooper for 594 pounds was accepted. The foundation stone was laid on 23 June of 1885 by Archdeacon Churchill Julius and the opening and dedication of the church took place on 16th November of that year. The opening ceremony was performed by the Rt. Rev. Samuel Thornton, Bishop of Ballarat. The new church was described as 'lofty and long', with a porch to one side of the nave, and a small vestry at the rear.

In 1907 the old parsonage was sold and the present parsonage built next to the church. Described as an 'ornament to the town' it was ready for occupation by August 1907.

With the continuing growth of the congregation planning and fund raising for a Sunday School hall began in 1921. That same year a Blackwood altar and reredos were dedicated by Archdeacon Tucker in memory of fallen World War I soldiers. Two years later in January 1923 the Bishop in Council constituted the parishes of Dimboola and Warracknabeal and on 29th January the Archdeacon of Ballarat inducted the Rev. W.J. Powney as the first Vicar of Dimboola.

By 1926 the congregation had raised sufficient funds to proceed with the building of the Parish Hall. In January 1927 P.S. Richards of Coburn & Richards, Diocesan architects of Ballarat submitted plans to the Public Health Department (PHD). However, in May 1927 W. M. Muntz, secretary of the church committee advised the PHD that they did not wish to proceed with the original plans as the tenders received were too high. Eventually, the matter was resolved and local builders Martindale & Sons completed the new church hall in 1928. The Bishop of Ballarat Phillip Charles Thurlow Crick D.D. laid the foundation stone on 28 June and the hall was opened and dedicated on 26 September 1928. The church hall was used as a Sunday School, a meeting place for the bible society, the Girls' Friendly Society and the Ladies' Guild of St Paul's and St Joseph's, and for dancing and social events. In 1963 the hall was extended at the rear with the addition of a kindergarten room and new toilets. P.S. & G.S. Richards were the architects. St Peter's Memorial Kindergarten was opened in early 1964.

In the mid-1950s planning commenced for additions to 'complete' St Peter's Church. The plans prepared by Diocesan architect, G.S. Richards complemented the 'Early English' architecture of the original church and the additions were constructed using bricks from the old St John's Horsham (which had been demolished and

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replaced with a new church) as they 'matched' the original bricks. The rear of the church was extended and a new 'rose window' added to the end wall, with larger vestry on the west side. At the same time the grounds of the church were redesigned and planted under the direction of Trevor Arthur of the Forests Commission. On St Peter's Day, June 1958 the contractors B.B. Bushby & Co. handed over the keys of the extended church to the church wardens and the service of re-hallowing St Peter's was conducted by the Archdeacon on Sunday 10th August.

In 1975 alterations and additions were carried out to the parsonage/rectory. In 1985 the church was refurbished for the centenary celebrations. The interior was repainted, carpet laid, and interior and exterior doors replaced.

References

Dimboola Historical Society, *Celebrate Dimboola: One hundred and fifty years. A selection of images from the Dimboola & District Historical Society photographic collection*, 2009

Dimboola Chamber of Commerce, *Back to Dimboola. Welcome Home*, 1969

Longmire, Anne, *Nine Creeks to Albacutya. A history of the Shire of Dimboola*, 1985

Mortimer, Marjorie A., *The Rock Endures. A History of the Anglican Church in Dimboola and district c.1858-1985*, 1985

Reid, Lesley M., *Dimboola Days. A sketch book of Dimboola*, n.d. [c.1985]

Description

Physical Description

St Peter's Anglican Church is situated at the north east corner of Lochiel and Church streets and comprises the church of 1885 (extended in 1958), the church hall of 1928 (extended 1963-64) and the parsonage/residence of 1907 (extended 1975).

The church is a Victorian Gothic Revival style bi-chrome brick church with a steeply pitched gable roof (with triangular vents and a ridge ventilator) and buttressed walls. The walls are built from red-brown bricks laid in English Cross bond with a cream brick band. The east elevation features a large lancet style window with tracery patterns including a trefoil. There are slender lancet windows in the side walls and to the porch, which has a pointed arch entry with paired timber doors. The 1957 additions at the north end comprise the chancel and sanctuary, with anterooms containing the choir vestry and clergy vestry on the west side, and the organ recess on the east side. Externally, the choir vestry is defined by the crenelated parapet and tall narrow windows with square heads and diamond leadlight glass and behind this is a hipped roof section containing the clergy vestry. The sanctuary, which is narrower than the nave, is lit by a rose window set high in the north wall, and pairs of leadlight windows set high in the side walls dedicated to St Luke and St Matthew (west side), and St Mark and St John (east side). There is another leadlight window dedicated to Christina and Edwin Bending in the Organ Recess. Other external details include the metal Celtic style cross to the apex of the front gable, and the foundation stone below the window in the front wall.

Internally, the ceiling of the nave is timber lined and supported by hammer beam trusses. Associated furniture and objects include the Blackwood altar and reredos dedicated in 1921 by Archdeacon Tucker in memory of fallen World War I soldiers, the baptismal font, the honour boards on the north wall, and timber pews.

The church is in good condition and has good integrity. The most significant alteration to the front of the 1885 church has been the cutting back of the eaves of the front gable to be flush with the wall. As a result the arched timber truss work formerly suspended from the gable end has been attached to the front wall.

The church hall and kindergarten is situated at the rear of the church and faces Church Street. The hall is a gabled brick interwar building with Arts & Crafts detailing. There is a projecting gabled porch at the front. The brick walls are laid in stretcher bond and have pilasters, which divide the side walls into four bays, and there is half-timbering and visible rafter tails to the gable ends (with a square louvred vent to the main gable). The windows, which are recessed within rectangular openings with cement lintels, cills and sills, are multi-paned

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with a trefoil top. Other details include the distinctive roof vents with pointed circular caps, and a metal cross to the front of the main gable. The postwar kindergarten addition at the rear has a low-pitch gable roof and red brick walls, and incorporates an open carport.

The parsonage is a Federation timber villa with a M-hip iron roof and a separate verandah with a bullnose roof, turned timber posts and a cast iron frieze. The symmetrical facade features an entry door with sidelights and highlights flanked by paired timber sash windows, and decorated eaves with brackets and 'cricket bat' moulds. There is one corbelled brick chimney. There is a hipped roof addition set back from the front on the north side.

Comparative Analysis

By the end of the nineteenth century the Gothic style had been adopted by most of the Protestant churches, and during the interwar period the Gothic style was continued in church design, but was increasingly simplified or abstracted. A number of transitional styles also emerged, which succeeded in making the break from Gothic, but not with historicism entirely. They included Byzantine/Exotic, Mediterranean/Spanish revival, Arts & Crafts eclectic and Neo-Grec (twentieth century revival of Greek classicism) (Lewis 1991:34-5).

Early churches in Hindmarsh Shire were typically simple Carpenter Gothic buildings, often built by the congregations. The first churches often comprised only a nave, with anterooms containing the vestry, chancel or choir added in later stages. In larger towns, these early churches were sometimes replaced by more substantial buildings and became the church hall. Like schools and halls, churches were sometimes moved as areas declined or flourished. The decoration of these early churches was limited to occasional flourishes such as Gothic Revival diamond pattern leadlight quarry windows, religious motifs such as a cross (often mounted at the apex of the roof gable) and decorative bargeboards. More substantial churches were built, usually of brick or stone, in larger towns and in other areas by the early twentieth century and the interwar period.

St Peter's, Dimboola is the oldest Anglican Church in Hindmarsh Shire and the second oldest church of any denomination. It is perhaps the best example in Hindmarsh Shire of a late Victorian church in the Gothic Revival style with characteristic form and detailing including the steeply pitched roof, buttressed walls, and gabled porch, and lancet windows. Notable features include the pointed arch window with tracery to the front elevation, the Rose window at the west end and the hammer beam trusses to the interior. It compares with late nineteenth or early twentieth century examples such as St Patrick's Catholic Church and St George's Anglican Church, both at Nhill.

The church hall is a simple interwar building with influences of the Arts & Crafts style including the half-timbered detailing to the gable end. The distinctive windows with trefoil details that echo those of the church windows are of note. It compares with the former St Andrew's Presbyterian Church of 1914, now used as the hall at Dimboola Uniting Church.

The parsonage is a typical example of a Federation timber villa and one of a small number of surviving pre-World War II church residences. It compares with residence at St John's Lutheran Church, Pella.

Together, the buildings contribute to an understanding of St Peter's as a Parish Centre.

Statement of Significance

What is significant?

St Peter's Anglican Church complex at 37 Lochiel Street, Dimboola is significant. The contributory features are:

- The church, designed by C.D. Figgis in 1885 and the 1958 additions designed by P.S. & G.S Richards.
- The church hall, designed by P.S. Richards, Coburn & Richards in 1928 and extended in 1963-64.

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- The parsonage, built in 1907.

The 1975 additions to the parsonage and other buildings on the site are not significant.

How is it significant?

St Peter's Anglican Church complex is of local historic, representative, aesthetic and social significance to Hindmarsh Shire.

Why is it significant?

St Peter's is historically significant as the first Anglican Church established in Hindmarsh Shire and as one of the oldest Anglican churches in the Wimmera region. The building of the church in 1885 was associated with the major expansion of the Anglican Church in the northwest of Victoria in the late nineteenth century as the population of area grew in the wake of closer settlement. Once opened, St Peter's played an important role in the establishment and development of new congregations in the emerging districts to the north and west of Dimboola. The Parish Hall demonstrates the growth of the congregation in the early twentieth century and together with the parsonage contributes to an understanding of the role of St Peter's as a parochial and Parish centre with a resident priest.

(Criterion A)

St Peter's is of representative significance as a parish centre comprising a late Victorian Gothic Revival church, a simple interwar hall with Arts & Crafts detailing and a later postwar kindergarten addition, and the parsonage, which is a timber Federation villa. This mix of buildings of various styles and eras is characteristic of rural parish centres, which developed over long periods with buildings built or added when the resources of the congregation allowed. The church is of architectural significance as a nineteenth century Gothic Revival church with characteristic form and detailing including the steeply pitched roof with low buttressed walls, a gabled porch with a pointed arch door, narrow lancet windows to the nave, the pointed arch window with tracery details to the main elevation, and the hammer beam trusses to the interior.

(Criterion D)

St Peter's church and hall are of aesthetic significance as distinctive buildings on a prominent corner site. The aesthetic qualities are derived from Gothic revival form and detailing of the church including the steeply pitched roof with low buttressed walls, a gabled porch, and the crenellated choir vestry, and restrained Arts & Crafts detailing of the hall including the half-timbering to the gable ends. Of note are the tracery details to the pointed arch window to the main elevation, and the large Rose and leadlight windows to the north end elevations of the church, and the distinctive windows to the hall, which echo the trefoil detail found in the church windows. Internally, the finely crafted reredos and altar of the church are of note.

(Criterion E)

St Peter's is of social significance as a place that has served the Anglican community in Dimboola for almost 140 years. It has strong and enduring connections with several generations of local families.

(Criterion G)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-

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Incorporated Plan

Statement of Significance: 37 Lochiel Street, Dimboola
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Aboriginal Heritage Place

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HERITAGE CITATION REPORT

Name: DIMBOOLA PUMPING STATION SITE
Address: PARK STREET DIMBOOLA
Place Type: Water Pump House/Pumping Station
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO40



Dimboola Pumping Station site

Heritage Listing VHR - No

HI - No

Planning Scheme - Yes

Architectural Style:
Federation/Edwardian Period (1902- c.1918)

History and Historical Context

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

Water supply in Victoria

The following information is drawn from the *Thematic Environmental History* that forms Volume 1 of the *Victorian Water Supply Heritage Study*.

The harnessing of a reliable water supply, and its effective distribution and use, was vital for the success of European settlement in Victoria. According to Context (2007:xiv):

The raison d'etre of colonial settlement was for progress and development through the exploitation of natural

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resources. Water was the critical resource - for domestic needs, agriculture, and industrial development.

...

The development of water supplies both shaped, and was shaped by, the development of Victoria as a whole. Where water could be easily tapped and stored, settlements flourished.

...

Throughout the Colony, water supply was initially procured on an ad hoc basis by private individuals, or collectively in small settlements, with varying levels of success. Inevitably, extensive public projects were required to serve the larger centres of population. The means with which this could be achieved depended upon the engineering talent of the resident population; a ready labour force; sufficient public revenue; and an effective system of organisation and management

The original water supply to Melbourne was 'rudimentary and unreliable and of a poor quality (Context 2007:13). In the wake of the great influx of population due to the gold rush a more reliable and permanent solution was required. The result was the Yan Yean water supply scheme, which was completed in 1857. Despite some initial problems, with improvements and extensions it catered for the growth of Melbourne during the 1870s and 1880s and remained Melbourne's main supply of water until the first stages of the Maroondah water supply system were initiated in the 1880s. The Yan Yean system continues to supply water to Melbourne today (Context 2007:14-16).

Outside of Melbourne, most of the earliest township water supply schemes were established in goldfields towns, where the water needs of the mining industry provided the impetus for the development of engineered schemes. Until financial assistance was provided by the State Government these towns were also the only ones with the financial means to consider such undertakings. The passage of the *Waterworks Act 1865* provided the sum of £50,000 to be distributed as government loans for the construction of local water supply systems (Context 2007:17, 19).

Apart from the goldfields towns, few towns had the financial capability to construct complex waterworks schemes prior to the 1870s and it was not until the passing of the *Water Conservation Act (1881)*, which made loans available to locally constituted water authorities, that a growing number of towns set up water trusts to finance the construction of a water supply and reticulation system. In many cases, the needs of the expanding steam railways hastened this development (Context 2007:21).

The progress with connection of households in rural townships to a reliable water supply, however, remained slow. Assistance to rural towns with more limited means finally came with the formation in 1906 of the State Rivers and Water Supply Commission (SRWSC). By the mid 1930s, the SRWSC provided water to 98 country towns and supervised the local trusts responsible for 138 cities and towns outside the Melbourne metropolitan area (Context 2007:22).

Water supply in Hindmarsh Shire

One of the priorities for the Shire of Lowan after its formation in 1876 was to improve water supply by protecting existing water resources and developing more supplies. However, in the beginning, the shire could only act in a piecemeal fashion, as it had limited funds and squatting interests controlled many water sources and rights had to be clarified. For example, when local residents wished to clear the Dart Dam, Robert Bell of the Upper Regions Station on which it was situated said 'he was not aware the public had the right to use the water'. Other efforts to provide more secure water supplies include the setting aside of water reserves and the construction of water storages (such as the dam at Gerang Gerung in 1881), while landowners were encouraged to sink deep wells and tanks for themselves. Despite these efforts, during the drought in 1882 increasing numbers drove water wagons to the Wimmera River to draw water leading to fears that it would be so diminished that it would lose purity and 'become a fruitful source of disease and death'.

A more coordinated approach to water supply came with the formation of the Lowan Shire Waterworks Trust,

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which in January 1882 was granted £15,829 by the Water Supply Commission. By 1885 the trust had used this money to sink fifteen wells, and to provide funds to Lowan Shire and individuals to purchase four more. However, owing to the lack of unanimity of Dimboola and other East Riding ratepayers about whether to join the Lowan Trust or the Wimmera United Waterworks Trust (which had been established in 1882 by a group of shires to the east) they were unrepresented on either and this added to their desire for severance from Lowan Shire.

When the new Shire of Dimboola was proclaimed in 1885 the Council's greatest challenge was to improve the water supply due to the increase in settlement and one of the first actions of the new council was to annex most of its territory to the Wimmera United Water Trust. In 1882 the Trust commenced construction on the Wartook Reservoir, situated in Grampians, to act as the main storage, which would be supplied to the region by using the existing watercourses as the main distribution channels, supplemented by new channels. However, this did not provide an immediate solution as the Trust faced difficulty supplying water to vast areas of already settled country, and efforts remained uncoordinated and hampered by inadequate financial resources. In 1886 Dimboola Council complained that, while they had as much channelling as in Wimmera Shire, most of the channels remained dry.

In 1886 the Wimmera United Trust was split in two, and the western section was controlled by a new trust, which in 1888 became the Western Wimmera Irrigation and Water Trust. It took over the Wartook Reservoir and a weir at Dooen and constructed new distribution channels including a new channel connecting Dooen with Dimboola, where a reticulated water system was established by 1888. The latter project was one of the last initiated by the Wimmera United Water Trust in Dimboola Shire before the shire resolved to annex its territory to the Western Wimmera Irrigation and Water Trust (WWWT).

The Wartook Reservoir, and the development of the distribution system using main water courses and constructed channels from 1882 to 1903 were the beginnings of what became known as the Wimmera-Mallee Stock and Domestic Supply System (the System). Developed over a period of more than 60 years the System eventually provided water supply for stock and domestic use (as well as some irrigation) to over 15,000 rural properties and about 50 towns and villages obtained from catchments in the Grampians and elsewhere. This included most of the land within Dimboola Shire to the east of the Wimmera River, and a small section to the west between Antwerp and Jeparit.

Settlement in the Northern Wimmera and Southern Mallee in the late 1880s and 1890s, placed further demands on the System and in 1890 approval was given for the construction of Lake Lonsdale to provide additional storage capacity. Construction of Lake Lonsdale commenced in 1898 and was completed in 1903. Following the passing of the *Water Act* in 1905, which abolished all but one of the local water trusts, the SRWSC took over control of the System in 1906 and undertook extensive development and expansion using a range of components including artesian bore supplies, catchment tanks, artificial catchments, channel and pipeline water supplies. It is said that 'No matter where settlement occurred in the Mallee, the Commission devised a method of water supply to meet its needs'.

Whereas the original schemes by the water trusts had used natural watercourses as the main distribution channels the SRWSC commenced a channel construction program for stock and domestic supply and began to progressively extend reticulated water supplies to the main towns within the region starting with Sea Lake in 1906-07. This open channel system remained in use until the early twenty-first century. However, due to excessive water losses due to seepage and evaporation, the open channels were replaced with pipelines from 2006 to 2010, as part of the Wimmera Mallee Pipeline project.

The Wimmera Mallee Pipeline project has ensured that the System continues to provide a safe and reliable water supply for the Wimmera and Mallee regions today.

Dimboola Pumping Station and water supply

The Wimmera River provided the water supply for Dimboola from the beginnings of the settlement. As the township grew the need for an improved and more reliable source of water become evident and in 1887 the project to establish a reticulated water supply for the town finally commenced. Cast iron pipes were laid throughout the town and a storage reservoir supplied by a pumping station beside the Wimmera River were

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constructed. The pumping station, constructed by J. Don and W. Wright of Ballarat, included an engine and boiler house and brick chimney stack and the reservoir (known as 'The Summit') was situated 100 ft above the town on a site on the north side of Horsham Road. In January 1888 Mr. A.G. Brown, engineer for the Wimmera United Water Trust turned the water into the pipes for the first time. At first, water was drawn from the tanks at the Dimboola Railway Station until the new storage reservoir and pumping station were completed. The fully completed Dimboola township water supply scheme was officially opened by the Shire President, Cr. D. McRae in October 1888 (*The Horsham Times*, 13 January 1888, p.3; 27 March 1888, p.4; *The Argus*, 3 October 1888).

The completion of Lake Lonsdale in 1903, which diverted water from the Wimmera River upstream from the towns in the Shire of Dimboola to serve districts further north in the Mallee led to fears that insufficient water would remain in the lower Wimmera for local needs. In 1902 a deputation representing the WWWT and the Dimboola Shire Council met with the Minister for Water Supply to urge the construction of several weirs on the Wimmera River in conjunction with the Lake Lonsdale scheme in order to hold back water that otherwise 'goes to waste in Lake Hindmarsh'. It was claimed that so much water was being diverted from the Wimmera and Little Wimmera rivers that the lower Wimmera, especially near Dimboola and Jeparit, was left 'with only a little brackish water in its bed' (*The Argus*, 2 May 1902, 'Western Wimmera Water Supply').

The deputation was successful and the Water Supply Department agreed to construct three 'compensation' weirs at Jeparit, Antwerp and Dimboola, so-called because they were intended to 'compensate' for the potential loss of water due to Lake Lonsdale. Tenders for the construction of the first weir at Jeparit were invited in October 1902, and the successful contractor, J.H. Gamble, had commenced work by December of the year. Works on the other two weirs started around the same time and all three were completed by the middle of 1903. Of the three, the Jeparit weir was constructed of mass concrete and timber, whereas the weirs at Antwerp and Dimboola were of all-timber construction. The construction of the weir at Dimboola improved the reliability of the water supply at Dimboola.

Around the same time the old pumping station was 'practically worn out' and increasingly costly to operate and the SRWSC decided to replace the old pump with a new suction-gas plant, and also to improve the pipe reticulation within Dimboola. In November 1909 the SRWSC accepted the tender of W. Sly for the foundations, house and piers of the new pumping plant and the works were completed by the following year (*The Horsham Times*, 30 November 1909, p.5; 14 January 1910, p.5).

The pumping station was made redundant when the SRWSC constructed a channel that enabled water sourced from Taylors Lake to supply Dimboola (*The Age*, 25 November 1938, p.16, 'Dimboola water supply').

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Description

Physical Description

The Dimboola Pumping Station site is situated at the western end of Park Street, close to the Wimmera River. The location is marked by a ruined mass concrete structure comprised of a thick wall with a 'zig zag' profile along the south face and a circular feature at the west end. Parts of the walls of the circular feature have been broken away exposing the aggregate, and pieces lie beside or rest against other parts of the structure. The structure is approximately 1.5m in height and 2-3m in length.

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Comparative Analysis

There are no direct comparisons with this place. In the context of early water supply infrastructure it may be compared with the 1903 weirs at Jeparit (HO42) and Antwerp. The former survives and, while altered, has moderate integrity. The latter is in ruinous condition.

Another pertinent comparison is the original 'Summit' Reservoir, which formed part of the original Dimboola water supply scheme. This circular reservoir appears to survive on the north side of Horsham Road immediately to the west of the present Goulburn Murray Water water treatment plant.

Statement of Significance

What is significant?

The Dimboola Pumping Station site, comprising the ruined concrete structure at the south end of Park Street, Dimboola is significant.

How is it significant?

The Dimboola Pumping Station site is of local historic significance to Hindmarsh Shire.

Why is it significant?

The Dimboola Pumping Station site is of historical significance as a remnant of the first reticulated water supply for Dimboola. The first pumping station on this site was constructed by the Wimmera United Water Trust in 1888 and the concrete structure that remains is believed to be associated with the new pumping station established by the State Rivers and Water Supply Commission in 1908-09, which remained in use until it was superseded by water supplied from Lake Taylor, which formed part of the Wimmera Mallee Stock and Domestic Water Supply System. Provision of a safe and reliable water supply was essential for the development of townships and this place provides tangible evidence of how early township supplies were initially drawn directly from local sources such as rivers or lakes prior to the development of more sophisticated schemes such as the Wimmera Mallee system.

(Criterion A)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	No
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Dimboola Pumping Station Site
Aboriginal Heritage Place	-

Other Recommendations

Remove tree controls.

HERITAGE CITATION REPORT

Name: VICTORIA HOTEL
Address: 32 WIMMERA STREET &
VICTORIA STREET DIMBOOLA
Place Type: Hotel
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO9



Victoria Hotel

Heritage Listing VHR - No

HI - No

Planning Scheme - Yes

Architectural Style:

Federation/Edwardian Period (1902- c.1918)

History and Historical Context

History of Dimboola

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 the explorer Edward Eyre arrived in the area and, with the assistance of local indigenous guides, made his way along the Wimmera River to Lake Hindmarsh, which he named after the Governor of South Australia. The first squatters arrived in the district in the 1840s and in 1859 Moravian missionaries established the Ebenezer Mission on a site at Land Hindmarsh. The mission was one of seven Aboriginal reserves in the colony by 1863.

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The origins of Dimboola can be traced to the 'wine shanty' established by Matthew Ternan in 1859 at what was then known as 'Nine Creeks'. Three years later Ternan established a 'public house' and general store to serve the growing district, and community development was marked by the opening of the first Presbyterian Church, a log structure, which also served as a school. In 1863 Dimboola was proclaimed a township and the new name, chosen by district surveyor, J.G. Wilmot, was reputedly taken from a district in Ceylon 'Dimbula' where Wilmot had previously lived.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, which commenced in 1873. The influx of settlers that followed stimulated the growth of Dimboola and in 1875 a court was established in a room attached to one of the hotels. The development of the district led to the proclamation of Lowan Shire in December 1875, which held its first meeting in the old Dimboola Court Room in March 1876, prior to the erection of the new Court House on part of the Police Reserve later in that year. In August 1876 the Shire invited tenders for building the Shire Hall and Offices, which were completed by March 1877. The next few years saw the establishment of community and sporting organisations including the Agricultural and Pastoral Society, the beginning of the first newspaper (the *Dimboola Banner*), and the setting aside of land for the recreation reserve. In 1879 the first issue of the *Dimboola Banner* described Dimboola as having three hotels, a bakery, several stores and blacksmiths and a population of about 100.

The year 1882 marked a turning point in Dimboola's development when it was connected to the railway from Melbourne. The mainline was extended to Nhill by 1887 (and thence to Adelaide) with a branch line to Jeparit and Rainbow completed in stages during the 1890s. The coming of the railway led to significant growth in the township and surrounding district over the following two decades, as it encouraged intensified farm settlement. Consequently, from 1881 to 1891 the population of Dimboola more than quadrupled from 100 to 563. New buildings erected during this time included the first brick school in 1882, the post office in 1885, as well as several shops in Lloyd Street. The growth of the district led to a movement for severance from the Lowan Shire, which culminated in the proclamation of the Shire of Dimboola in April 1885.

By the early 1900s Dimboola was an important district centre that boasted four hotels, several shops and stores, five churches, a state school, mechanics' institute and free library, court house, shire hall, an agricultural and pastoral society, masonic hall, and sporting and social clubs. There was a flour mill and eucalyptus oil factory, and the surrounding land had become an important wheat-growing district.

The town entered another boom period during the early twentieth century as increasing wheat yields and good prices brought farmers higher incomes. The opening up of surrounding land for closer settlement for returned servicemen led to further growth and between 1901 and 1911 the population rose from 736 to 1435.

Victoria Hotel

Some of the first buildings in Hindmarsh Shire were the roadside inns established along the early tracks and the presence of these buildings often led to the development of a settlement. For example, Dimboola developed around a 'wine shanty' established in 1859, while one of the first buildings at Nhill was the Union Hotel. At Jeparit the Hopetoun House Hotel opened in 1890 one year after the town was surveyed in 1889, operating initially as a coffee palace before obtaining a liquor licence in 1891.

Hotels in the nineteenth and early twentieth centuries played an important role in community life and provided much more than hospitality and accommodation for locals and visitors. They were often the first substantial building in a town, predating town halls or other public meeting places and therefore served as important community centres, providing venues for Council meetings, lodge functions, church services and court hearings, and places of refuge in times of disaster.

Competition between rival hotels was fierce and this, coupled with the growth of townships, led to the rebuilding of hotels on a grander scale. This process was also encouraged by the establishment of the Licenses Reduction Board (LRB) in 1906, which led to the closure of many older, usually timber hotels, and forced other owners to make expensive building upgrades in order to keep their license. This in turn led to many hotels being acquired by breweries as the cost of upgrades was often beyond the means of a single owner. As a result, many hotels were rebuilt in the first three decades of the twentieth century. One of the most common changes to hotels was an increase in accommodation, which was a chief concern of the LRB, as well as improvements to dining spaces, including providing separate facilities for commercial travellers.

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At Dimboola, the 'wine shanty' established in 1859 by Michael Ternan became a licensed 'public house' with a store attached by 1861. After Ternan's death in 1863 it was taken over by W.H. Lloyd and after several changes of ownership and licenses had become William Pavier's Dimboola Hotel by the 1880s. The second hotel in Dimboola was the Victoria, which was opened c.1864 on a site in Victoria Street, and in 1876 two new hotels were established: the Commercial in Victoria Street and the Camp Hotel in Lloyd Street. By the 1870s the licensee of the Victoria Hotel was Gustav Reichen, which made it a popular hotel with German settlers in the district.

These four hotels continued to operate into the twentieth century, but as single storey timber buildings with limited accommodation they soon came under the scrutiny of the LRB. The Victoria was the first to be rebuilt in 1924, followed by the new Dimboola Hotel, which re-opened in 1930. Then, in 1930 and 1931, the Camp and Commercial hotels were each destroyed by fire in separate blazes and were not rebuilt. Plans for the rebuilding of the Commercial Hotel and Camp Hotel had been submitted to the LRB, but they did not proceed. The owner of the Camp Hotel carried on a temporary bar for a time, but an application for transfer of the license was not successful.

The rebuilding of the Victoria Hotel was commissioned by the Ballarat Brewing Company on behalf of the proprietor, Mrs Mary Ann McDonald. Designed by a Mr Laurie, the cost was 15,000 pounds. A newspaper article noted:

For years the shortage of sleeping accommodation has been a reproach and now, thanks to the determination of the Licensing Board and the enterprise of the Ballarat Brewing Corporation, Dimboola has one of the finest hotels to be found outside the metropolis (Dimboola Chronicle, 18 September 1924).

The new building was of two storeys and constructed of brick with a two-level verandah. It featured electric light in every room, separate dining rooms for the public and commercial travellers, sitting rooms and reading rooms, and accommodation on the first floor. Externally, there was a large underground tank, as well as a new motor garage, stabling and loose boxes.

The Dimboola Hotel and the Victoria Hotel served Dimboola until 2003 when the Dimboola was gutted by fire. In 2014 the remains of the Dimboola Hotel were demolished and a park has since been established on the site.

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Description

Physical Description

The Victoria Hotel is two storey building constructed of red brick with a hipped iron roof concealed by a parapet. Typical of corner hotels of the late nineteenth and early twentieth centuries, the building has no front setback and a splayed corner, with a two storey timber-framed verandah along both street elevations. The verandah features single or paired posts with a cast iron frieze set within a timber frame with cast iron brackets, and a cast iron balustrade to the first floor, and a skillion roof with exposed rafter tails. The shaped parapet is divided into bays by expressed piers and features roughcast and smooth render detailing in the construction date '1924' in low relief. Below a cornice is a rendered frieze with 'VICTORIA HOTEL' in low relief along both elevations and

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diaper pattern brickwork at the corner. The windows are single or paired timber sash. Internally, the original layout of rooms is still evident and original features including wood panelling in the stairwell, the original timber staircase (which is lit from above by the original skylight) and pressed metal ceilings survive. At the rear is a single storey timber section and in the southeast corner of the rear yard is a gabled timber-framed building clad in corrugated iron, which may be one of the original outbuildings.

The 1924 building is in good condition and has a high degree of external and internal integrity. The glazed entry doors in the ground floor appear to date from the post-World War II period.

Comparative Analysis

Despite being built in 1924, the form and detailing of the Victoria Hotel with its splayed corner and two storey verandah with cast iron decoration is more characteristic of a late Victorian hotel and appears old-fashioned when compared to the new hotel styles that had emerged during the early 1900s (Edwardian Freestyle, Arts & Crafts and Edwardian Baroque) and after World War I (Grecian Revival, Spanish Mission, Modern). An early example of 'modern' hotel design in Hindmarsh Shire is the Hindmarsh Hotel at Jeparit, built just four years after the Victoria, but in the then fashionable Spanish Mission style.

The design of the Victoria, however, is typical of most of the hotels erected in Hindmarsh Shire in the early twentieth century such as the Eureka Hotel at Rainbow (two storey corner hotel, rebuilt in 1910), and Rintoule's Union Hotel (two storey mid-block hotel, built in 1910), the Commercial Hotel (two storey corner hotel, rebuilt c.1916) and Farmer's Arms Hotel (two storey corner hotel, rebuilt c.1916) at Nhill. Like the Victoria, these are two storey masonry (brick or rendered brick) buildings with two storey verandahs with cast iron decoration (except for the Farmer's Arms, where the verandah has been rebuilt). And despite the external stylistic changes, the internal arrangements and facilities of hotels remained largely the same, though accommodation was usually increased and improved.

The Victoria compares well to the other early twentieth century hotels in Hindmarsh. It is notable for the high degree of external integrity - unlike many other hotels of the period, the ground floor openings - windows and doors - have not been modified (though some of the doors have been replaced), and the verandah is intact. In this regard it compares to the Union Hotel at Nhill, which is similarly intact (including some original leadlight windows). Internally, the original layout of rooms is still evident and original features including wood panelling in the stairwell, the original timber staircase and pressed metal ceilings survive.

Statement of Significance

What is significant?

The Victoria Hotel, constructed in 1924, at 32 Wimmera Street, Dimboola is significant. The corrugated iron clad outbuilding contributes to the significance of the place.

Alterations and additions are not significant.

How is it significant?

The Victoria Hotel at 32 Wimmera Street, Dimboola is of local historic, representative, aesthetic and social significance to Hindmarsh Shire.

Why is it significant?

The Victoria Hotel is of historic significance as the oldest hotel in Dimboola and the only surviving example of the four hotels that originally served the town. It has historic associations with the first Victoria Hotel, which was the second hotel established in Dimboola and the rebuilding in 1924 is associated with the improvements to hotels made in response to the Licenses Reduction Board in the early twentieth century. The 1924 rebuilding also reflects the significant growth of Dimboola at that time. The outbuilding is significant as the only surviving remnant of the original hotel on this site.

(Criterion A)

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The Victoria Hotel is of representative significance as an intact example of an early twentieth century hotel with typical form, detailing and internal layout. It demonstrates the more substantial two-storey brick hotels that replaced early usually single storey and timber hotels of the nineteenth century in response to assessments made by the Licenses Reduction Board. Of note is the intact internal layout, which includes a separate corner bar, and separate dining areas for the public and commercial travellers, and original bedroom accommodation on the first level, and some original detailing including timber panelling, timber staircase balustrade and pressed metal ceilings in some rooms.

(Criterion D)

The Victoria Hotel is of aesthetic significance as a substantial two storey hotel on a prominent corner site. Notable details include the two-level verandah with fine cast iron detailing along both elevations and the distinctive form and detailing of the parapet. Visible in long range views looking along Wimmera and Victoria streets it is a landmark within Dimboola.

(Criterion E)

The Victoria Hotel is of social significance as a building that has been a community meeting place for almost 100 years.

(Criterion G)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 32 Wimmera Street, Dimboola
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Name: JEPARIT TOWN CENTRE
Address: 10-12, 29-31, 33, 40-44, 48-50, 52 ROY STREET, JEPARIT
Place Type: Commercial Precinct, Mixed Use Precinct
Citation Date: 2023

Significance Level: Local

Heritage Overlay: HO14, HO15, HO16, HO17, HO18



Jeparit Town Centre

**Recommended
Heritage Protection**

VHR -

HI -

PS **Architectural Style:** Interwar Period
Yes (c.1919-c.1940), Interwar Period (c.1919-
c.1940) Moderne, Interwar Period (c.1919-
c.1940) Spanish
Mission, Federation/Edwardian Period
(1902-c.1918)

History and Historical Context

Jeparit

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The land around Jeparit was open for selection from the late 1880s onwards, and in 1889 a site was surveyed for a township. One of the first buildings in Jeparit was Pearce Bros. general store, which opened in 1889 and it was soon followed by what would become the Hopetoun House Hotel, which opened in 1890 as a coffee palace

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before obtaining a liquor licence in 1891. The first newspapers commenced late in 1893. Development of Jeparit gathered pace with the extension of the railway from Dimboola in 1894 and in that year the first brickworks was established and a second coffee palace, which later became the Hindmarsh Hotel, was opened in Roy Street, which became the commercial centre of the town.

Community formation was marked by the establishment of the first school in 1889, the Mechanics' Institute Hall in 1891 and the opening of several churches over the following decade. The first church services were held in the homes or homesteads of local residents and in 1891 the first churches in Jeparit were erected by the Presbyterian and Methodist congregations. The Anglican Church was opened in 1902. Many of the early settlers were of German descent and they formed into two congregations aligned with the two branches of the Lutheran Church, which each erected a church in the early 1900s.

The first two decades of the twentieth century represent the boom period in Jeparit's development. From 1900 to 1910 Jeparit's population more than tripled from 250 to about 850 persons. Further growth of the town was aided by the establishment of the first reticulated water supply in 1911, and the opening of a hospital in 1912. In 1912 the railway line was extended westwards from Jeparit to Yanac. This made Jeparit a junction, as the line had also been extended northwards to Rainbow (1899) and further on to Yaapeet (1914). The lines were mainly for freight, wheat and other cereals. Growth continued after World War I and this was reflected in 1925 the building of new churches to serve one of the Lutheran congregations, and the Methodist Congregation, and the opening and dedication of the Masonic Lodge Hall in August of that year.

Jeparit was in Dimboola Shire, and the shire offices were originally at the southern end of the shire at Dimboola. As the Jeparit (and Rainbow to the north) grew in importance a more central location was chosen, and in 1914 the shire offices were transferred to Jeparit. After the First World War the Mechanics' Institute needed new premises for a library and reading room, the RSSILA wanted clubrooms and the citizens of Jeparit needed a public hall. A committee made up of "soldiers and citizens" approached the shire council, who were planning to build new offices and chambers, with the idea of a combined building and raised the equivalent of approximately £4000 in cash and land and the shire council provided the remainder of the funds. On 5 February 1924 the foundation stone of the Soldiers and Citizens Memorial Hall and Municipal Chambers was laid by the Hon. Arthur Rodgers, former Minister for Trade and Customs and former assistant Minister for Repatriation and the building, a memorial to those who fought in the war, was opened on 2 June 1925.

Jeparit Town Centre (Roy Street)

The Pearce Bros. general store and the first Hopetoun House Hotel were the beginning of the Jeparit commercial centre, which would develop along Roy Street in the late nineteenth and early twentieth centuries. By 1894 Roy Street and surrounds contained three stores, a bakery, two butcher shops and several other businesses. One of these was the Jeparit Cash Store, which was taken over by James Menzies. Menzies' fourth child, Robert Gordon, was born in quarters behind the store. James was later a councillor and President of Dimboola Shire; his son was later Victorian Attorney-General and Australian Prime Minister.

In the early twentieth century, the centre was consolidated and expanded as new buildings were constructed on vacant land and early timber buildings were replaced with more substantial masonry structures. In 1906-07 alone more than six new shops were built including the general store established by A. & J. McIntosh in a timber building in Roy Street beside the Hindmarsh Hotel (*The Ballarat Star*, 6 September 1906, p.6). In 1924 money was raised locally to purchase the business, which became the Co-operative Store. In 1929 the store was rebuilt using locally produced cement blocks after the original building was destroyed by fire (Jeparit Heritage Walk).

The growing importance of Jeparit in the early twentieth century was illustrated by the opening of several banks beginning with the National Bank, which opened an agency in the Hopetoun House Hotel in 1905 before moving into a purpose-built building on the opposite corner of Roy Street in 1908. The new building, designed by Melbourne architect, Harry Gibbs, was opened in December, 1908. Meanwhile the Commercial Bank of Australia had opened an agency in Charles Street in March 1906 and in February 1907 moved into new premises on the opposite corner to the National Bank. In 1912 an agency of the State Savings Bank was opened, which moved into a shop beside the Jeparit Pharmacy (Gloury).

By the beginning of World War I most of the blocks in Roy Street between Broadway/Scott Street and Charles

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Street contained a building. Among these were the shops at nos. 35-37 and 39-43. One of the pair of timber shops at 35-37 was used as a saddlery for many years by Tom Livingstone and later by son, Gordon. Tom Livingstone was 'involved in every organisation in the town and honorary secretary to most'. The other section was used for a farm supplies business run by John Livingston. The brick shops alongside at nos. 39-43 were for many years occupied by a jeweller and boot maker. To the south of Charles Street Dimboola Council purchased a building on the east side of the street (the present no.24), which was used for the shire offices and council chambers until the new offices and hall was opened in 1925 (Gloury).

Significant development occurred during the interwar period, when the centre continued to expand south of Charles Street, and extensive rebuilding occurred in the original section to the north. Following the opening of the Memorial Hall and Municipal Chambers the old Mechanics' Institute was no longer required, and so the land was purchased in 1925 by chemist, Mr. J.G. Anderson who constructed a two storey pharmacy and residence on the site. New shops were built alongside, one of which became the State Savings Bank. In 1928 a fire destroyed the original Hindmarsh Hotel and the timber Co-operative Store next door. Both buildings were rebuilt in 1929. Designed by leading Melbourne architect, P.J. O'Connor (*Construction and Local Government Journal*, 30 January 1929, p.16), the new Hindmarsh Hotel was an imposing two-storey building in the Spanish Mission style, which incorporated a shop at the south end. Further shops were built to the south of Charles Street including nos. 21-23 and 25 Roy Street. The former building was the authorised newsagency for many years, while the latter, a concrete block building built by Alf Altmann, was originally a cafe, then a ladies wear store for many years (Gloury).

Another fire in 1937 destroyed the original Hopetoun House Hotel. It was rebuilt in 1938 in the Streamline Moderne style for the owner, the Ballarat Brewing Co. The plans were prepared by leading Melbourne architect R.H. McIntyre who was a specialist in hotel design.

There was very little new development after World War II. In 1969 the State Savings Bank moved to a new building at 27 Roy Street, beside the Hopetoun House Hotel (Gloury).

In 1990 a memorial and park in honour of Robert Gordon Menzies was established on the site of the Menzies family store at the corner of Roy Street and Charles Street. The memorial, created by sculptor Peter Latona, was unveiled on 21 August 1990 by then Governor of Victoria, Dr. J. David McCaughey in the presence of Dame Pattie Menzies. In 2016 the park was enlarged to form the present Menzies Square, which has a series of information boards about the Menzies family in Jeparit and R.G. Menzies' political career and life.

References

Priestly, Susan, *Warracknabeal: A Wimmera centenary*, 1967

Gloury, H.J. (ed.), *Our Jeparit. The history of a small country town. Souvenir of the Back to Jeparit October 10th to 19th 1980*, 1980

State Library of Victoria, Pictures Collection including Collection of architectural drawings by R.H. McIntyre and associated practices, LTAD 195/107

Description

Physical Description

The Jeparit Town Centre is a commercial precinct, which comprises buildings constructed from c.1900 to c.1940. The precinct includes buildings on both sides of Roy Street extending from Broadway/Scott Street to south of Charles Street.

The shops and banks are single storey, built of brick (or rendered brick), concrete/concrete block or timber, and have roofs concealed by parapets. Typical of the Federation/Edwardian and early interwar period the parapets have either straight or shaped (curved) profiles, some with semi-circular, square or triangular pediments, and flat or panelled fronts. Many retain original or early timber or metal framed shopfronts with timber or tiled stallboards and recessed entries (ingos), and some retain post-supported verandahs, or cantilevered awnings (some with

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original pressed metal soffits). There are also two examples of houses with attached former shops at nos. 14-16 and 18 Roy Street. Of note within the precinct are:

- Shops, 37-39 Roy Street. These Federation era timber shops are amongst the oldest in the precinct and retain some of the original timber shopfronts, which include panelled timber doors with highlights, and part of the original post-supported verandah. The shop window to the left retains early painted signage 'Saddler'. Alterations include replacement of the original verandah posts with tubular steel.

- Former Pharmacy and residence, 40-44 Roy Street. This interwar building comprises a two storey section containing the first floor residence, which has a triangular parapet with a rendered sign 'Jeparit Pharmacy Estd 1926' flanked by 'T' shaped rendered details, above the recessed balcony with three square openings. The wall behind has a central door with highlight and paired timber sash window with six light upper panes. Beside this is the single storey section, which has a low triangular pediment with an incised triangular panel. The ground floor contains three original metal-framed shopfronts with ox-blood tiles and ingos with tiled floors and timber framed doors with margin glazing or panelled. The shopfront to the right has an original tiled 'Chemist' sign within the stallboard. The suspended awning retains the original pressed metal lining. The building has high integrity. Changes include the careful insertion of post offices boxes into the right shop window and overpainting of the highlight windows to the shop fronts.

- The National Australia Bank at 33 Roy Street demonstrates two stages of building. The Federation origins of the building are apparent in the hipped roof form and details such as the red brick chimneys with rendered and corniced caps and terracotta pots, the tall window in the south end elevation, and the timber framed verandah along the north side, with timber posts with collars and simple timber brackets with circular cut outs, and latticework and panelling to the ends (A similar verandah, now partially enclosed, survives on the south side as part of the rear residence). The facade, remodelled during the interwar period, shows the influence of the Stripped Classical style in the rusticated bands to the lower walls, the unusual architrave detailing around the openings which comprise medallions within squares separated by ribbed bands, and the metal-framed windows to the front elevation that include distinctive Union Jack patterns to the upper corners. The upper walls are roughcast render with smooth render to the eaves above a smooth rendered band.

The two hotels are landmarks within the precinct and fine examples of popular architectural styles of the interwar period. The Hindmarsh Hotel is a substantial, two storey building in the Spanish Mission style with walls finished in smooth render or red brick. Symmetrical in plan, it comprises a central section, slightly recessed, with a two storey arcaded loggia flanked by slightly projecting bays with large arched openings. The first floor loggia and the openings to the bays have barley-twist columns with Corinthian capitals, and bracketed cornices, with mild steel balustrades (with a circle and saltire detail) to the loggia. The parapet features ornate Baroque-style pediments and Cordoba style tiles between. The central pediment has a wrought iron ornament and a tapered flagpole, while the end bays have large circular mosaic tile panels with smaller blind discs along the parapet of the central bay. At the ground floor there are arched openings with dark green (and light green and black details) glazed tiles to dado height. The bay at the south end incorporates a shop with a metal-framed shopfront with tiled stallboards, an ingo with timber framed door and an a leadlight highlight window. The cantilevered awning has the original pressed metal soffit. Windows are mostly timber sash. There is a pair of leadlight sash windows beside the main entry, which comprises paired timber doors with windows, sidelights and highlights. The sidelights feature acid-etched glass with 'H H Private Entrance' with line borders. These doors open to an air lock with another set of paired doors (with original brass door hardware to the left door) and ornate leadlight sidelights and highlights. Other original features include the pressed metal soffits to the ground and floor floor loggias.

The Hopetoun House Hotel is a single storey brick building in the interwar Streamline Moderne style with a hip tile roof concealed by a parapet. The brick walls feature dark brick to dado height separated from the lighter brick to the upper walls by a ribbon of tapestry bricks and a soldier course in a ribbed pattern along the top of the parapet. Typical of the style is the interplay between the strong horizontality created by this brick detailing and the the cantilevered awning with horizontal bands that curves around the corner of the building with the vertical stepped fin with horizontal rendered bands and a tall timber flagpole at the south end. Other original features include the timber framed windows (including a porthole window in the north elevation) some of which retain acid-etch patterned glass in a rectilinear pattern (the window within the rendered section of wall also retains the original acid-etched glass with 'H H H' to the large pane) , the cellar doors below the window on the

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north elevation, brick chimneys with rendered bands at the corners, and the signage in Art Deco style font to the parapet (Hopetoun House Hotel) and awning fascia (Ballarat Bitter). At the southern end, the building incorporates a former shop, which has a large window with triple acid-etched highlights (the central pane featuring 'H H H') and a recessed timber entry door with a window and highlight below a rendered flat hood.

Another landmark is the Municipal Chambers and Memorial Buildings, which marks the south end of the precinct. It is a two storey building with rendered walls in the Interwar Stripped Classical style. The symmetrical facade is divided into three bays by full height rusticated pilasters below a highly modelled parapet with arched pediments on either side of a stepped central pediment with sign panel 'Municipal Chambers' and abstracted classical details to the prominent capitals and deep cornice. The side bays contain tall paired windows with flat architraves with key stones and bracketed sills, while the central bay has a projecting porch/balcony in front of the recessed entry. This is supported by Ionic columns and has a deep bracketed cornice, which projects forward, supported by large corbels to form a small balcony. The balcony has a panelled balustrade with low piers surmounted by an orb. Opening to the balcony is a pair of multi-paned doors with a multi-paned highlight, which is flanked by tall narrow windows with a four pane upper sash. These openings have similar flat architraves, keystones and bracketed sills. The building is set back from the street and the paved entrance is flanked by curved cast iron fences with Fleur-de-Lys Capitals, supported by posts with ball finials. The side and rear walls are finished in red brick and have tall narrow windows with six pane upper sashes. There are brick chimneys with simple cornices.

At the southeast corner of Roy and Charles Street is Menzies Square, a memorial park commemorating the life of Robert Gordon Menzies and the Menzies family at Jeparit. It contains interpretive signage, mock representations of James Menzies store and Menzies Coffee Palace, shelters, and seating within paved areas and informal landscaping. A notable feature is the 1990 memorial by Peter Latona. This is a bronze plaque in bas-relief showing Menzies, scenes from his life, a scroll listing his honours, and a quote: "You must take praise, blame, love, hatred all in your stride. The main thing is that you should be doing your best. Your best may not be as great as somebody else's best but you must do you best, that's all". The plaque is mounted on a large rendered disk mounted on a low base with battered walls. On the base is the plaque recording the unveiling on 21 August 1990 by His Excellency Dr. J. Davis McCaughey, Governor of Victoria in the presence of Dame Pattie Menzies.

Comparative Analysis

The Jeparit Town Centre compares with the town centres in Dimboola, Nhill and Rainbow. Of these:

- Dimboola Town Centre in Lloyd and Lochiel streets is included within HO34 Dimboola Town Centre Precinct. While the centre developed from the mid-nineteenth century onwards, many of the original buildings were replaced in the early twentieth century and most of the extant buildings date from the Federation and Interwar periods. Like Jeparit it includes predominantly single storey buildings interspersed with two storey buildings including three former banks, a row of shops, and civic buildings including the former Dimboola Shire Offices and the Courthouse. It is slightly larger than Jeparit Town Centre
- Rainbow Town Centre in Federal Street, King Street is included within the HO33 Rainbow Town Centre Precinct. It developed rapidly within the first three decades of the twentieth century and comprises a mix of Federation and interwar buildings, as well as a fine central median with mature trees, and the World War memorial. Like Jeparit it includes predominantly single storey buildings interspersed with two storey buildings including a former, two hotels, and a Cinema. It is slightly larger than Jeparit Town Centre
- Nhill Town Centre in Victoria and Nelson streets is not currently included in the Heritage Overlay. Of all the town centres, Nhill contains the highest proportion of Victorian era buildings including three former banks and some shops. It also contains several substantial two and three storey Federation era buildings including two hotels, shops, the post office, and the former Young Bros. offices.

Jeparit Town Centre compares well with the above centres. While recent demolitions have created some gaps in the streetscape, this has also happened at Dimboola (which has lost the Dimboola Hotel and a corner shop) and overall it remains comparable in terms of its mix of building stock and integrity. It is also distinguished by

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several very fine buildings including the two hotels, the former Jeparit Pharmacy, the National Australia Bank and the former Municipal Buildings, which elevate the centre.

Statement of Significance

What is significant?

The Jeparit Town Centre Precinct comprising 10-12, 29-31, 33, 40-44, 48-50 and 52 Roy Street, Jeparit is significant. The following buildings and features contribute to the significance of the precinct:

- The buildings constructed from c.1905 to c.1940.

- The predominantly interwar building forms (straight or shaped parapets, post supported verandahs or cantilevered awnings), early or original shopfronts (recessed entries, timber or metal framed windows and timber, tiled or stone clad surrounds), materials and detailing (weatherboard, face brick or concrete block, corrugated metal roofs, brick chimneys), and siting (built to the front and side boundaries) of the commercial buildings in the precinct.

The Memorial Hall and Municipal Buildings (10-12 Roy Street), Hopetoun House Hotel (29-31 Roy Street), National Australia Bank (33 Roy Street), former Jeparit Pharmacy (40-44 Roy Street), and Hindmarsh Hotel (48-50 Roy Street) are of individual significance and contribute to the precinct.

The Jeparit Supermarket (former Co-operative Store) at 52 Roy Street is of Contributory significance.

Alterations and additions and buildings constructed after 1945 are not significant.

How is it significant?

The Jeparit Town Centre precinct is of local historic and aesthetic significance to Hindmarsh Shire.

Why is it significant?

The Jeparit Town Centre is of historic significant as evidence of the rapid development of Jeparit into an important commercial and civic centre serving the northern Wimmera and Mallee in the early part of the twentieth century, which led to the Dimboola Shire Offices being relocated from Dimboola to Jeparit by 1915. The Council occupied temporary offices in a shopfront until the Soldiers' and Citizens' Memorial Hall and Municipal Offices was opened in 1925.

(Criterion A)

The Jeparit Town Centre has aesthetic significance as a group of early twentieth century commercial buildings of related scale and form, some with cantilevered awnings that create a distinctive and picturesque streetscape. Of note within the precinct are several landmark buildings, which enhance the distinctive character:

- The former Municipal Chambers and Memorial Buildings is of aesthetic significance as a substantial building in the Interwar Stripped Classical style. This is demonstrated by symmetrical facade divided into three bays by full height rusticated pilasters below a highly modelled parapet with arched pediments to either side of a stepped central pediment with abstracted classical details to the prominent capitals and deep cornice, and the detailing to the windows and openings (flat architraves with key stones and bracketed sills), and the projecting porch/balcony in front of the recessed entry (Ionic columns and has a deep bracketed cornice, which projects forward, supported by large corbels to form a small balcony with a panelled balustrade incorporating low piers surmounted by an orb.
- The Hopetoun House Hotel is of aesthetic significance as a fine and intact hotel in the interwar Streamline Moderne style. Typical of the style is the interplay between the strong horizontality created by the brick wall detailing (dark brick to dado height separated from the lighter brick to the upper walls by a ribbon of

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tapestry bricks and a soldier course in a ribbed pattern along the top of the parapet) and the the cantilevered awning with horizontal bands that curve around the corner of the building, which contrasts with the vertical stepped fin with horizontal rendered bands and a tall timber flagpole at the south end. Other notable features include timber framed windows (including a porthole window in the north elevation) with acid-etch patterned glass, brick chimneys with rendered bands at the corners, and the signage in Art Deco style font to the parapet (Hopetoun House Hotel) and awning fascia (Ballarat Bitter).

- The National Australia Bank is of aesthetic significance as an early twentieth century bank with an unusual blend of Federation and Interwar detailing. The Federation details include the red brick chimneys with rendered and corniced caps and terracotta pots, and the timber framed verandah along the north side, with timber posts with collars and simple timber brackets with circular cut outs, and latticework and panelling to the ends. The facade, remodelled during the interwar period, shows the influence of the Stripped Classical style in the rusticated bands to the lower walls, the unusual architrave detailing around the openings which comprise medallions within squares separated by ribbed bands, and the metal-framed windows to the front elevation that include distinctive Union Jack patterns to the upper corners.
- The former Jeparit Pharmacy and residence is of aesthetic significance as a substantial interwar shop and residence with distinctive form and detailing including the massive triangular parapet with a rendered sign 'Jeparit Pharmacy Estd 1926' flanked by 'T' shaped rendered details, above the recessed balcony with three square openings, while at ground floor are three original metal-framed shopfronts with ox-blood tiles (including the original tiled 'Chemist' sign within the stallboard of the shop to the right) and ingos with tiled floors.
- The Hindmarsh Hotel is of aesthetic significance as a substantial, two storey hotel in the Spanish Mission style. It notable for displaying the full range of detailing characteristic of the style including the two storey arcaded loggia flanked and large arched openings with barley-twist columns with Corinthian capitals, and bracketed cornices, with mild steel balustrades (with a circle and saltire detail) to the loggia, the parapet form and detailing including the ornate Baroque-style pediments and Cordoba style tiles, the wrought iron ornament and a tapered flagpole to the central pediment, and the large circular mosaic tile panels to the end bays with smaller blind discs along the central bay. Other distinctive features are the dark green (and light green and black details) glazed tiles to dado height the original metal-framed shopfront with tiled stallboards and a leadlight highlight windows and acid-etched glass and leadlight sidelights and highlights to some doors and windows.

The significance of all these buildings is enhanced by the high degree of integrity and intactness.

(Criterion E)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of significance: Jeparit Town Centre

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Aboriginal Heritage Place

Other Recommendations

Retain Individual HOs for each property. Remove the 'Outbuilding and Fence' control for HO14 Former Jeparit Pharmacy as it not required, and amend the HO map extent for HO15 (Hindmarsh Hotel) and HO18 (Hopetoun House Hotel) to ensure that it correctly applies to the significant buildings on the properties.

This information is provided for guidance only and does not supersede official documents, particularly the planning scheme. Planning controls should be verified by checking the relevant municipal planning scheme.

HERITAGE CITATION REPORT

name: JEPARIT POST OFFICE (FORMER)
Address: 30 BROADWAY JEPARIT
Place Type: Post Office
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO19



Former Jeparit Post Office

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:
Federation/Edwardian Period (1902-
c.1918)

History and Historical Context

Jeparit

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The land around Jeparit was open for selection from the late 1880s onwards, and in 1889 a site was surveyed for a township. One of the first buildings in Jeparit was Pearce Bros. general store, which opened in 1889 and it was soon followed by what would become the Hopetoun House Hotel, which opened in 1890 as a coffee palace before obtaining a liquor licence in 1891. The first newspapers commenced in late 1893.

Community formation was marked by the establishment of the first school in 1889, the Mechanics' Institute Hall

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in 1891 and the opening of several churches over the following decade. The first church services were held in the homes or homesteads of local residents and in 1891 the first churches in Jeparit were erected by the Presbyterian and Methodist congregations. The Anglican Church was opened in 1902. Many of the early settlers were of German descent and they formed into two congregations aligned with the two branches of the Lutheran Church, which each erected a church in the early 1900s.

Development of Jeparit gathered pace with the extension of the railway from Dimboola in 1894 and in that year the first brickworks was established and a second coffee palace, which later became the Hindmarsh Hotel, was opened in Roy Street, which had become the commercial centre of the town and contained three stores, a bakery, two butcher shops and several other businesses. One of these was the Jeparit Cash Store, which was taken over by James Menzies. Menzies' fourth child, Robert Gordon, was born in quarters behind the store. James was later a councillor and President of Dimboola Shire; his son was later Victorian Attorney-General and Australian Prime Minister.

The first two decades of the twentieth century represent the boom period in Jeparit's development. From 1900 to 1910 Jeparit's population more than tripled from 250 to about 850 persons. The growing importance of the town was illustrated by the opening of several banks beginning with the National Bank, which opened an agency in the Hopetoun House Hotel in 1905 before moving into a purpose-built building on the opposite corner of Roy Street in 1908. By that time the Commercial Bank had opened a branch on the other corner. Further growth of the town was aided by the establishment of the first reticulated water supply in 1911, and the opening of a hospital in 1912.

In 1912 the railway line was extended westwards from Jeparit to Yanac. This made Jeparit a junction, as the line had also been extended northwards to Rainbow (1899) and further on to Yaapeet (1914). The lines were mainly for freight, wheat and other cereals. Growth continued after World War I and this was reflected in 1925 the building of new churches to serve one of the Lutheran congregations, and the Methodist Congregation, and the opening and dedication of the Masonic Lodge Hall in August of that year. Other businesses established during this time included a two storey chemist shop and residence erected in 1925 on site of the Mechanics' Institute and a new branch of the State Savings Bank of Victoria in 1926. After a fire, the Hindmarsh Hotel was replaced in 1929 by an imposing two storey building.

Jeparit was in Dimboola Shire, and the shire offices were originally at the southern end of the shire at Dimboola. As the Jeparit (and Rainbow to the north) grew in importance a more central location was chosen, and in 1914 the shire offices were transferred to Jeparit. After the First World War the Mechanics' Institute needed new premises for a library and reading room, the RSSILA wanted clubrooms and the citizens of Jeparit needed a public hall. A committee made up of "soldiers and citizens" approached the shire council, who were planning to build new offices and chambers, with the idea of a combined building and raised the equivalent of approximately £4000 in cash and land and the shire council provided the remainder of the funds. On 5 February 1924 the foundation stone was laid by the Hon. Arthur Rodgers, former Minister for Trade and Customs and former assistant Minister for Repatriation and the building, a memorial to those who fought in the war, was opened on 2 June 1925.

Jeparit Post Office

In 1842 the first government building for postal services in Melbourne was opened at the corner of Elizabeth and Bourke streets. The first post offices outside of Melbourne were often established in stores, railway stations, municipal buildings, or even private residences before a permanent building was provided.

As Victoria grew in the wake of the gold rush the Colonial government began to construct permanent post offices in suburban Melbourne and regional centres. Demand for postal services grew following the passing of the *Post Office Act* of 1883. For the first time books and magazines could be posted from the city or country towns to rural post offices and agencies, and newspapers could be despatched anywhere in Victoria. According to Blake (1976:92):

... country folk discovered an important socialising agency which drew them more closely together in rural communities.

In Hindmarsh Shire, postal agencies were established in many towns and districts and post offices were built at

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Dimboola in 1885 and Nhill in 1887.

Following the Federation of Australia in January, 1901 the *Commonwealth Post and Telegraph Act* was passed in June 1902, which gave the Postmaster-General control of over 5,000 post offices throughout the nation. However, shortages in funds and resources meant that the design and construction of new buildings remained the immediate responsibility of State public works departments. In Victoria, this continued until about 1905. Thereafter, post offices in the first three decades of the twentieth century were designed and constructed by the Commonwealth through the Department of Public Works (1901-16) and the successor agency Department of Works and Railways (1916-32). In Victoria, many of the first post offices were designed by (or under the direction of) Horace J. MacKenna, who was Chief Draftsman for Victoria, before being made Director in 1914. In Hindmarsh Shire the Commonwealth Government built post offices at Rainbow and Jeparit in 1911 and 1914, respectively, and altered and extended the existing post office at Nhill.

For many people in rural areas the new Post & Telegraph offices were often the first tangible symbol of Federation and demonstrated that the new Commonwealth Government was established and operative.

At Jeparit, the first post office opened on 13th March 1882 under the name of Lake Hindmarsh - this was served by mailmen on horseback riding from Dimboola or Horsham and thence to Nhill. The post office closed in 1885, but reopened in 1889 as the township of Jeparit was surveyed and began to develop. It began in Pearce's store with Violet Wall in charge and, as demand grew, her father built a large brick office in front of his residence in Roy Street. Following the rapid growth of Jeparit in the first decade of the twentieth century, an official staffed post office was built on a site in Broadway, which was opened on 1 July 1914. The building comprised a small public foyer accessed via side porch and adjoining office, with an attached two bedroom residence at the rear. In the rear yard was a small outbuilding containing a 'wash house' and fuel storage. A. Armitage was the first official postmaster.

The building remained in use as a post office until 2008. In that year, the post office was relocated to a shopfront in Roy Street, Jeparit. The former post office is now used as a private residence.

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Proctor, Craige, pers. comm. 2022

Description

Physical Description

The former Jeparit Post Office and residence, of 1914, is situated at the north corner of Broadway and John Street. It is timber building in a Federation bungalow style clad in shiplap weatherboards with gable-hipped (Dutch gable) and gable iron roofs with deep eaves and exposed rafters. The former post office section facing Broadway has a separate gable hipped roof with a projecting gabled bay and a hipped roof porch, which projects slightly forward of the bay and is supported by paired timber posts with shiplap balustrades. Off the porch to the side of the bay are paired timber panelled entry doors and to the front of the bay is a large window, which contains three six pane timber casements with two pane highlights and has a bracketed hood. Above this is a louvred timber vent. The east (John Street) side wall under the main gable hipped roof contains three timber 'six over one' sash windows. The west side wall contains similar windows and a door, all contained under a bracketed hood.

The residence to the rear is contained under the main gable-hipped roof. This has a ridge parallel to John Street and extends to form a verandah along the side elevation. This has a recessed opening containing the residential

HERITAGE CITATION REPORT

entry door and beside this are two timber 'six over one' sash windows. There are three brick chimneys with simple corbelled caps. The rear yard contains a long gabled timber outbuilding and a smaller timber outbuilding with a skillion roof adjacent to the rear boundary. The latter outbuilding is possibly the laundry and fuel store shown on the 1914 building plans.

The building is in good condition. Changes include the removal of original Post Office signage from the porch and on the front wall beside, and the post office boxes and the mail slot, which were in the area now containing a window behind the porch, and the partial enclosure of the side verandah to the residence. The cyclone wire fence along part of the John Street boundary, and on Broadway in front of the projecting bay has replaced a timber picket fence shown in an early photograph.

Comparative Analysis

Jeparit Post Office is one of two early twentieth century post offices in Hindmarsh Shire. Architecturally, it is not directly comparable with the other example at Rainbow, which is constructed of local limestone with brick dressings and has a hipped roof. Nonetheless, the post offices are both characteristic of small rural post offices of the early twentieth century, which although stylistically different, often had a residential appearance.

Statement of Significance

What is significant?

The former Jeparit Post Office, designed by the Commonwealth Department of Works & Public Railways in 1914, at 30 Broadway, Jeparit is significant.

Alterations and additions are not significant.

How is it significant?

The former Jeparit Post Office at 30 Broadway, Jeparit is of local historic and representative significance to Hindmarsh Shire.

Why is it significant?

The former Jeparit Post Office is historically significant as a post office constructed by the Commonwealth Government in the early twentieth century. It is associated with a major period of building new post offices to serve rural communities after the Commonwealth assumed control of postal and telegraph services following the Federation of Australia in 1901. For many rural people, these post offices were the first tangible symbol of Federation. It is also significant as a building that demonstrates the growth of Jeparit in the first decade of the twentieth century, when it became an important commercial and administrative centre.

(Criterion A)

The former Jeparit Post Office is significant as a representative example of a small rural post office of the early twentieth century, which typically have a residential appearance that draw upon domestic architectural styles of the Federation and interwar periods. Here, this is expressed as a simple timber bungalow with a projecting bay and adjoining porch.

(Criterion D)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-

HERITAGE CITATION REPORT

Prohibited uses may be permitted

-

Incorporated Plan

Statement of Significance: 30 Broadway, Jeparit

Aboriginal Heritage Place

-

HERITAGE CITATION REPORT

name: JEPARIT FIRE STATION
Address: 77 BROADWAY JEPARIT
Place Type: Fire Station
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO20



Jeparit Fire Station

Recommended Heritage Protection	VHR -
	HI -
PS	Architectural Style: Interwar Period
Yes	(c.1919-c.1940) Free Classical, Interwar Period (c.1919-c.1940)

History and Historical Context

Jeparit

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The land around Jeparit was open for selection from the late 1880s onwards, and in 1889 a site was surveyed for a township. One of the first buildings in Jeparit was Pearce Bros. general store, which opened in 1889 and it was soon followed by what would become the Hopetoun House Hotel, which opened in 1890 as a coffee palace before obtaining a liquor licence in 1891. The first newspapers commenced late in 1893.

Community formation was marked by the establishment of the first school in 1889, the Mechanics' Institute Hall

HERITAGE CITATION REPORT

in 1891 and the opening of several churches over the following decade. The first church services were held in the homes or homesteads of local residents and in 1891 the first churches in Jeparit were erected by the Presbyterian and Methodist congregations. The Anglican Church was opened in 1902. Many of the early settlers were of German descent and they formed into two congregations aligned with the two branches of the Lutheran Church, which each erected a church in the early 1900s.

Development of Jeparit gathered pace with the extension of the railway from Dimboola in 1894 and in that year the first brickworks was established and a second coffee palace, which later became the Hindmarsh Hotel, was opened in Roy Street, which had become the commercial centre of the town and contained three stores, a bakery, two butcher shops and several other businesses. One of these was the Jeparit Cash Store, which was taken over by James Menzies. Menzies' fourth child, Robert Gordon, was born in quarters behind the store. James was later a councillor and President of Dimboola Shire; his son was later Victorian Attorney-General and Australian Prime Minister.

The first two decades of the twentieth century represent the boom period in Jeparit's development. From 1900 to 1910 Jeparit's population more than tripled from 250 to about 850 persons. The growing importance of the town was illustrated by the opening of several banks beginning with the National Bank, which opened an agency in the Hopetoun House Hotel in 1905 before moving into a purpose-built building on the opposite corner of Roy Street in 1908. By that time the Commercial Bank had opened a branch on the other corner. Further growth of the town was aided by the establishment of the first reticulated water supply in 1911, and the opening of a hospital in 1912.

In 1912 the railway line was extended westwards from Jeparit to Yanac. This made Jeparit a junction, as the line had also been extended northwards to Rainbow (1899) and further on to Yaapeet (1914). The lines were mainly for freight, wheat and other cereals. Growth continued after World War I and this was reflected in 1925 the building of new churches to serve one of the Lutheran congregations, and the Methodist Congregation, and the opening and dedication of the Masonic Lodge Hall in August of that year. Other businesses established during this time included a two storey chemist shop and residence erected in 1925 on site of the Mechanics' Institute and a new branch of the State Savings Bank of Victoria in 1926. After a fire, the Hindmarsh Hotel was replaced in 1929 by an imposing two storey building.

Jeparit was in Dimboola Shire, and the shire offices were originally at the southern end of the shire at Dimboola. As the Jeparit (and Rainbow to the north) grew in importance a more central location was chosen, and in 1914 the shire offices were transferred to Jeparit. After the First World War the Mechanics' Institute needed new premises for a library and reading room, the RSSILA wanted clubrooms and the citizens of Jeparit needed a public hall. A committee made up of "soldiers and citizens" approached the shire council, who were planning to build new offices and chambers, with the idea of a combined building and raised the equivalent of approximately £4000 in cash and land and the shire council provided the remainder of the funds. On 5 February 1924 the foundation stone was laid by the Hon. Arthur Rodgers, former Minister for Trade and Customs and former assistant Minister for Repatriation and the building, a memorial to those who fought in the war, was opened on 2 June 1925.

Jeparit Fire Brigade Station

The Country Fire Brigades Board (CFBB) was founded by the *Fire Brigades Act* in 1890 at the same time as the Metropolitan Fire Brigade and was given power and responsibility over all fire brigades based more than 10 miles from Melbourne. The CFBB was divided into two sections – 'Urban' Brigades in towns and larger centres and Rural Fire Brigades. The CFBB mostly provided assistance to 'Urban' brigades. For the remainder of rural Victoria, Bush Fire Brigades, mostly made up of local landowners received little or no financial assistance and tended to operate independently from their urban counterparts.

Following on the calamitous bushfires of 1926, the Forests Commission of Victoria, having obtained the co-operation of the CFBB and the Lands and Police Departments, undertook an extensive campaign to encourage the formation and coordination of rural fire-fighting units. The *Fire Brigades Act* was amended in 1928. Delegations to all country districts were arranged and, by 1931, 220 units had been organised in country centres throughout the State. By 1937 this had increased to 320 brigades. At the same time the CFBB embarked on a building programme, erecting new stations and remodelling and extending old ones. Many of

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these were designed by F.L. and K. Klingender, architects to the Board (*The Herald*, 12 November 1930, p.13 'Country Fire Brigade Stations').

The Black Friday bushfires of 13 January 1939, which killed 71 people and burnt 2 million hectares, 69 sawmills, and obliterated several towns was one of the worst natural disasters in Victoria's (and Australia's) history. Despite the changes made after 1928 the subsequent Royal Commission conducted by Judge Leonard Stretton highlighted the lack of a cohesive firefighting ability outside the Melbourne metropolitan area and one of the key recommendations was to create a single fire service for country Victoria. However, nothing was done until after the summer of 1943-1944 when another series of deadly bushfires led to public outcry. Judge Stretton was asked to chair a second Royal Commission, which made similar recommendations. This led to the passing of legislation to form the Country Fire Authority (CFA) in December 1944. The board of the CFA met for the first time in January 1945, and all existing urban and rural fire brigades were invited to join the new authority. The CFA assumed responsibility for fire suppression in 'country Victoria' leaving the Forests Commission to focus on the public land such as State forest and National Parks.

In Hindmarsh Shire, volunteer fire brigades were formed as the townships developed and the need for their services was soon demonstrated by several devastating fires that destroyed many buildings in the town centres of Dimboola, Nhill and Jeparit in the late nineteenth and early twentieth centuries. The first fire brigade in Hindmarsh Shire was organised at Nhill in 1888, while a disastrous fire at Dimboola in August of that year that destroyed three shops and dwellings (*The Herald*, 2 August 1888, p.4) led to the creation of a brigade in that town by the following year. In August 1889 the newly-formed Dimboola Volunteer Fire Brigade advertised for a 'Fire Bell, good' (*The Age*, 23 August 1889, p.3).

At Jeparit, the fire brigade was formed in 1912 and officially registered as No.124 on 1 January 1913 with fourteen members. Hose and reel practice was first conducted in the railway yards, then in Broadway followed by Roy Street before a competition track was finally laid at the north end of Roy Street, adjacent to the Bowling Club. In 1929 the first fire engine truck, a Chevrolet Gardiner was purchased and equipped by local subscription. This was first used at a fire in March 1930 at the Jeparit Farmers' Co-operative Store.

The first fire station was a tin shed in Broadway, beside the office of E. Pearce. Moves to erect a permanent building for the brigade began around 1920, but there was difficulty in gaining approval for the proposed site, within the median of Broadway, which was reserved for tree planting. The intervention of James Menzies, M.L.A. eventually led to the creation of specific Victorian Government legislation, known as 'The Jeparit Land Act 1922', which came into effect on 14 December 1922 and granted a lease for land in Broadway, Jeparit, to the 'Country Fire Brigades Board and other purposes'. The estimated cost of the building was 300 pounds and as the brigade had 60 pounds in hand and the CFBB was prepared to contribute 2 pounds for every 1 pounds provided locally this left a total of 40 pounds to be raised (*The Horsham Times*, 20 February 1920, p.6). After several years the necessary funds were obtained and the new fire brigade station was opened in 1924. A thirty feet bell tower was erected alongside.

Until April 1945 the CFBB controlled the operation of the brigade. From that date, the CFA took over and the building remains in use today as part of the Jeparit Fire Brigade Station. The fire trucks are now housed in an addition to the rear of the building.

References

Blake, Les, *The land of the Lowan. 100 years in Nhill and West Wimmera*, 1976

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Gloury, H.J. (ed.), *Our Jeparit. The history of a small country town. Souvenir of the Back to Jeparit October 10th to 19th 1980*, 1980

Description

Physical Description

HERITAGE CITATION REPORT

The Jeparit Fire Brigade Station is a single storey Interwar building constructed of red brick, which is sited within the median of Broadway, facing east. It has a gabled roof, which is concealed behind a stepped parapet with a cornice (the cornice and the parapet partly return along the side elevations), expressed piers and triangular pediment with the date of construction, 1924. Below this is the original rendered sign panel, which originally had 'Fire Station' in raised letters, but is now partly covered by a square painted metal CFA sign and logo. The side elevations each contain three timber sash windows with rendered lintels and sills. The iron bell tower has been removed, but the original cast iron bell has been retained in a low steel frame to the left of the building.

The building is in good condition and has moderate integrity. The key change has been the replacement of the original twin openings in the facade for fire truck access with a large single opening that has now been infilled with a timber-framed wall with windows and doors. At the rear, there is a sympathetic gabled colourbond addition with three openings on either side. This is set apart from the original building and connected to it by a narrow glazed link in accordance with good conservation practice.

Comparative Analysis

The Jeparit Fire Brigade Station of 1924 is one of two surviving pre-World War II fire stations in Hindmarsh Shire. The other is the former Nhill Fire Brigade Station, which dates from 1931. It is a similar building, constructed of brick with a shaped parapet. However, it is no longer used as fire station and the opening at the front for fire trucks has been closed over. The use of the building is nonetheless demonstrated by the memorial plaque and memorial gates.

Statement of Significance

What is significant?

The Jeparit Fire Station, built in 1924, at 77 Broadway, Jeparit is significant. The cast iron fire bell also contributes to the significance of the place.

Alterations and additions and the frame supporting the fire bell are not significant.

How is it significant?

The Jeparit Fire Station is of local historic significance to Hindmarsh Shire.

Why is it significant?

The Jeparit Fire Station is of historical significance as an early twentieth century rural fire brigade station constructed with the assistance of the Country Fire Brigades Board. It is the oldest fire station in Hindmarsh Shire and demonstrates the development of fire fighting capabilities in rural townships prior to the formation of the Country Fire Authority in 1945. It also illustrates how the rapid growth of Jeparit in the early twentieth century resulted in the need for a permanent fire brigade building.

(Criterion A)

The Jeparit Fire Station is significant as rare example of an early twentieth century rural fire brigade station. Very few of these buildings remain and the significance of this place is enhanced by its continuing use as a fire station and rare details such as the cast iron fire bell.

(Criterion B)

Recommendations 2023

External Paint Controls

No

Internal Alteration Controls

-

Tree Controls

-

HERITAGE CITATION REPORT

Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 77 Broadway, Jeparit
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Name: WIMMERA MALLEE PIONEER MUSEUM
Address: 72 CHARLES STREET JEPARIT
Place Type: Art Gallery/ Museum
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO32



Wimmera-Mallee Pioneer Museum

Recommended Heritage Protection **VHR -**
HI -
PS **Architectural Style:** Victorian Period
Yes (1851-1901), Federation/Edwardian Period
 (1902-c.1918), Interwar Period (c.1919-
 c.1940), Victorian Period (1851-1901)
 Carpenter Gothic

History and Historical Context

Museum Villages in Victoria

Prior to the creation of the *Historic Buildings Act* in 1974 there were limited means in Victoria to protect threatened historic buildings other than by relocation. While the National Trust of Australia had been established in 1956, it had no statutory authority and could only advocate for the preservation of buildings.

Increasing concern about the loss of historic buildings (and associated objects such as farm machinery) led to the development of a 'Museum Village movement' in the 1960s and 1970s during which outdoor, historic-themed tourist attractions were established in rural and regional Victoria as a way of conserving threatened historic buildings by dismantling and moving them to a new location.

HERITAGE CITATION REPORT

The first 'Museum Village' in Victoria was the Swan Hill Folk Museum, which was conceived in 1961 and intended as 'a Folk Museum that will be a credit to Swan Hill and the State of Victoria as well as being a memorial to our pioneers'. The first acquisition was the Paddle Steamer *Gem* (then in Mildura) and the prominent architect Roy Grounds was engaged to prepare a master plan for the museum. Early buildings from the local area began to be relocated to the site soon after the Paddle Steamer *Gem* arrived in 1963 and the Museum was formally opened in 1966. Funds for the project were provided by the State Government.

Following the success of the Swan Hill Folk Museum, several other 'Museum Villages' were established throughout Victoria including at Moe (Old Gippsdown, c.1970 onwards), Korumburra (Coal Creek, c.1969, officially opened 1974), Ballarat (Sovereign Hill, 1970), and Warrnambool (Flagstaff Hill, 1975).

Wimmera Mallee Pioneer Museum

Around 1957 Dimboola Shire Councillor H.S. Maddern and some of his friends began to collect old agricultural machinery with the idea of establishing a small museum at Jeparit. The items were initially stored in the sheep pavilion at the Jeparit Showgrounds and created a great deal of interest with locals and visitors. However, the collection had to be moved out each year at the time of the annual show and so a permanent location was required. As interest in the project grew the Shire of Dimboola became involved and a committee was established, which sought assistance from the Historical Society of Victoria for establishing a museum at Jeparit and approached State and Federal governments for financial assistance. In August 1964 a three-acre site to the south of Jeparit was acquired and then Victorian Premier, Henry Bolte, agreed to provide an initial grant of 4000 pounds on a 2 for 1 basis.

At the beginning it was the intention to only exhibit farm machinery, but following a visit by the committee to the recently established Swan Hill Folk Museum it was decided the museum should tell the story of the Wimmera-Mallee from the time of occupation by indigenous people, though the post-contact squatting and settlement era to the present day. The committee considered:

This type of museum would not only be an excellent tourist attraction but would be of untold benefit to school children who would be able to study not only the machinery and modes of transport used, but the early history and way of life since the first settlement.

Following a public meeting held in July 1967, which was addressed by Mr Holloway, Director of the Swan Hill Folk Museum, a larger committee was formed with representatives from Dimboola, Jeparit, Rainbow and Nhill with the objective of establishing the museum. Initially, the focus was upon collection and restoration of the machinery, which came from as far afield as Kaniva, Hopetoun, Wycheproof, Dunolly, Horsham, Gymbowen and Lake Bolac. Another important early acquisition was a collection of indigenous artefacts donated by Keith Hateley of Kiata, who was a Lowan National Park ranger. Architects, Proud and Henderson, were appointed by Council to plan the project and prepare layout plans. The initial estimate for developing the museum was \$120,000 and the Victorian Premier once again promised State Government funding.

The first historic building moved to the site was the Albacutya Homestead and outbuildings, which were relocated from the original location north of Lake Hindmarsh. The buildings had been donated to the museum in 1968 by Mr. and Mrs. Len Petschel of Rainbow who were the last owners.

The museum was officially opened on 3 September 1970 by Henry Bolte, then Premier of Victoria and by that time the relocated historic buildings on the site included the Albacutya Homestead and outbuildings, the Jeparit Chemist Shop, and the Detpa State School. By October 1971 they had been joined by the Werrap Hall, while Briarley House, the 'Heywood Old Jail', Tarranyurk Hall, and the Woorak West Methodist Church were in place by 1973. The exact relocation dates of the Antwerp blacksmith's shop, and the portable lock-up next to the Heywood Old Jail are not known, but they are likely to have been moved to the museum by c.1975.

Most of the new buildings constructed on the site were utilitarian structures designed simply to house the collection of machinery and objects. A notable exception is the 'Mallee Shed', which is a recreation of the vernacular thatched roof structures built by early settlers. This was built by local people using traditional techniques and authentic materials.

Specific histories for each of the relocated historic buildings at the museum are as follows:

HERITAGE CITATION REPORT

Albacutya Homestead complex

The Albacutya Station lease was granted to John Coppock in 1846. The 100,000 acre run extended from Lake Hindmarsh to the north of Lake Albacutya. By 1850, seven log cabins had been built on the run. John Coppock never married and his nephew J.C. White succeeded him following his death in 1865. Coppock is buried on Albacutya Homestead site.

In 1868 Eugene O'Sullivan became the manager of Albacutya and in 1870 Turnbull & Murray Smith purchased the lease. The homestead now at the Museum was built in the late 1860s and was lived in by Sullivan, his wife and family.

The station changed owners five more times. By the late 1930s it had been subdivided for closer settlement.

Antwerp Blacksmith

William (Billy) Eldridge Jnr. established himself as a blacksmith in Antwerp in 1908 and he remained the owner until 1948. The business was carried on by his son Don until 1968, when the building and its contents were acquired by the Museum.

Briarley House

Mr & Mrs Hubert Goldie built Briarley House at Mildura in 1909. In 1972 the property was sold by its owner of many years, Mr Briarley when the land was subdivided and the house was moved to its current location at the Museum.

Detpa State School No.4285

In 1925 the residents of Detpa, a farming locality west of Jeparit, lobbied the Education Department to build a new school for their children. The Detpa School was opened on 21 June 1926. It replaced the earlier Hindmarsh South School at Allanby which had served several generations of children of the locality from 1889 until April 1926.

The last class at the school was held in September 1954 with the school remaining unstaffed and unused until it was officially closed in 1967. The school site was sold in 1968 and the building was relocated to the Museum by 1970.

Franklin's Chemist Shop

This building was built c.1900 for Guy W. Franklin and was originally situated in Charles Street, west of Roy Street in Jeparit. The business was later sold to J.G. Anderson who relocated it to a new building in Roy Street. In 1917 Franklin was fined 1 pound for a breach of the *Poisons Act* after he sold strychnine to Joseph Foley without entering it into the register. Foley later committed suicide.

Portable Lock-ups (Heywood Old Jail)

From the 1850s, police lock-ups were established in many small towns to hold a prisoner prior to a court hearing or as a form of overnight punishment. Lock-ups also offered useful surge capacity when a local jail was full.

Early lock-ups were typically makeshift structures of logs and bark and were often insecure. As settlement expanded across Victoria and population grew in the wake of the gold rush, an increase in arrests led to policy and communities to lobby the government for better infrastructure. While permanent lock-ups were being built, the Public Works Department provided portable structures as an interim measure. These were based on an English design and built by the maintenance and construction section of the Victorian Police Department.

The design stipulated thick wooden timbers mounted on a cast iron, then bound together with steel holding rods. An early form of 'flat pack' construction, the design enabled the building to be deconstructed, easily transported and then re-assembled on site.

The 'Heywood Old Jail' is said to date from c.1870 (and was presumably moved here from the town of Heywood, which is in southwestern Victoria), while the lock-up beside is a standard design that was used from the late nineteenth until the early twentieth centuries, which was originally situated at the Jeparit Police Station.

HERITAGE CITATION REPORT

Tarranyurk Public Hall

Tarranyurk is situated between Dimboola and Jeparit. Farm settlement in the 1880s resulted in the opening of a school in 1891 and further development followed when the railway was extended from Dimboola to Jeparit in 1894. Population growth due to closer settlement after World War I resulted in the need for a public hall. Until that time the community had relied on the generosity of local farmers to make their barns available for large public gatherings. A committee was established and a sports carnival was held in 1920 to raise funds. It was so successful that another one was held in the following year and by early 1921 enough money had been raised to proceed with the project. A site at the southwest corner of the intersection in the town was purchased and the hall, an unlined building clad in corrugated iron, was erected at a cost of 574 pounds. A further 90 pounds was spent on a piano. Dimboola Shire Councillor Henry Hamdorf officially opened the hall on 10 May 1922.

Werrap Hall

The first Werrap Hall was built in 1896. Made from logs and plaster it was the first public building to be erected on the Albacutya Pastoral Lease. The Hall Committee paid a transfer of land cost from J. Nunn of £1.4.0 and building materials were obtained from J. Ettelson of Jeparit. The old hall was replaced by a new building, which opened on 11 October 1922. The opening was celebrated with a sports program that commenced at 1pm and boasted 19 events.

Woorak West Methodist Church

Land in the Woorak district was open for selection in the 1870s and a village developed, which included a school, three churches, hall, hotel, two stores and various other businesses. At its peak, Woorak had a population of 130 but competition from Nhill saw the demise of the settlement in the twentieth century and few buildings remain today. The Woorak West Methodist Church was built in 1886.

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Description

Physical Description

The Wimmera Mallee Pioneer Museum is situated on the west side of Charles Street at the southern approach to Jeparit. The site contains a mix of relocated historic buildings and sheds and structures built on site to house the collections. The contributory heritage buildings are:

HERITAGE CITATION REPORT

Briarley House

This is situated at the front of the site and forms the main visitor entry. It is a Federation era timber house with a hipped roof with Dutch gables and walls clad in horizontal shiplap profile weatherboards. There is a separate, wide bullnose verandah on all sides, which is supported by turned posts and has a cast iron frieze (there are two frieze patterns suggesting part has been replaced or the verandah has been extended). The symmetrical facade has a central panelled entry door with coloured glass sidelights and toplights flanked by French doors with coloured glass toplights, and there is another set of French doors in the west elevation. Other windows are timber sash. The rear elevation contains three doors. Internally, the house comprises four main rooms that once opened off a central hallway, but the walls on the right side have been removed. The hallway and the front two rooms have pressed metal ceilings with Art Nouveau patterns, and there are fireplaces with ornate timber mantles and cast iron surrounds with glazed tile inlays in both rooms. The second room to the left, now used as a kitchen, has an unusual 'mini-orb' metal ceiling with metal strapping and a decorative rose. The building has good integrity. The sections of the chimneys above the roof have been removed and the verandah may have been altered.

Albacutya Homestead complex

This is situated immediately to the west of Briarley House and is sited at an angle to the frontage. The homestead has a hipped iron roof and a contiguous return verandah with a 'broken back' profile. The walls are clad in horizontal square edged weatherboards, and the verandah is supported by timber posts with stop chamfered corners and has a simple valance with a shallow arch profile. The symmetrical facade has a narrow panelled front door with a small three-pane toplight flanked by small timber sash windows. Two reconstructed stone chimneys at either end reinforce the symmetry of the building. There are other timber windows in the other elevations (including a six-over-six pane window in the rear elevation), and another panelled entry door at the end of the verandah on the south side. Internally, the narrow hallway has a tongue and groove dado and a ceiling lined with narrow boards (here are similar ceilings in the other rooms). A simple arch breaks the hall in two. All the rooms have panelled doors. The upper walls of the hallway and the walls of other principal rooms are wallpapered, in different designs. At the rear, the hallway opens to a long room, which extends across the width of the building and has a skillion roof. This is lined with 'tongue and groove' (T&G) timber boards. There are wooden floors throughout. The building has good intactness and integrity.

At the rear of the homestead is a semi-detached gabled outbuilding, which contains the original dining room and bedroom. It is set at a right angle at the southwest corner of the homestead and is connected to it by a low-pitch skillion verandah supported by square posts that extends along the elevations of both buildings. There is another detached gabled outbuilding, directly opposite, which was the kitchen. Both of these outbuildings are of drop-slab construction using local timbers - red gum and native pine. The detached kitchen has a shingled roof, an earthen floor and unlined walls and ceilings. A reconstructed stone fire place is at one end. The dining room and bedroom outbuilding has an iron roof, a wooden floor and hessian lining to the ceiling in the dining room and to the walls and ceiling in the bedroom, and a reconstructed stone fireplace at the west end. Both outbuildings have six-over-six timber sash windows, which may be later additions. Overall, the outbuildings have good integrity, but some features have been reconstructed or replaced.

The buildings all demonstrate vernacular and traditional building techniques and are noteworthy for no nails having been used in the construction.

Werrap Hall

Immediately to the south of Albacutya Homestead complex is the Werrap Hall. This is a simple building with a rectangular plan and a gable-fronted iron roof. Originally, it appears the building was constructed of a timber frame with mud applied - the actual method of construction (lath and pug, wattle and daub etc.) is unknown. When the building was relocated to the Museum the mud used for resurfacing the walls was made from recycled mud bricks, which contained straw. The bricks were crushed, cement dust was added to stiffen the mix and a spray of water and glue mix was applied to help the mix adhere. The gable ends are clad in weatherboards. The front elevation contains a pair of (non-original) timber doors and there are four six-over-six pane timber sash windows in each end elevations and a single window in the rear elevation. Internally, the walls have a dado of vertical T&G boards with horizontal boards to the upper walls and the ceiling, which has a shallow coved profile and steel rod collar ties. The building has good integrity. Originally, there was a verandah only along one side

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elevation when the hall was on its original site and after it was first relocated to the Museum. This has since been extended to three sides including the front elevation. Panelled front doors shown in a 1979 image have been replaced.

Antwerp Blacksmith

To the south of Werrap Hall is the Antwerp Blacksmith. This is a simple timber-framed gabled building clad entirely in corrugated galvanised steel. At the ridge, the sides of the roof do not meet and one side carries above the other creating a covered gap along the length of the ridgeline. There is a large square door opening in the front wall and horizontal window openings the rear and one of the side walls, which can be propped open. It has an earthen floor. The building contains a range of blacksmithing equipment, with related artefacts and objects (steel wheel frames and the like) scattered around the outside. The integrity of this building is unclear - it appears to have been built using a mixture of original and new/reclaimed materials and some of the detailing such as the metal bracing and the riveted plates to the roof frame appear to be modern additions.

To the south west of the Antwerp Blacksmith is a group of buildings arranged in a semi-circle including the Mallee Shed, Tarranyurk Hall, Woorak West Methodist Church, Franklin's Chemist, Detpa State School No.4285 and the Portable Lock-ups.

Mallee Shed

This is a recreated 'Mallee Shed' with a thatched roof and a bush pole frame. The sheds were typically made of three or more rows of columns spaced according to the timbers available and made generally of Grey box or Bull oak. The columns were cut with a natural fork at the top to carry a beam and the beams were commonly of whole or split Bull oak or Murray pine from which the smaller branches had been stripped. The roof pitch was low to avoid the straw sliding off but still adequate to allow rain to run off. Often the straw was placed in its original sheaves and held down with wire netting that was weighted by tying on a log to hang just over the edge of the eave, as has been done on this shed. While it is a 'new' building - that is, built on site and not relocated from a previous location, it has been constructed in an authentic manner using traditional techniques. Very few known surviving examples of these structures survive.

Tarranyurk Hall

This is a simple interwar hall with a long rectangular plan, a gable-fronted iron roof and mini-orb metal sheet wall cladding, laid horizontally. The simple, symmetrical facade has a pair of timber doors with six-pane windows flanked by two-over-two pane timber sash windows. There are four identical windows and a timber door with three-pane toplight in each of the side elevations. The interior is plain, with a low stage at the rear end, and a coved ceiling with steel rod collar ties and original gas lantern fittings along the centre. The building is highly intact.

Woorak West Methodist Church

This is a small Victorian era Carpenter Gothic church with a gabled nave and a projecting gabled porch. The porch has framed and ledged doors in the side elevations, while the nave has two lancet (pointed arch) windows in each side elevation, and a simple ledged door in the rear wall. The interior of the church is plain and the walls and coved ceiling are clad with horizontal T&G boards. Associated furniture and objects include simple timber pews, pulpit, baptismal font, hymn board, Woorak West School No.2704 Honour Board, and an organ. The painted metal sign at the front appears to be early. The building is highly intact.

Franklin's Chemist

This is late Victorian or Federation timber shop. It has a gabled iron roof concealed behind a stepped parapet with painted signage. The skillion verandah is supported by timber posts with stop chamfer corners. The original timber framed shopfront has an ingo (recessed side entry door with toplight), stallboards with diagonal cladding, and coloured glass toplight. Internally, there are original shopfittings including display cabinets and the counter, which has a decorative timber screen above with Art Nouveau detailing. The building has good integrity - the parapet and verandah may have been reconstructed and the painted signage is not original.

Detpa State School No.4285

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This is an interwar timber one-school rural school. One room rural schools constructed from c.1909 to c.1940 were constructed using standard designs based on a (usually) gabled school room with a projecting gabled porch that doubled as a cloakroom. This type is distinguished by the placement of the gabled porch off-centre so that it projects beyond the side wall of the school room. It has gabled roofs with deep bracketed eaves and visible rafters. The porch has twin four-pane highlight windows below the original painted signboard and paired timber entry doors, while the front elevation of the school room has a tall window comprised of three four-pane sashes, with a bank of three identical windows in the rear elevation. Internally, the porch retains the original coat hooks, a built-in wall-hung cupboard, and an adjoining closet. The school room has blackboards on either side of the original fireplace behind the raised platform for the teacher. The room contains original furniture including early student and teachers desks, and objects including Honour Boards for Eliam district and Pepper's Plains school and the Jeparit Primary School house competition board. The walls to both rooms have vertical board dado and strapped fibrous panelling to the upper walls and ceiling. The building is highly intact - the only alteration being the loss of the external chimney.

Portable Lock-ups (Heywood Old Jail)

These are two different types of portable lock-ups used to temporarily hold prisoners. Both are prefabricated structures with a metal frame to which the timber weatherboard walls and frames are affixed, which have been designed to be easily disassembled to transport and reassembled on a new site. The 'Heywood Old Jail' is an earlier type. It is gable-fronted with timber louvres to the gable ends and part of the metal frame with visible rivets is expressed across the top of the front wall. There a narrow heavy steel door with a small opening above, and another small opening set high in the rear wall, each with three metal bars. Internally, the metal frame is evident in the corners and the assembly method is evident in the painted numbers of each of the boards. The other lock-up is a later design, which was used from the late nineteenth to early twentieth centuries. It has the same metal framed and timber structure and similar detailing, but the door has been placed in the longer side wall and there are small barred windows in all four elevations, and small holes in the ceiling to provide additional ventilation. It retains original half-round gutters with metal brackets. The buildings are highly intact.

Comparative Analysis

There are no direct comparisons for the Wimmera Mallee Pioneer Museum in Hindmarsh Shire. It compares with other 'Museum Villages' established in Victoria during the 1960s and 1970s, particularly the Swan Hill Folk Museum, which was recently added to the Victorian Heritage Register. Like the Swan Hill Folk Museum, the Wimmera Mallee Pioneer Museum contains a collection of relocated and recreated buildings, and an extensive collection of objects and machinery. The other 'Museum Villages' in Victoria are all very similar - the exception being Sovereign Hill in Ballarat, which contains only recreated buildings. In relation to specific buildings:

- The Albacutya Station Homestead complex is a rare example of an early homestead complex associated with the pastoral era. Very few of these survive. The outbuildings are rare examples of vernacular building techniques. It also has aesthetic qualities as a picturesque farm complex.
- Briarley House has aesthetic value as a well-detailed example of a Federation era house.
- The Werrap Hall is significant for the rare vernacular construction method using a timber frame with mud applied in manner of either lathe and pug or wattle and daub.
- The Heywood Old Jail is notable as a rare example of an early Portable Lock-up. It is notable for details such as the painted numbers on the internal timbers, which demonstrate how it was designed to be dismantled and reassembled.
- The Tarranyrk Hall, the Woorak West Methodist Church, Detpa State School, Franklin's Chemist and the late nineteenth century Portable Lock-up are all notable for their high degree of intactness both internally and externally.
- The Mallee Shed is a rare surviving example of this vernacular building type which is almost endemic to the Wimmera Mallee region (that is, not found elsewhere) and demonstrates the use of traditional techniques and materials. It also has aesthetic value as a rustic building with picturesque qualities.

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Statement of Significance

What is significant?

The Wimmera Mallee Pioneer Museum at 72 Charles Street, Jeparit is significant. The following buildings, including their interiors, contribute to the significance of the place:

- Albacutya Homestead complex including dining room and bedroom and kitchen outbuildings
- Antwerp Blacksmith
- Briarley House
- Detpa State School No.4285
- Mallee Shed
- Portable Lock-ups (Heywood Old Jail)
- Tarranyurk Hall
- Werrap Hall
- Woorak West Methodist Church

Alterations and additions to the above buildings and other buildings on the site are not significant.

How is it significant?

The Wimmera Mallee Pioneer Museum is of local historic, representative and aesthetic significance to Hindmarsh Shire.

Why is it significant?

The Wimmera Mallee Pioneer Museum is historically significant for its associations with community efforts to preserve heritage buildings associated with the settlement of the Mallee Wimmera at a time when there was no other mechanism available other than relocation of buildings to a dedicated museum. It represents a community approach to inform and educate later generations about local history using relocated and reconstructed buildings filled with related objects to tell these stories in a setting that demonstrates traditional pioneering and rural practices.

(Criterion A)

The Wimmera Mallee Pioneer Museum contains examples of buildings that are now rare within Hindmarsh Shire:

- The Albacutya Station Homestead complex is a rare example of an early homestead complex associated with the pastoral era. Very few of these survive. The outbuildings are rare examples of vernacular building techniques.
- The Heywood Old Jail is notable as a rare example of an early Portable Lock-up. It is notable for details such as the painted numbers on the internal timbers, which demonstrate how it was designed to be dismantled and reassembled.
- The Mallee Shed is a rare surviving example of this distinctive vernacular building type which is endemic to the Wimmera Mallee region and demonstrates the use of traditional techniques and materials.
- The Werrap Hall is significant for the rare vernacular construction method using a timber frame with mud applied in manner of either lathe and pug or wattle and daub.

(Criterion B)

The Wimmera Mallee Pioneer Museum contains representative examples of building types, which are notable for their degree of intactness, when compared to similar places in Hindmarsh Shire:

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- Detpa State School No.4285 is significant as an intact example of an interwar one-room school. Notable details are the original built-in furniture including cupboards, blackboard and fireplace and the original raised teaching platform. The significance of the place is enhanced by some original school furniture.
- Franklin's Chemist is significant as an intact example of an early twentieth century shop. Notable details include the timber framed shop windows and the interior fittings associated with the use as a chemist.
- The late nineteenth century Portable Lock-up is significant as an intact example of its type.
- The Tarranyurk Hall is significant as an intact example of a rural interwar hall. The gabled fronted rectangular plan, lightweight and fire resistant cladding materials and simple detailing are characteristic of the economical design of halls of the early twentieth century. Internally, the hall retains an original low stage and original light fittings.
- The Woorak West Methodist Church is significant as an intact example of a small Victorian Carpenter Gothic church. The plain appearance, both inside and out, is representative of the Wesleyan precept of simplicity in church design.

(Criterion D)

Recommendations 2023

External Paint Controls	Yes, relocated historic buildings only
Internal Alteration Controls	Yes, relocated historic buildings only
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 72 Charles Street, Jeparit
Aboriginal Heritage Place	-

Other Recommendations

In HO Schedule specify that Internal Controls apply only to Albacutya Homestead complex including outbuildings, Briarley House, Detpa State School, Portable Lock-ups, Tarranyurk Hall, Werrap Hall and Woorak West Methodist Church. Interior controls are not required for Antwerp Blacksmith or the Mallee Shed as they do not have significant interiors.

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Name: JEPARIT WEIR, WIMMERA RIVER
Address: LAKE ROAD, JEPARIT
Place Type: Weir
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO42



Jeparit Weir

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:

Federation/Edwardian Period (1902-
c.1918)

History and Historical Context

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

Water supply in Victoria

The following information is drawn from the *Thematic Environmental History* that forms Volume 1 of the *Victorian Water Supply Heritage Study*.

The harnessing of a reliable water supply, and its effective distribution and use, was vital for the success of European settlement in Victoria. According to Context (2007:xiv):

The raison d'etre of colonial settlement was for progress and development through the exploitation of natural

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resources. Water was the critical resource - for domestic needs, agriculture, and industrial development.

...

The development of water supplies both shaped, and was shaped by, the development of Victoria as a whole. Where water could be easily tapped and stored, settlements flourished.

...

Throughout the Colony, water supply was initially procured on an ad hoc basis by private individuals, or collectively in small settlements, with varying levels of success. Inevitably, extensive public projects were required to serve the larger centres of population. The means with which this could be achieved depended upon the engineering talent of the resident population; a ready labour force; sufficient public revenue; and an effective system of organisation and management

The original water supply to Melbourne was 'rudimentary and unreliable and of a poor quality (Context 2007:13). In the wake of the great influx of population due to the gold rush a more reliable and permanent solution was required. The result was the Yan Yean water supply scheme, which was completed in 1857. Despite some initial problems, with improvements and extensions it catered for the growth of Melbourne during the 1870s and 1880s and remained Melbourne's main supply of water until the first stages of the Maroondah water supply system were initiated in the 1880s. The Yan Yean system continues to supply water to Melbourne today (Context 2007:14-16).

Outside of Melbourne, most of the earliest township water supply schemes were established in goldfields towns, where the water needs of the mining industry provided the impetus for the development of engineered schemes. Until financial assistance was provided by the State Government these towns were also the only ones with the financial means to consider such undertakings. The passage of the *Waterworks Act 1865* provided the sum of £50,000 to be distributed as government loans for the construction of local water supply systems (Context 2007:17, 19).

Apart from the goldfields towns, few towns had the financial capability to construct complex waterworks schemes prior to the 1870s and it was not until the passing of the *Water Conservation Act (1881)*, which made loans available to locally constituted water authorities, that a growing number of towns set up water trusts to finance the construction of a water supply and reticulation system. In many cases, the needs of the expanding steam railways hastened this development (Context 2007:21).

The progress with connection of households in rural townships to a reliable water supply, however, remained slow. Assistance to rural towns with more limited means finally came with the formation in 1906 of the State Rivers and Water Supply Commission (SRWSC). By the mid 1930s, the SRWSC provided water to 98 country towns and supervised the local trusts responsible for 138 cities and towns outside the Melbourne metropolitan area (Context 2007:22).

Water supply in Hindmarsh Shire

One of the priorities for the Shire of Lowan after its formation in 1876 was to improve water supply by protecting existing water resources and developing more supplies. However, in the beginning, the shire could only act in a piecemeal fashion, as it had limited funds and squatting interests controlled many water sources and rights had to be clarified. For example, when local residents wished to clear the Dart Dam, Robert Bell of the Upper Regions Station on which it was situated said 'he was not aware the public had the right to use the water'. Other efforts to provide more secure water supplies include the setting aside of water reserves and the construction of water storages (such as the dam at Gerang Gerung in 1881), while landowners were encouraged to sink deep wells and tanks for themselves. Despite these efforts, during the drought in 1882 increasing numbers drove water wagons to the Wimmera River to draw water leading to fears that it would be so diminished that it would lose purity and 'become a fruitful source of disease and death'.

A more coordinated approach to water supply came with the formation of the Lowan Shire Waterworks Trust,

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which in January 1882 was granted 15,829 pounds by the Water Supply Commission. By 1885 the trust had used this money to sink fifteen wells, and to provide funds to Lowan Shire and individuals to purchase four more. However, owing to the lack of unanimity of Dimboola and other East Riding ratepayers about whether to join the Lowan Trust or the Wimmera United Waterworks Trust (which had been established in 1882 by a group of shires to the east) they were unrepresented on either and this added to their desire for severance from Lowan Shire.

When the new Shire of Dimboola was proclaimed in 1885 the Council's greatest challenge was to improve the water supply due to the increase in settlement and one of the first actions of the new council was to annex most of its territory to the Wimmera United Water Trust. In 1882 the Trust commenced construction on the Wartook Reservoir, situated in Grampians, to act as the main storage, which would be supplied to the region by using the existing watercourses as the main distribution channels, supplemented by new channels. However, this did not provide an immediate solution as the Trust faced difficulty supplying water to vast areas of already settled country, and efforts remained uncoordinated and hampered by inadequate financial resources. In 1886 Dimboola Council complained that, while they had as much channelling as in Wimmera Shire, most of the channels remained dry.

In 1886 the Wimmera United Trust was split in two, and the western section was controlled by a new trust, which in 1888 became the Western Wimmera Irrigation and Water Trust. It took over the Wartook Reservoir and a weir at Dooen and constructed new distribution channels including a new channel connecting Dooen with Dimboola, where a piped water system to the town was established in 1888. The latter project was one of the last initiated by the Wimmera United Water Trust in Dimboola Shire before the shire resolved to annex its territory to the Western Wimmera Irrigation and Water Trust.

Wartook Reservoir, and the development of the distribution system using main water courses and constructed channels from 1882 to 1903 were the beginnings of what became known as the Wimmera-Mallee Stock and Domestic Supply System (the System). Developed over a period of more than 60 years the System eventually provided water supply for stock and domestic use (as well as some irrigation) to over 15,000 rural properties and about fifty towns and villages obtained from catchments in the Grampians and elsewhere. This included most of the land within Dimboola Shire to the east of the Wimmera River, and a small section to the west between Antwerp and Jeparit.

Settlement in the Northern Wimmera and Southern Mallee in the late 1880s and 1890s, placed further demands on the System and in 1890 approval was given for the construction of Lake Lonsdale to provide additional storage capacity. Construction of Lake Lonsdale commenced in 1898 and was completed in 1903. Following the passing of the *Water Act* in 1905, which abolished all but one of the local water trusts, the SRWSC took over control of the System in 1906 and undertook extensive development and expansion using a range of components including artesian bore supplies, catchment tanks, artificial catchments, channel and pipeline water supplies. It is said that 'No matter where settlement occurred in the Mallee, the Commission devised a method of water supply to meet its needs'.

Whereas the original schemes by the water trusts had used natural watercourses as the main distribution channels the SRWSC commenced a channel construction program for stock and domestic supply and began to progressively extend reticulated water supplies to the main towns within the region starting with Sea Lake in 1906-07. This open channel system remained in use until the early twenty-first century. However, due to excessive water losses due to seepage and evaporation, the open channels were replaced with pipelines from 2006 to 2010, as part of the Wimmera Mallee Pipeline Project.

The Wimmera Mallee Pipeline Project has ensured that the System continues to provide a safe and reliable water supply for the Wimmera and Mallee regions today.

Jeparit Weir

The land around Jeparit was open for selection from the late 1880s onwards, and in 1889 a site was surveyed for a township. Community formation was marked by the establishment of the first school in 1889, the Mechanics' Institute Hall in 1891 and the opening of several churches over the following decade. Development

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of Jeparit gathered pace with the extension of the railway from Dimboola in 1894 and in that year the first brickworks was established and a second coffee palace, which later became the Hindmarsh Hotel, was opened in Roy Street, which had become the commercial centre of the town and contained three stores, a bakery, two butcher shops and several other businesses. The first two decades of the twentieth century represent the boom period in Jeparit's development and from 1900 to 1910 the population more than tripled from 250 to about 850 persons. Continued population growth as a result of closer settlement after World War I saw the construction of several new buildings including churches, shops and hotels. As the town grew in importance the Dimboola Shire Offices were shifted to Jeparit in 1914. The Shire occupied temporary premises before moving to a new purpose-built Memorial Hall and Municipal Chambers, which was opened in June 1925.

The construction of Lake Lonsdale, which diverted water from the Wimmera River upstream from the towns in the Shire of Dimboola to serve districts further north in the Mallee led to fears that insufficient water would remain in the lower Wimmera for local needs. In 1902 a deputation representing the WWT and the Dimboola Shire Council met with the Minister for Water Supply to urge the construction of several weirs on the Wimmera River in conjunction with the Lake Lonsdale scheme in order to hold back water that otherwise 'goes to waste in Lake Hindmarsh'. It was claimed that so much water was being diverted from the Wimmera and Little Wimmera rivers that the lower Wimmera, especially near Dimboola and Jeparit, was left 'with only a little brackish water in its bed' (*The Argus*, 2 May 1902, 'Western Wimmera Water Supply').

The deputation was successful and the Water Supply Department agreed to construct three 'compensation' weirs at Jeparit, Antwerp and Dimboola, so-called because they were intended to 'compensate' for the potential loss of water due to Lake Lonsdale. Tenders for the construction of the weir at Jeparit were invited in October 1902, and the successful contractor, J.H. Gamble, had commenced work by December of the year. Works on the other two weirs started around the same time and all three were completed by the middle of 1903. Of the three, the Jeparit weir was constructed of mass concrete and timber, whereas the weirs at Antwerp and Dimboola were of all-timber construction.

The construction of the weir provided a reliable supply of water for the rapidly growing town of Jeparit and the surrounding farming districts. The SRWSC commenced the scheme to provide reticulated water to the town in 1910, and it was completed by 1912.

Today, the Jeparit Weir is managed by Hindmarsh Shire and plays an important role in flood management, and the storage and allocation of environmental water releases to Wimmera waterways and wetlands, which provide habitat and freshwater to help sustain aquatic plant and animals in rivers and streams.

References

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Description

Physical Description

The Jeparit Weir is situated on the Wimmera River between Jeparit and where the river enters Lake Hindmarsh. The following description is based on information contained in the condition assessment prepared for Hindmarsh Council in November 2017.

The weir is comprised of a mass concrete wall, which is battered and stepped on the downstream side. Beside the base of the downstream wall is a stilling basin constructed of pitching stones set in cement concrete.

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On top of the concrete wall is a series of timber bays, which water passes over or through. Commencing at the north end they comprise:

- Bay No. 1 contains a fixed timber drop-board.
- Bay Nos. 2 to 7 are fitted with radial type metal gates. These gates and the fixed drop board within Bay 1 are set within concrete piers with angled bases on the downstream side.
- Bay Nos. 2 to 20 comprise the trestle section of the weir. These are constructed of vertical timber boards set within timber frames with diagonal bracing on the downstream side. It appears these were originally designed to drop down to release water.

Across the top of the bays is a metal walkway with balustrades.

The abutments are a cantilevered type retaining wall with multiple tie-backs. H-section steel columns are bolted into the concrete base with wooden planks placed between to retain soil.

The integrity of the Jeparit Weir is fair. The mass concrete or cement concrete elements (base of weir, stilling basin) appear to be original. The exception are the concrete piers and the radial gates, which have replaced the original timber drop gates. Some of the metal and timber elements may be original or early, or have been replaced like for like. The present metal walkway has replaced the original shown on early plans and images.

Comparative Analysis

The Jeparit Weir is one of two surviving examples of the three weirs constructed on the Wimmera River in 1903 and the only original example to remain in use. The timber weir at Dimboola was demolished and replaced c.1975. The timber weir at Antwerp partly survives in a ruinous condition. Recent (c.2016) images show the timber abutments largely intact, but only some of the timber piers survive.

Statement of Significance

What is significant?

The Jeparit Weir, constructed in 1902-03 by J.H. Gamble for the Water Supply Department on behalf of the Western Wimmera Water Trust, on the Wimmera River near Jeparit, is significant.

Alterations and additions are not significant.

How is it significant?

The Jeparit Weir is of local historical and representative significance to Hindmarsh Shire.

Why is it significant?

The Jeparit Weir is of historical significance as one of the first three weirs constructed in Hindmarsh Shire and demonstrates the important role of local water trusts in the development of reliable water supplies for rural areas prior to the formation of the State Rivers & Water Supply Commission in 1905. The provision of a reliable water supply was essential to enable settlement and agricultural development of the Wimmera and Mallee and the weirs across the lower Wimmera River at Jeparit, Antwerp and Dimboola were part of several water supply schemes conceived and built from 1882 to 1903 by the Western Wimmera Water Trust and other local trusts with the support of the Water Supply Department, which would form the basis of the Wimmera Mallee Stock and Domestic Supply System. The system, which was one of the largest of its kind in the world upon completion, supplied water to more than 15,000 rural properties and approximately 50 towns spread over 28,500 square kilometres. The weirs at Jeparit, Antwerp and Dimboola were intended to compensate for the loss of downstream flows on the lower Wimmera River due to the construction of Lake Lonsdale, and capture water during periods of high flow for use within drier periods.

(Criterion A)

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The Jeparit Weir is a rare surviving example of an early twentieth century weir of composite construction comprising a mass concrete base, cement and stone stilling basin, and a timber weir structure. The Jeparit Weir is one of two surviving 1903 weirs in Hindmarsh Shire and the only one that remains in use

(Criterion B)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of significance: Jeparit Weir
Aboriginal Heritage Place	-

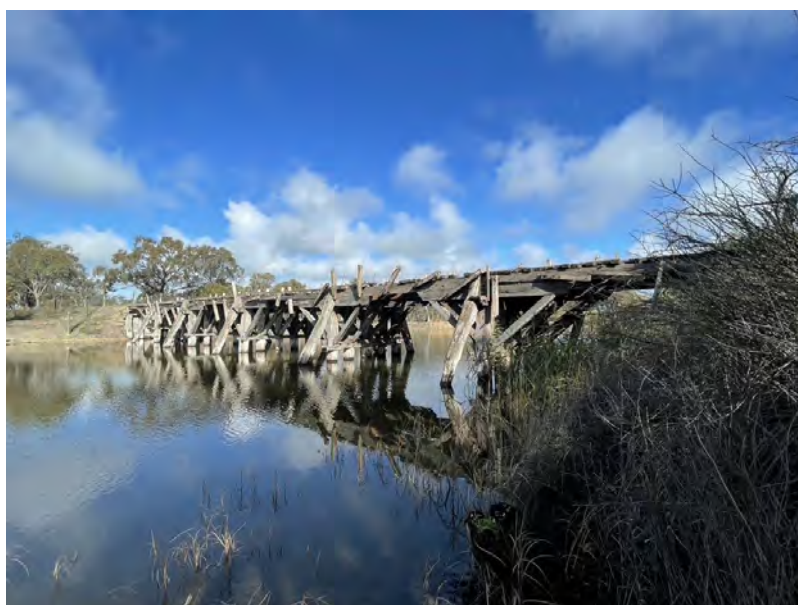
Other Recommendations

Remove the current HO42 map extent, which has been incorrectly applied, and re-apply HO42 to the weir and a small curtilage.

HERITAGE CITATION REPORT

Name: JEPARIT TIMBER ROAD BRIDGE
Address: RIVER ROAD JEPARIT
Place Type: Road Bridge
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO41



Jeparit Road Bridge

Recommended Heritage Protection	VHR Yes
	HI -
PS Yes	Architectural Style: Victorian Period (1851-1901)

History and Historical Context

Jeparit

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The land around Jeparit was open for selection from the late 1880s onwards, and in 1889 a site was surveyed for a township. One of the first buildings in Jeparit was Pearce Bros. general store, which opened in 1889 and it was soon followed by what would become the Hopetoun House Hotel, which opened in 1890 as a coffee palace before obtaining a liquor licence in 1891. The first newspapers commenced in late 1893.

Community formation was marked by the establishment of the first school in 1889, the Mechanics' Institute Hall in 1891 and the opening of several churches over the following decade. The first church services were held in

HERITAGE CITATION REPORT

the homes or homesteads of local residents and in 1891 the first churches in Jeparit were erected by the Presbyterian and Methodist congregations. The Anglican Church was opened in 1902. Many of the early settlers were of German descent and they formed into two congregations aligned with the two branches of the Lutheran Church, which each erected a church in the early 1900s.

Development of Jeparit gathered pace with the extension of the railway from Dimboola in 1894 and in that year the first brickworks was established and a second coffee palace, which later became the Hindmarsh Hotel, was opened in Roy Street, which had become the commercial centre of the town and contained three stores, a bakery, two butcher shops and several other businesses. One of these was the Jeparit Cash Store, which was taken over by James Menzies. Menzies' fourth child, Robert Gordon, was born in quarters behind the store. James was later a councillor and President of Dimboola Shire; his son was later Victorian Attorney-General and Australian Prime Minister.

The first two decades of the twentieth century represent the boom period in Jeparit's development. From 1900 to 1910 Jeparit's population more than tripled from 250 to about 850 persons. The growing importance of the town was illustrated by the opening of several banks beginning with the National Bank, which opened an agency in the Hopetoun House Hotel in 1905 before moving into a purpose-built building on the opposite corner of Roy Street in 1908. By that time the Commercial Bank had opened a branch on the other corner. Further growth of the town was aided by the establishment of the first reticulated water supply in 1911, and the opening of a hospital in 1912.

In 1912 the railway line was extended westwards from Jeparit to Yanac. This made Jeparit a junction, as the line had also been extended northwards to Rainbow (1899) and further on to Yaapeet (1914). The lines were mainly for freight, wheat and other cereals. Growth continued after World War I and this was reflected in 1925 the building of new churches to serve one of the Lutheran congregations, and the Methodist Congregation, and the opening and dedication of the Masonic Lodge Hall in August of that year. Other businesses established during this time included a two storey chemist shop and residence erected in 1925 on site of the Mechanics' Institute and a new branch of the State Savings Bank of Victoria in 1926. After a fire, the Hindmarsh Hotel was replaced in 1929 by an imposing two storey building.

Jeparit was in Dimboola Shire, and the shire offices were originally at the southern end of the shire at Dimboola. As the Jeparit (and Rainbow to the north) grew in importance a more central location was chosen, and in 1914 the shire offices were transferred to Jeparit. After the First World War the Mechanics' Institute needed new premises for a library and reading room, the RSSILA wanted clubrooms and the citizens of Jeparit needed a public hall. A committee made up of "soldiers and citizens" approached the shire council, who were planning to build new offices and chambers, with the idea of a combined building and raised the equivalent of approximately £4000 in cash and land and the shire council provided the remainder of the funds. On 5 February 1924 the foundation stone was laid by the Hon. Arthur Rodgers, former Minister for Trade and Customs and former assistant Minister for Repatriation and the building, a memorial to those who fought in the war, was opened on 2 June 1925.

Timber Road Bridge, Wimmera River, Jeparit

Although a Central Roads Board was established in 1854 it was abolished in 1857 and a series of government acts decentralised responsibility for road and bridge construction and maintenance to local 'road boards', which were the forerunners of local councils. In the Wimmera and Mallee, as in other parts of Victoria, road making was a difficult and costly procedure, and few Shire councils had sufficient means to provide satisfactory road and bridge infrastructure and often had to rely on government assistance. Bridges, particularly over major watercourses, were especially expensive and the Colonial government was initially reluctant to become involved in bridge construction. However, as settlement progressed across Victoria it soon became evident that financial assistance was essential to order to provide an effective transport network to encourage and facilitate rural development.

The timber road bridge over the Wimmera River at Jeparit was officially opened on 14 May 1892 by the Dimboola Shire President. The bridge was described at the time as a 'boon' to the growing numbers of settlers on the west side of the Wimmera River as it enabled them to reach the railway at Dimboola by a shorter and better road (*Leader*, 24 September 1892, p.7 'The new Wimmera'). Within two years of opening, the bridge

HERITAGE CITATION REPORT

provided direct access to the railway which had been extended to Jeparit by 1894. This enabled farmers to transport their grain and produce more easily at harvest time.

Moves to establish the bridge began soon after the township of Jeparit was surveyed in 1889 and the surrounding land opened for selection. In April 1891 a deputation from the Dimboola Shire Council met with the Minister of Public Works to request financial assistance towards erecting a bridge at Jeparit, which was estimated to cost £1,500 and was described as 'urgently required' (*The Argus*, 3 April 1891, p.9). The Minister duly agreed to contribute £1,000 to the cost, with Dimboola Council to provide the balance. This was one of more than 25 bridges throughout Victoria partly funded by the Colonial government in 1891-92 alone (*The Argus*, 29 July 1891, p.5). The Shire of Dimboola invited tenders for the bridge in November 1891 (*The Ballarat Star*, 18 November 1891, p.3).

The Jeparit Bridge was the second constructed by the Dimboola Council over the Wimmera River: in 1890 a bridge had been opened at Antwerp (*The Horsham Times*, 1 July 1890, p.3).

The bridge remained in use until the post-World War II period when the road was realigned and a new bridge built further upstream.

References

Blake, Les, *The land of the Lowan. 100 years in Nhill and West Wimmera*, 1976

Chambers, Don, *Wooden Wonders. Victoria's timber bridges*, 2006

National Archives of Australia (NAA), Post office records - Fact sheet 50 <http://www.naa.gov.au/collection/fact-sheets/fs50.aspx> [accessed 18 April 2016]

Gloury, H.J. (ed.), *Our Jeparit. The history of a small country town. Souvenir of the Back to Jeparit October 10th to 19th 1980*, 1980

Description

Physical Description

The timber road bridge across the Wimmera River between Jeparit and Lake Hindmarsh has seven timber-beam spans 26 feet (7.9 metres) in length, with squared-timber strutted-corbel construction supporting timber stringers, and a total deck length of 182 feet (54.6 metres). The deck width is fifteen feet (4.5 metres) between heavy timber kerbs and parts of the timber and wire balustrade survives. The timber piers each consist of seven piles, including one raker pile on each side, driven deep into the river bed. The abutments comprise timber piles with horizontal boards between. Short sections of the original road survive at the approaches to the bridge on both sides.

The bridge is in semi-derelict condition and part of the deck has collapsed at the northern end. Steel joists have been added below the deck.

Comparative Analysis

In the late nineteenth century various bridge designs were used, which often usually drew on technologies from Europe or the United States. One such technology was traditional European strutted-beam design that was widely used for Victorian timber road bridges that required wide spans. These bridge types were expensive to construct and, as a result, usually required financial assistance from Victorian colonial government and few were constructed after the economic depression of the 1890s. Several examples of these bridges were built, but very few survive today. The Jeparit Bridge is believed to be the most intact of the two surviving examples, the other being Kirwan's Bridge, VHR 1886, at Lake Nagambie.

In Hindmarsh Shire there are two other early timber road bridges over the Wimmera River at Antwerp (1890), and Tarranyurk (date unknown). Both are in poor condition and partially collapsed. At Antwerp, part of the timber superstructure has been replaced with steel beams.

HERITAGE CITATION REPORT

Statement of Significance

What is significant?

The Jeparit Timber Road Bridge, built in 1891-92 across the Wimmera River between Jeparit and Lake Hindmarsh, is significant.

How is it significant?

The Jeparit Timber Road Bridge is of local historic, representative and aesthetic significance to Hindmarsh Shire.

Why is it significant?

The Jeparit Timber Road Bridge is historically significant as one of oldest timber bridges in Hindmarsh Shire and in the State of Victoria and for its associations with an important phase of settlement of Hindmarsh Shire. It demonstrates how the closer settlement of the northern Wimmera and Mallee in the late nineteenth century resulted in the need for additional crossings of the Wimmera River. The Jeparit Bridge was important as it enabled farmers on the west side of the Wimmera River to reach the railway at Dimboola by a shorter and better road, and within two years of opening, provided direct access to the railway which had been extended to Jeparit by 1894. This enabled farmers to transport their grain and produce more easily at harvest time and contributed to the growth and development of Jeparit, which became the headquarters for the Shire of Dimboola in 1914. The bridge also demonstrates how the design of long-span bridges across wide channels in Victoria was based on traditional British bridge patterns until the severe economic depression of 1892-93 rendered their labour-intensive construction uneconomic.

(Criterion A)

The Jeparit Timber Road Bridge is significant as one of only two surviving examples of early strutted-corbeltimber-bridge design (the other being Kirwan's Bridge, VHR 1886), and the only intact example to survive in Victoria.

(Criterion B)

The Jeparit Timber Road Bridge is aesthetically significant as a substantial and rustic timber bridge in a rural setting. The aesthetic qualities are due to the striking and distinctive silhouette created by the massive squared-timber strutted corbels, and the prominent big raker piles on each side, which are often reflected in river surface. The slightly ruined condition of the bridge, and its setting within treed riverbanks in a broad section of the river adds to its picturesque qualities.

(Criterion E)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Jeparit Timber Road Bridge
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Other Recommendations

Delete the current HO41 map extent, which has been applied incorrectly, and re-apply HO41 to include only the bridge and a small curtilage.

HERITAGE CITATION REPORT

Name: UNITING CHURCH
Address: 1-3 SANDS AVENUE JEPARIT
Place Type: Church, Church Hall
Citation Date: 2023

Heritage overlay: HO10
Significance Level: Local



Jeparit Uniting (Former Methodist) Church

Recommended Heritage Protection

VHR -

HI -

PS **Architectural Style:** Interwar Period
Yes (c.1919-c.1940), Interwar Period (c.1919-c.1940) Gothic

History and Historical Context

Jeparit

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The land around Jeparit was open for selection from the late 1880s onwards, and in 1889 a site was surveyed for a township. One of the first buildings was Pearce Bros. general store, which opened in 1889 and it was soon followed by what would become the Hopetoun House Hotel, which opened in 1890 as a coffee palace before obtaining a liquor licence in 1891. The first newspapers commenced in late 1893.

Community formation was marked by the establishment of the first school in 1889, the Mechanics' Institute Hall

HERITAGE CITATION REPORT

in 1891 and the opening of several churches over the following decade. The first church services were held in the homes or homesteads of local residents (or, in the case of the Methodist congregation, the local blacksmith shop) and in 1891 the first churches in Jeparit were erected by the Presbyterian and Methodist congregations. The Anglican Church was opened in 1902. Many of the early settlers were of German descent and they formed into two congregations aligned with the two branches of the Lutheran Church, which each erected a church in the early 1900s.

Development of Jeparit gathered pace with the extension of the railway from Dimboola in 1894 and in that year the first brickworks was established. Around the same time a second coffee palace, which later became the Hindmarsh Hotel, was opened in Roy Street, which had become the commercial centre of the town and contained three stores, a bakery, two butcher shops and several other businesses. One of these was the Jeparit Cash Store, which was taken over by James Menzies. Menzies' fourth child, Robert Gordon, was born in quarters behind the store. James was later a councillor and President of Dimboola Shire; his son was later Victorian Attorney-General and Australian Prime Minister.

The first two decades of the twentieth century represent the boom period in Jeparit's development. From 1900 to 1910 Jeparit's population more than tripled from 250 to about 850 persons. The growing importance of the town was illustrated by the opening of several banks beginning with the National Bank, which opened an agency in the Hopetoun House Hotel in 1905 before moving into a purpose-built building on the opposite corner of Roy Street in 1908. By that time the Commercial Bank had opened a branch on the other corner. Further growth of the town was aided by the establishment of the first reticulated water supply in 1911, and the opening of a hospital in 1912.

In 1912 the railway line was extended westwards from Jeparit to Yanac. This made Jeparit a junction, as the line had also been extended northwards to Rainbow (1899) and further on to Yaapeet (1914). The lines were mainly for freight, wheat and other cereals. Growth continued after World War I and this was reflected in 1925 the building of new churches to serve one of the Lutheran congregations, and the Methodist Congregation, and the opening and dedication of the Masonic Lodge Hall in August of that year. Other businesses established during this time included a two storey pharmacy and residence erected in 1925 on site of the Mechanics' Institute and a new branch of the State Savings Bank of Victoria in 1926. After a fire, the Hindmarsh Hotel was replaced in 1929 by an imposing two storey building.

Jeparit was in Dimboola Shire, and the shire offices were originally at the southern end of the shire at Dimboola. As Jeparit (and Rainbow to the north) grew in importance a more central location was chosen, and in 1914 the shire offices were transferred to Jeparit. After the First World War the Mechanics' Institute needed new premises for a library and reading room, the RSSILA wanted clubrooms and the citizens of Jeparit needed a public hall. A committee made up of "soldiers and citizens" approached the shire council, who were planning to build new offices and chambers, with the idea of a combined building and raised the equivalent of approximately £4000 in cash and convinced the shire council to provide the remainder of the funds. On 5 February 1924 the foundation stone was laid by the Hon. Arthur Rodgers, former Minister for Trade and Customs and former assistant Minister for Repatriation and the building, a memorial to those who fought in the war, was opened on 2 June 1925.

Jeparit Uniting (former Methodist) Church

The first settlers in Hindmarsh Shire soon began holding religious services and as numbers increased, formed themselves into congregations. Before churches were built, religious services were held in private residences and later, as townships formed, in public buildings such as halls or schools, or even in parks. Residences were built to accommodate clergymen and their families, and were an integral part of building a local religious community with a resident priest. Sunday schools were a common form of spiritual education for children of the various congregations.

Churches also illustrate the waves of migration since the nineteenth century. Migrant communities were defined particularly by cultural and religious identities carried from the place of origin and a marked characteristic of the Wimmera and Mallee regions is the high numbers of people who worshipped at the traditional 'churches of dissent': Presbyterian, Methodist, Baptist, Church of Christ and Lutheran. According to Priestley (1967:102) this strength depended partly on the origins of the first settlers (many came from South Australia, a 'paradise of dissent') but was also fostered by the 'circumstances of the district itself':

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The simplicity, even austerity, of the forms of worship in these dissenting churches, as well as the social values they championed, seemed to accord naturally with the simple austere lives which wheat farmers and business traders were forced to live.

With the influx of settlers to the Wimmera from the 1870s onwards the Rev. E.S. Bickford, the Superintendent of Home Missions of the Wesleyan Methodist Church of Victoria appointed Mr. J.C. Dennison to Dimboola in 1890 with instructions to 'go as far as the settlers go'. Within a few days, Mr Jennison found himself setting off on horseback to meet the new settlers and establish preaching places. One of the first was established at Jeparit on 3 August 1890 when a congregation of 14 people gathered at Laing's blacksmith shop (then one of just three buildings in the fledgling town). As noted in the pamphlet produced for the church's 75th Anniversary:

Seating accommodation consisted of planks placed across the implements which were awaiting repair. The anvil served as a pulpit. In this simple typically 'Home Mission' manner the public worship of God in the Jeparit district started.

It is believed this was the first church service held in Jeparit. Services were held fortnightly thereafter and within a year the first church, a simple Carpenter Gothic building, was built on the present site, which was in an area known as 'The Pine Rise' (now Sands Avenue) that had been set aside for public buildings. From 1890 to 1910 Jeparit was served by Home Missionaries who travelled from Dimboola and other towns. With the rapid growth of Jeparit in the first decade of the twentieth century the status of the Jeparit Home Mission was raised to a Probationer's Circuit, with the first minister being Rev. (later Dr.) Oswald McCall. A two roomed hut was built as a residence, which later formed part of the Sunday School. This hut was replaced in 1919 by a Parsonage, when the Jeparit Circuit was raised to full status. This was located in Broadway.

With the continuing growth of Jeparit and the congregation after World War I the old church became inadequate and so in 1924 the trustees and members of the church decided to build a new church capable of seating 250 people. James Menzies laid the foundation stone on 16 August 1925. A local businessman and politician (and father of Robert Menzies) James Menzies was a former trustee, and had served as a preacher and Sunday School superintendent.

The opening service was held on 14 March 1926. The new church was a substantial brick and reinforced concrete structure 50 ft long and 32 ft wide, excluding the porch and vestry. The furniture was made by M.A. Chaplin of Jeparit and local artist Edgar Finlay executed a painted scroll above the pulpit. The architect was K. Burns of Lovell, Dudden & Jones, which was the contractor for the building. The old church then became the Sunday School Hall.

After World War II a decline in congregations resulted in the amalgamation of the Jeparit and Rainbow Methodist circuits in 1956. Subsequently, Jeparit was forced to close the Methodist churches at Tullyvea in the same year, and Antwerp in 1957.

In 1957 the old Parsonage was sold and a new residence built in the church grounds facing Sands Avenue. This was opened on 30 March, 1958. Four years later in 1962 a new Sunday School Hall replaced the old church hall. Designed by Geelong architect, J. Gordon Williams, the building was erected by Thomas Ismay of Rainbow. It was officially opened on 9 September 1962 by the Chairman of the District, the Rev. J.R. Lawton. At the time of opening 12 teachers instructed 90 children each week.

Following the creation of the Uniting Church of Australia (an amalgamation of the Methodist, Presbyterian and Congregational churches) in 1977, the Presbyterian and Methodist congregations in Jeparit were joined in 1979 and decided to use this building for services.

In 2022 the church is one of two within the Lowan Uniting Parish. The other church is at Nhill.

References

'1890-1965. Jeparit Methodist Church. 75th anniversary. 31 October 1965' commemorative pamphlet

Priestly, Susan, *Warracknabeal: A Wimmera centenary*, 1967

Public Records Office of Victoria (PROV) Jeparit Methodist Church file

HERITAGE CITATION REPORT

Gloury, H.J. (ed.), *Our Jeparit. The history of a small country town. Souvenir of the Back to Jeparit October 10th to 19th 1980*, 1980

Description

Physical Description

The Jeparit Uniting (former Methodist) Church comprises an interwar Gothic Revival church with a postwar Modernist church hall to one side. The buildings are connected by a narrow timber framed walkway.

The church has an unusual construction of brick walls between an expressed reinforced concrete frame, which divides the side walls into five bays (each containing a lancet window with diamond pane leadlights) and frames the parapeted gables of the nave and porch. There are solid buttresses at the front wall corners of the nave, and elongated corbel details at the top of the corner piers to the porch. There are pointed arch timber doors on either side of the porch and windows to the front are a simplified version of plate tracery, which is characteristic of the Early English Gothic style. Here, three lancet windows are set inside a larger lancet opening, with solid areas of stonework in the interstices, and below a render label moulding in a lancet arch form, with flat render (instead of stonework) covering the large space between the tops of the windows and the label mould. The centre window is taller, and all three have broad, flat render architraves, and diamond pane leadlights. Below the windows is the foundation stone laid by James Menzies on 16 August 1925.

Internally, there is a coved panelled timber ceiling with simple expressed timber beams. Behind the altar is a painted motto in the form of a scroll: *Worship the Lord in the Beauty of Holiness*. At the rear is the vestry, which has a flat panelled timber ceiling.

The church hall is constructed of cement blocks and has a low-pitch gable roof with deep eaves. The front wall contains a full-height bank of timber framed windows, three panes wide with coloured glass to the top three panes, which have a pointed profile following the line of the gable, with a timber cross beside. There are high-set windows in the side elevations. Entry is via a flat-roofed porch to one side. Internally, the hall has steel trusses and is plain apart from the panel at north end, which has the same motto as in the church, again painted as a scroll, but with a slightly less ornate design. This was originally from the Methodist Church at Lorquon and was reinstalled here after that church closed (Given the similarity to the painted scroll within the church it is likely it was also executed by Edgar Finlay). Behind the hall is a kitchen. By the front door are two plaques: One commemorating the opening and dedication of the building on 9 September 1962 by Rev. J.R. Lawton, and the other commemorating the donation in 1974 of the ceiling fans by Mrs. G. Frankhauser in memory of her mother.

Comparative Analysis

By the end of the nineteenth century the Gothic style had been adopted by most of the Protestant churches, and during the interwar period the Gothic style was continued in church design, but was increasingly simplified or abstracted. A number of transitional styles also emerged, which succeeded in making the break from Gothic, but not with historicism entirely. They included Byzantine/Exotic, Mediterranean/Spanish revival, Arts & Crafts eclectic and Neo-Grec (twentieth century revival of Greek classicism) (Lewis 1991:34-5).

Early churches in Hindmarsh Shire were typically simple timber (Carpenter Gothic) buildings built by the congregations. They often comprised only a nave, with anterooms containing the vestry, chancel or choir added in later stages. The decoration of these early churches was limited to occasional flourishes such as Gothic Revival diamond pattern leadlight quarry windows, religious motifs such as a cross (often mounted at the apex of the roof gable) and decorative bargeboards. More substantial churches were built in larger towns and in other areas by the early twentieth century and the interwar period, with the older building often becoming the church hall. Like schools and halls, churches were sometimes moved according to as areas declined or prospered.

According to Lewis (1991:10, 23) Methodism, like Presbyterianism, had no great architectural tradition when it was introduced to Australia, but by 1857 the Wesleyan Methodists had adopted the Gothic style for its churches.

HERITAGE CITATION REPORT

However, the design of Methodist churches was also influenced by the precept of John Wesley who directed that 'preaching houses' should be 'plain and decent' and no more expensive than necessary. Accordingly, many Methodist churches were 'small and unpretentious buildings'. However, other Methodist churches also demonstrate an increasing acceptance of more elaborate and substantial Gothic style structures (Lewis 1991:10).

Jeparit Uniting (former Methodist) Church, of 1925, is one of about eight interwar churches in Hindmarsh Shire. Of these, five are constructed in reinforced concrete (St John's Lutheran, Jeparit of 1925, Antwerp Methodist, c.1924, Tullyvea Methodist, 1924, Pepper Plains Baptist, 1924, and Lorquon Methodist, 1926). In addition, two Federation era churches are constructed of concrete block: St Paul's Anglican Church, Rainbow (1911) and the Rainbow Presbyterian Church (1909). Jeparit Uniting (former Methodist) Church (built by the same contractors as St John's Lutheran) has a reinforced concrete frame. The reason for this unusually high number of concrete or concrete block churches is unknown, but is perhaps related to the establishment of a cement works at Rainbow, which saw the building of many concrete or concrete block buildings in the town and surrounding district.

Jeparit Uniting (former Methodist) is representative of interwar churches, which have simplified Gothic Revival detailing. The austere external appearance, relieved only by the diamond pattern leadlight windows and simplified corbels and other details is typical of the interwar churches in Hindmarsh Shire. The expressed concrete frame is a detail that is also used at the former St John's Lutheran, which was built by the same contractor and likely designed by the same architect. A notable detail is the porch window, which is in a simplified form of plate tracery, used in Early English Gothic architecture. The interior is notable for the finely painted scroll by Edgar Finlay (and the similar painted screen within the church hall), and the suite of original furniture and fittings including the altar, pulpit, font, hymn screen and pews. Otherwise the church adheres to the Wesleyan precept of 'plain and decent' architecture.

It is also representative as the centre of a Methodist Circuit, which is demonstrated by the presence of the hall and the former Parsonage. In this respect it compares with the former Methodist churches at Rainbow and Nhill.

Statement of Significance

What is significant?

Jeparit Uniting (former Methodist) Church, comprising the church designed by K. Burns and constructed by Lovell, Dudden & Jones in 1925-26, and the church hall designed by J. Gordon Williams in 1962, at 1-3 Sands Avenue, Jeparit is significant. The interior of the church to the extent of the painted scrolls by Edgar Finlay to the church and hall, and the original furniture in the church including the pews, altar, font, pulpit and hymn screen also contribute to the significance of the place.

Alterations and additions to the 1926 church and the 1962 hall are not significant.

How is it significant?

Jeparit Uniting (former Methodist) Church is of local historic, representative, aesthetic and social significance to Hindmarsh Shire.

Why is it significant?

Jeparit Uniting (former) Methodist Church is historically important as an expression of the establishment and development of the Methodist Church in Hindmarsh Shire from the late nineteenth century onwards. The Methodist congregation in Jeparit was formed in 1890 and built its first church on this site in 1891, which was the first church building in Jeparit. By 1919 it was elevated to the status of a Circuit with a resident minister and supported the establishment of Methodist congregations in surrounding districts. The building of the present church in 1925-26 is associated with a significant period of growth in both the congregation and the Jeparit district and this is demonstrated by the size of the church. In 1979 the Methodist and Presbyterian congregations combined following the creation of the Uniting Church in Australia and have worshipped at this church since then. The church hall contributes to an understanding of the historic role of Jeparit as the centre of a Methodist Circuit and this is demonstrated by the painted scroll panel, which was moved to the hall after the

HERITAGE CITATION REPORT

Methodist Church at Lorquon was closed.

(Criterion A)

The former Methodist Church is significant as a representative example of an interwar church with simplified Gothic detailing including the parapeted gables with abstracted corbels, solid buttresses, pointed arch windows (with leadlight diamond pane glass) and doors. A notable detail is the design of the window at the front of the porch in a simplified version of plate tracery, which is characteristic of the Early English Gothic style. Here, three lancet windows are set inside a larger lancet opening, with solid areas of stonework in the interstices, and below a render label moulding in a lancet arch form, with flat render (instead of stonework) covering the large space between the tops of the windows and the label mould. The centre window is taller, and all three have broad, flat render architraves, and diamond pane leadlights.

(Criterion D)

The former Methodist Church is of aesthetic significance as interwar Gothic Revival church on a prominent corner site with fine and distinctive details. Externally these include the simplified plate tracery form of the porch windows and the solid buttresses to the front of the nave, while the painted scroll and motto is a notable feature of the interior.

(Criterion E)

Jeparit Uniting (former Methodist) Church is socially significant as a place that has served the Methodist congregation in Jeparit and district for over 130 years. As well as the spiritual needs of the congregation, the church and hall are also important meeting places that provide social support for people from isolated rural communities.

(Criterion G)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	Yes, painted scroll decoration
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 1-3 Sands Avenue, Jeparit
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Name: ST JOHN'S LUTHERAN CHURCH
Address: 35-41 SANDS AVENUE JEPARIT
31 SANDS AVENUE, JEPARIT
Place Type: Church, Church Hall, Manse
Citation Date: 2023

Heritage overlay: HO11

Significance Level: Local



St John's Lutheran Church and Hall

Heritage listings

VHR - No

HI - No

Planning scheme: Yes

Architectural Style:

Interwar Period (c.1919-c.1940)

Gothic, Interwar Period (c.1919-c.1940)

Postwar Period (1945- 1965)

History and Historical Context

Jeparit

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The land around Jeparit was open for selection from the late 1880s onwards, and in 1889 a site was surveyed for a township. One of the first buildings in Jeparit was Pearce Bros. general store, which opened in 1889 and it was soon followed by what would become the Hopetoun House Hotel, which opened in 1890 as a coffee palace before obtaining a liquor licence in 1891. The first newspapers commenced in late 1893.

Community formation was marked by the establishment of the first school in 1889, the Mechanics' Institute Hall in 1891 and the opening of several churches over the following decade. The first church services were held in

HERITAGE CITATION REPORT

the homes or homesteads of local residents (or, in the case of the Methodist congregation, the local blacksmith shop) and in 1891 the first churches in Jeparit were erected by the Presbyterian and Methodist congregations. The Anglican Church was opened in 1902. Many of the early settlers were of German descent and they formed into two congregations aligned with the two branches of the Lutheran Church, which each erected a church in the early 1900s.

Development of Jeparit gathered pace with the extension of the railway from Dimboola in 1894 and in that year the first brickworks was established and a second coffee palace, which later became the Hindmarsh Hotel, was opened in Roy Street, which had become the commercial centre of the town and contained three stores, a bakery, two butcher shops and several other businesses. One of these was the Jeparit Cash Store, which was taken over by James Menzies. Menzies' fourth child, Robert Gordon, was born in quarters behind the store. James was later a councillor and President of Dimboola Shire; his son was later Victorian Attorney-General and Australian Prime Minister.

The first two decades of the twentieth century represent the boom period in Jeparit's development. From 1900 to 1910 Jeparit's population more than tripled from 250 to about 850 persons. The growing importance of the town was illustrated by the opening of several banks beginning with the National Bank, which opened an agency in the Hopetoun House Hotel in 1905 before moving into a purpose-built building on the opposite corner of Roy Street in 1908. By that time the Commercial Bank had opened a branch on the other corner. Further growth of the town was aided by the establishment of the first reticulated water supply in 1911, and the opening of a hospital in 1912.

In 1912 the railway line was extended westwards from Jeparit to Yanac. This made Jeparit a junction, as the line had also been extended northwards to Rainbow (1899) and further on to Yaapeet (1914). The lines were mainly for freight, wheat and other cereals. Growth continued after World War I and this was reflected in 1925 the building of new churches to serve one of the Lutheran congregations, and the Methodist Congregation, and the opening and dedication of the Masonic Lodge Hall in August of that year. Other businesses established during this time included a two storey chemist shop and residence erected in 1925 on site of the Mechanics' Institute and a new branch of the State Savings Bank of Victoria in 1926. After a fire, the Hindmarsh Hotel was replaced in 1929 by an imposing two storey building.

Jeparit was in Dimboola Shire, and the shire offices were originally at the southern end of the shire at Dimboola. As the Jeparit (and Rainbow to the north) grew in importance a more central location was chosen, and in 1914 the shire offices were transferred to Jeparit. After the First World War the Mechanics' Institute needed new premises for a library and reading room, the RSSILA wanted clubrooms and the citizens of Jeparit needed a public hall. A committee made up of "soldiers and citizens" approached the shire council, who were planning to build new offices and chambers, with the idea of a combined building and raised the equivalent of approximately £4000 in cash and land and the shire council provided the remainder of the funds. On 5 February 1924 the foundation stone was laid by the Hon. Arthur Rodgers, former Minister for Trade and Customs and former assistant Minister for Repatriation and the building, a memorial to those who fought in the war, was opened on 2 June 1925.

St John's Lutheran Church

The first settlers in Hindmarsh Shire soon began holding religious services and as numbers increased, formed themselves into congregations. Before churches were built, religious services were held in private residences and later, as townships formed, in public buildings such as halls or schools, or even in parks. Residences were built to accommodate clergymen and their families, and were an integral part of building a local religious community with a resident priest. Sunday schools were a common form of spiritual education for children of the various congregations.

Churches also illustrate the waves of migration since the nineteenth century. Migrant communities were defined particularly by cultural and religious identities carried from the place of origin and a marked characteristic of the Wimmera and Mallee regions is the high numbers of people who worshipped at the traditional 'churches of dissent': Presbyterian, Methodist, Baptist, Church of Christ and Lutheran. According to Priestley (1967:102) this strength depended partly on the origins of the first settlers (many came from South Australia, a 'paradise of dissent') but was also fostered by the 'circumstances of the district itself':

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The simplicity, even austerity, of the forms of worship in these dissenting churches, as well as the social values they championed, seemed to accord naturally with the simple austere lives which wheat farmers and business traders were forced to live.

The historically high number of Lutherans in Hindmarsh Shire is related to the high number of German and Germanic colonists who settled there from the 1870s, the majority of whom came from South Australia. Lutherans were particularly numerous in the south of Hindmarsh Shire around Dimboola where the first wave of German settlers arrived in the 1870s, but also came in significant numbers to the northern parts of the Shire around Jeparit and Rainbow when land was opened for selection in the 1880s.

The Lutheran Church in Victoria was introduced in 1849, eleven years after the arrival of the first German migrants in South Australia. Soon after their arrival in South Australia the first pastors, Kavel and Fritzsche, disagreed on a number of matters, dividing the church into two synods in 1846. Further division later led to the establishment in 1856 of a separate synod in Victoria led by Pastor Goethe.

The Lutherans who came to Hindmarsh Shire were associated with the two South Australia synods: the Evangelical Lutheran Church of Australia (ELCA) and the Immanuel Synod, which later became part of the United Evangelical Lutheran Church Australia (UELCA). This was reflected at Jeparit in the formation of two separate congregations, each known as St John's, which built their own churches and worshipped separately until 1966 when the two synods merged to form the Lutheran Church in Australia.

St John's Lutheran Church at 35-41 Sands Avenue, Jeparit is associated with the ELCA. St John's ELCA at Jeparit traces its origins to 1890 when Pastor A.E.R. Brauer, who had just been installed in the Kornheim Parish, near Dimboola, visited Jeparit with the aim of forming a congregation. Pastor Brauer along with several members of local families met in the home of Mathes Domaschensz, near Tarranyurk (south of Jeparit) to officially form St John's congregation on 14 December 1890. The congregation later worshipped at the home of August Schorback and, as numbers grew, moved to a corrugated iron building on the Witney farm just south of Jeparit as it provided extra space and was closer to the growing township.

After 13 years the decision was made to erect a church building. A site in Sands Avenue had been donated by John Peterson and in 1904 a contract was issued. After some delays the foundation stone was laid on 16 February 1905 and the church was opened and dedicated on 4 June of that year. The opening service was attended by 250 people of which 150 people could be seated in the new church.

St John's was originally part of the Kornheim Parish, and in 1920 was joined to the Ni Ni Well Parish. However, in January 1922 the decision was made for St John's to form its own parish. Pastor F.H. Schultz who had served as the resident minister of the Ni Ni Well Parish accepted the call to come to St John's and within a year a spacious brick residence had been erected beside the church to serve as the Manse. Built at a cost of 2,100 pounds, it was dedicated on 23 April, 1923.

Meanwhile, the significant growth of Jeparit and the surrounding districts meant the existing church had become totally inadequate to accommodate the large numbers attending services. Membership of the congregation at the time was over 300 and a decision was made to demolish and replace the old church with a new and larger building capable of seating around 350 people. The new church, constructed in reinforced concrete by local contractors Lovell, Dudden & Jones, comprised a nave with large vestry at one side, which could provide extra seating, if required. Items of furniture donated by the local congregation - the altar, pulpit, hymn board, baptismal font, and the pews - were manufactured in polished maple by M.A. Chaplin of Jeparit. The interior was decorated with three murals of Christ and accompanying text painted by Edgar Finlay (At around the same time Finlay had completed a scenery backdrop for the stage within the new Jeparit Soldiers' and Citizens' Memorial Hall and Council Chambers, and also decorated the interior of the new Methodist Church at Jeparit, both opened in 1925).

The dedication service of the new church held on 6 December 1925 was attended by over 2,000 people. The formal dedication took place during the morning service and in the afternoon a further service was held in the church grounds, as there was insufficient room in the church. According to the history of St John's 'the newly dedicated building proved a great asset to the congregation, and to Pastor Schulze in his ministry to the people

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around Jeparit'. A Ladies' Guild and Young People's Society were established and congregation continued to grow in the 1930s. In 1935 Pastor Schulz accepted a call to minister to the Aboriginal community at Antwerp.

1925 also marked the introduction of regular English services. Possibly, these were a response to the anti-German sentiment that arose during World War I, which in Hindmarsh Shire culminated in at least two unsuccessful arson attempts at St John's UELCA church at Jeparit in 1918 during Armistice celebrations, and the burning down of the Lutheran Church at Netherby at around the same time. The regularity and timing of English and German services at St John's ELCA remained a 'debated issue for some time' (Obst 1990:21). Increasingly, however, English was increasingly used as the younger members preferred it, and the onset of World War II (WWII) led to a reduction in German services to once every six weeks. By the end of WWII, English was the only language used.

After WWII the need was identified for a church hall to serve the congregation. A hall fund was established in 1946 and funds were sufficient for tenders to be called in 1952 for a concrete brick structure. Members assisted with the digging of foundations and the hall was completed in 1953 and dedicated on 5 July of that year. Additions to the church hall were carried out in 1970 and it was re-dedicated on 19 September 1971.

In December 1965 St John's celebrated the 75th anniversary of the Church's foundation. By this time, the union of the two Church synods was underway and the next 12 months saw considerable discussions and many meetings to decide the future for the two St John's in Jeparit. Eventually, the decision was made in early December 1966 to form one congregation retaining the name St John's, which would meet in this church. The final service at St John's UELCA was held on 30 December 1966 and the church was thereafter closed and in 1972 it was sold and removed.

St John's celebrated its centenary in 1990 and in 2022 forms part of the Nhill Lutheran Parish, which also includes St Paul's at Nhill and, until recently, St Paul's Woorak.

References

Priestly, Susan, *Warracknabeal: A Wimmera centenary*, 1967

Public Records Office of Victoria (PROV) St John's Lutheran Church building file

Obst, Alan, *Our three St Johns'. One hundred years of Lutheranism in Jeparit 1890-1990*, 1990

Gloury, H.J. (ed.), *Our Jeparit. The history of a small country town. Souvenir of the Back to Jeparit October 10th to 19th 1980*, 1980

Description

Physical Description

St Paul's Lutheran Church is an interwar Gothic Revival building. It is constructed of reinforced concrete, with rendered walls that have been ruled to resemble Ashlar block and has gabled roofs clad in corrugated iron and is comprised of a nave with chancel to the rear, a large projecting vestry to one side, and a small porch at the front. The building has simplified Gothic details including parapeted gables (with simple curved corbels), and pointed arch windows (with diamond pattern leadlight glass, and inward opening hoppers at the base) and doors, and the frame of the building is expressed in smooth render, which divides the side walls into regular bays. To the right of the porch is the granite foundation stone, which has gilded lettering, and above is a plaque commemorating the 75th anniversary of the building. The foundation stone of the original 1905 church sits on a low plinth in front of the balustrade to the porch stairs.

Internally, there is a panelled timber ceiling with diagonal boards, and exposed timber trusses with hammer beam-style brackets. The chancel, which has an apsidal form with a coved ceiling, is behind a pointed arch opening framed by engaged fluted classical style columns. It is lit by windows in the side walls. There is low timber balustrade front of the altar, which is finely detailed with three pointed panels with crocket-style embellishments and a cross on the taller central panel. Other original items include the pulpit, font, hymn screen and pews. The wall above and beside the chancel is decorated with a painted scroll with the inscription 'Jesus was delivered for our offences and was raised again for our justification' with images of Christ within pointed

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arch frames. At the opposite end above the entry doors is a larger painting of Christ above a pastoral scene (said to be inspired by the landscape of the local area). This is set within a painted pointed arch frame with ornate embellishment, flanked by window like features with diamond patterning and above another scroll: 'Watch therefore: for ye know not what house your Lord doth come.' The windows in the the side walls have label moulds.

The church hall is a simple postwar building on the north side of the church. It has a low pitch gabled roof and a flat-roofed porch supported on heavy piers on either side of paired timber doors. Above the porch is a six pane window with pointed top. The facade is constructed of grey bricks and the side walls are timber with large windows comprising triple casements with square toplights along the south side and simple two-pane windows along the north. The building has been extended at the rear. Beside the church on the south side is a metal-framed bell tower, and a mature Canary Island palm (*Phoenix canariensis*).

The former Manse is on the adjoining property to the north. It is a brick bungalow and although constructed during the interwar period has Federation and Edwardian massing, materials and detailing. Asymmetrical in plan, it is constructed of red brick with rendered dressings and has a Dutch gable main roof with a projecting gable. The gablet to the main roof has a rectangular louvred vent set within roughcast, while the main gable is half timbered, and there are paired brackets with diamond medallions alternating with 'cricket bat' moulds below the eaves. The separate return verandah has a skillion profile and is supported on turned timber posts with simple blade brackets. There are Victorian-style tripartite timber windows with arched rendered lintels to the front elevation and a Federation style entry door with an arched leadlight window, and leadlight sidelights and highlights, recessed behind an arched opening (this distinctive detail appears to be a trademark of a local building as several early twentieth century houses in Jeparit have similar entries). Other windows are timber sash. The brick chimneys have simple corbelling.

All the buildings are in good condition and have high integrity.

Comparative Analysis

By the end of the nineteenth century the Gothic style had been adopted by most of the Protestant churches, and during the interwar period the Gothic style was continued in church design, but was increasingly simplified or abstracted. A number of transitional styles also emerged, which succeeded in making the break from Gothic, but not with historicism entirely. They included Byzantine/Exotic, Mediterranean/Spanish revival, Arts & Crafts eclectic and Neo-Grec (twentieth century revival of Greek classicism) (Lewis 1991:34-5).

Early churches in Hindmarsh Shire were often simple timber (Carpenter Gothic) buildings built by the congregations. They usually comprised only a nave, with anterooms containing the vestry, chancel or choir added in later stages. The decoration of these early churches was limited to occasional flourishes such as Gothic Revival diamond pattern leadlight quarry windows, religious motifs such as a cross (often mounted at the apex of the roof gable) and decorative bargeboards.

As townships grew and congregations increased in size more substantial churches were built by the early twentieth century, and the interwar period. The old churches were sometimes retained to become the church hall or Sunday school. Like schools and halls, churches were sometimes moved according to as areas declined or prospered.

St John's Lutheran Church, of 1925, is one of about eight interwar churches in Hindmarsh Shire. Of these, it is one of five constructed in reinforced concrete. The others are Antwerp Methodist (c.1924), Tullyvea Methodist (1924), Pepper Plains Baptist (1924), and Lorquon Methodist (1926). In addition, the Jeparit Uniting (former Methodist) Church (1925-26) has a reinforced concrete frame, while the Federation era St Paul's Anglican Church, Rainbow (1911) and the Rainbow Presbyterian Church (1909) are early examples of concrete block construction. The reason for this unusually high number of concrete or concrete block churches is unknown, but is perhaps related to the establishment of a cement works at Rainbow, which saw the building of many concrete or concrete block buildings in the town and surrounding district.

St John's is representative of the interwar churches, which have simplified Gothic Revival detailing. The austere

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external appearance, relieved only by the diamond pattern leadlight windows and simplified corbels and other details is typical of the interwar churches in Hindmarsh Shire. The expressed frame is a detail that is also used at the Jeparit Uniting Church, which was built by the same contractor and likely designed by the same architect. St John's is notable for its interior decoration, which includes the finely painted murals by Edgar Finlay, the apsidal chancel, and the panelled timber ceiling with exposed trusses resting on hammer beams, and the suite of original furniture and fittings including the altar, pulpit, font, hymn screen and pews.

It is also representative as a Parish church, which is demonstrated by the presence of the hall and the former Manse. The Manse is one of only two surviving early (pre-World War II) church residences in Hindmarsh Shire. The other is at St Peter's Anglican Church, Dimboola.

Statement of Significance

What is significant?

St John's Lutheran Church, constructed by Lovell, Dudden & Jones in 1925, at 35-41 Sands Avenue, Jeparit is significant. The interior of the church, the metal-framed bell tower, the church hall and the former Manse at 31 Sands Avenue also contribute to the significance of the place.

Alterations and additions to the church and other buildings are not significant.

How is it significant?

St John's Lutheran Church at Jeparit is of local historic, representative, aesthetic and social significance to Hindmarsh Shire.

Why is it significant?

St John's is significant as a Lutheran Church complex, which is associated with the German settlers who came to this area in the 1880s and demonstrates their desire to replicate their German culture, language and religion in Victoria. St Paul's congregation was formed in 1890 and built its first church in 1905, which was one of two Lutheran churches in Jeparit associated with the two church synods. The building of the present church in 1925 was associated with a significant period of growth in both the congregation and the Jeparit district and this is demonstrated by the size of the church and the large vestry. In 1966 the two Lutheran congregations combined following the union of the two synods and have worshipped at St Paul's since then. The church hall, and the former Manse on the adjoining site contribute to an understanding of St Paul's as a Parish centre.

(Criterion A)

St John's Church is significant as a representative example of an interwar church with simplified Gothic detailing including the parapeted gables with corbels, pointed arch windows and doors, and the leadlight diamond pane glass to the windows. It is complemented by the bell tower, postwar hall and the interwar former Manse, forming a cohesive and related group of church buildings.

(Criterion D)

St John's Church is of aesthetic significance as a substantial interwar Gothic Revival church, which is a prominent landmark in Sands Avenue and terminates the vista down John Street. The setting is complemented by the bell tower, postwar hall and the interwar former Manse, forming a cohesive and related group of church buildings. The austere exterior appearance stands in strong contrast to the rich internal decoration and detailing including the panelled timber ceiling, exposed timber trusses resting on hammer beams, the apsidal chancel, and the fine scenic painting by Edgar Finlay. The original furniture also contributes to the aesthetic qualities of the interior, especially the finely detailed altar screen and hymn board.

(Criterion E)

St Paul's is socially significant as a place that has served the Lutheran congregation in Jeparit and district for over 100 years. As well as the spiritual needs of the congregation, the church and hall have also been a meeting place for people and groups, which provide an important support network for the German Lutheran community.

(Criterion G)

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Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	Yes, painted scenic decoration
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 35-41 Sands Avenue, Jeparit
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Name: KENMARE PRIMARY SCHOOL NO.3221 (FORMER)
Address: BIRCHIP-RAINBOW ROAD, KENMARE
Place Type: School - State (public), Shelter Shed
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO23



Kenmare Primary School No.3221

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:

Federation/Edwardian Period (1902-
c.1918), Federation/Edwardian Period
(1902-c.1918) Arts and Crafts, Postwar
Period (1945-1965)

History and Historical Context

Kenmare

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wegaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 Edward Eyre reached Lake Hindmarsh during his exploration of a route from Melbourne to Adelaide, and the first land grant in the area was Albacutya station, established by John Coppock in 1846. It stretched from Lake Hindmarsh to the northern end of Lake Albacutya. Closer settlement of the area began when Albacutya and other large station properties such as Coorong, and Scott's Run were subdivided from the late 1880s onwards.

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Land in the Kenmare district was opened for selection in the late 1880s and local agitation for a railway line resulted in a route being surveyed from Jung to a proposed terminus at Kenmare. While the line did not proceed the township of Kenmare was laid out in the early 1890s, and a portion of this was later used for the Kenmare sports ground. A town did not develop, but a wine saloon, store and hotel were established by a Mrs. Jamieson, along with a blacksmithing and repair shop. Community formation was marked by the opening of a Mechanics' Institute Hall, which also served as the first school. The district continued to grow after World War I, boosted by closer settlement and the continuing growth in wheat farming.

Like many other districts in the Wimmera, the population of Kenmare declined in the postwar period as farm sizes increased. The hall was demolished and the school closed in 1982.

Kenmare State School No.3221

Schools, like halls and churches, are a tangible symbol of community formation associated with the closer settlement in Hindmarsh Shire from the 1870s onwards and illustrate the rise and decline of districts over time.

Prior to 1872 private or denominational schools operated by churches were the primary education providers in Victoria. Then, in 1872, the *Free, Compulsory and Secular Education Act*, which was guided through the Victorian parliament by George Higginbotham, heralded a new era of State education in Victoria and is also credited with encouraging settlers from South Australia.

Education was an important part of maintaining a distinct culture and religion, hence the interest of religious institutions in opening and maintaining their own schools. While the establishment of the State education system led to the closure of many private or church schools after 1872 the schools operated by the Catholic and Lutheran churches continued to offer an alternative to the secular State schools. Some private schools also continued, and new ones opened although most were short lived.

In the southern parts of Hindmarsh Shire closer settlement began prior to or around the same time as, the passing of the 1872 Act, meaning that many of the first schools were began as private, often church-based, ventures that were soon taken over by the state system. The openings of schools were directly associated with the opening up of land for selection and in Hindmarsh Shire there were two key periods of school building during the 1880s and the 1920s. For example, in the former Lowan Shire more than 40 schools were opened in the period from 1880 to 1891.

However, many rural schools were short lived, closing only a few years after opening and it was not unusual for schools to be relocated according to need. The process of school closures accelerated after World War II as the population of rural areas declined and State government policies encouraged the development of 'Consolidated' or 'Group' schools in larger towns such as Dimboola, Jeparit, Nhill and Rainbow, which were served by buses conveying children from outlying areas.

Following an application by local resident, W. Barnes of the Kenmare Progress Club Kenmare State School No.3221 opened on 8 September 1894 in the Mechanics' Institute Hall. At first, Kenmare SS 3221 operated on a part-time basis with Kenmare West SS 3204, but as enrolments grew it became a full-time school in 1900. In February 1902 the hall was destroyed by fire. A drawing or tender for a new school was prepared by September 1902 but a contract was not awarded until April 1903. Designed by district architect, S.E. Bindley assisted by W.F. Cazaly, the new school was constructed of stone with dimensions of 24 feet x 16 feet sufficient for the projected annual enrolment of 16 students. In 1948 a new school residence was provided.

This school served the district for almost 80 years until its closure in 1982. After it was closed, the local community formed a committee of management to maintain the building and ensure it remains in use as a community asset. The purpose of the Kenmare Committee is to 'restore, preserve, and collect the history of Kenmare, the school and District for future generations to reflect and protect'. Regular working bees and reunion days are held.

References

Blake, Les (ed.). *Vision and realisation. A centenary history of State education in Victoria*, Volume 2, 1973
Burchell, L.E., *Survey of one-room State schools 1900-1940*, Historic Buildings Branch, Ministry of Housing and

HERITAGE CITATION REPORT

Construction, 1989

Wood, Ian A. (ed.), *Return to Rainbow. A recent history of Rainbow - Souvenir of the Back-to-Rainbow celebrations, 1978*

Description

Physical Description

The former Kenmare SS 3221 is a Federation era one-room school building with a gabled roof and a gabled porch and cloakroom at one end. The walls are constructed of random rubble stonework using locally quarried material, while the chimney shaft above the roof is of handmade bricks. There is timber strap work in each gable end and ventilation tubes along the roof ridge. Alongside the school is a timber shelter shed with a skillion roof and a square opening. Internally, there is a slatted seat running around the internal wall. The grounds contain a variety of native trees and metal framed play equipment.

Internally, the building retains the original coved ceiling lined with T&G boards, and blackboards above built-in cupboards on either side of the fireplace. Associated objects include original school desks and furniture, and items associated with the history of the Kenmare district. This includes two timber honour boards.

Comparative Analysis

All one room schools constructed by the Education Department in the nineteenth century were built in a limited number of set sizes as determined by the amount and type of seating accommodation required (Burchell, 1989:i). A variety of standard designs were used from 1873 until the 1890s, when the economic depression saw the cessation of building activity for almost a decade. From about 1899 to 1905 new one room schools were individually designed with elevations 'more in tune' with then current architectural styles (Burchell, 1989:i).

As pressure for building new schools increased after 1905 some designs were re-used several times and Burchell (1989:viii) has identified 44 designs used more than once, which are named for the first school where it was used. The design for 3488 Swan Marsh (1910) was the first to be repeated for a large number of schools - Between 1910 and 1914 it was applied to 74 schools throughout Victoria. This elevation (and the others that followed) was used in association with one of five different standard room sizes, which from 1911 onwards were labelled from smallest to largest as Types A to F, a nomenclature that persisted through a whole variety of elevations up to the 1940s (Burchell, 1989:i). According to Burchell (1989:i) what distinguished these schools from their predecessors were the 'larger windows in the end walls and the provision of separate cloakrooms, which externally resembled very large porches'.

In Hindmarsh Shire there are two surviving schools built in the short period of transition in one-room school design from 1899 to 1905:

- Kenmare SS 3221, built in 1903.
- Rainbow SS 3313, which was built as a one-room school in 1905 and extended in 1906.

These two schools have similar features and detailing including walls constructed of locally sourced random rubble stone, banks of tall, multi-paned windows in the end elevations, with high-set square multi-pane windows in the side walls, bracketed eaves and timber truss work to the main gables, and corbelled brick chimneys. While the overall form and layout is similar to the nineteenth century schools, they are distinguished by the large cloakrooms, the larger windows in the end walls supplemented by high set windows in side walls (to provide improved daylight), and the timber detailing to the gable ends shows the influence of the Queen Anne style, also seen in some of the other early 1900s schools. Historically, the use of local stone - limestone or sandstone - with dressed or random rubble coursing is a distinctive characteristic of many buildings in the Wimmera and Mallee and demonstrates the introduction of traditional building techniques by settlers coming from South Australia, especially those of German descent.

HERITAGE CITATION REPORT

Sources

Burchell, L.E., *Survey of one-room State schools 1900-1940*, Historic Buildings Branch, Ministry of Housing and Construction, 1989

Statement of Significance

What is significant?

The former Kenmare Primary School No.3221, designed by S.E. Bindley and built in 1903, at Birchip-Rainbow Road, Kenmare is significant. The timber shelter shed also contributes to the significance of the place. The two honour boards, and original school furniture are associated objects that contribute to the significance of the place.

How is it significant?

The former Kenmare Primary School No.3221 is of local historic, representative, aesthetic and social significance to Hindmarsh Shire.

Why is it significant?

The former Kenmare Primary School No.3221 is historically significant as an early twentieth century school, which is associated with the closer settlement of the Kenmare district. The building of a permanent school was a symbol of community formation and for almost 80 years this building played an important role in community life in Kenmare. It is the second oldest school in Hindmarsh Shire and is associated with the major phase of rural school building that commenced in the early twentieth century. The shelter shed demonstrates the improvements made to school grounds by parent groups. Historically, the use of local stone - limestone or sandstone - with dressed or random rubble coursing is a distinctive characteristic of many buildings in the Wimmera and Mallee and demonstrates the introduction of traditional building techniques by settlers coming from South Australia, especially those of German descent.

(Criterion A)

The former Kenmare Primary School No.3221 is significant as a rare surviving example of a rural one-room school. While dozens of these schools were opened during the post-contact settlement of Hindmarsh Shire in the late nineteenth and early twentieth centuries all have since been closed and Kenmare is the only one that remains on the original site.

(Criterion B)

The former Kenmare Primary School No.3221 is significant as an intact example of a rural one-room school, which was an individual design by district architect, S.E. Bindley and is representative of the new school designs that were developed by the Education Department in the early twentieth century. This is demonstrated by the characteristic form and detailing including the main gable roof with a projecting porch and cloakroom at one end and distinctive materials and details such as the random rubble stone walls, six over six pane timber sash windows with rendered segmental arch lintels, and the timber truss work to the gable ends. The school is complemented by a mid-twentieth century shelter shed.

(Criterion D)

The former Kenmare Primary School No.3221 is of aesthetic significance as a small, but picturesque building in a rural setting. It is notable for the random rubble walls of local stone and the simple timber truss details to the gables, which demonstrates the influence of the Arts & Crafts style upon school design in the early twentieth century.

(Criterion E)

The former Kenmare Primary School No.3221 of social significance for its continuing use by the Kenmare community for almost 120 years. While the use as a school ceased in 1982 the building remains under community management and is used for the display of objects and items of local significance such as two honour boards, and regular community gatherings. It is a place that is much loved and valued by the Kenmare community.

HERITAGE CITATION REPORT

(Criterion G)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Kenmare Primary School No.3221
Aboriginal Heritage Place	-

This information is provided for guidance only and does not supersede official documents, particularly the planning scheme. Planning controls should be verified by checking the relevant municipal planning scheme.

HERITAGE CITATION REPORT

Name: LOWAN SHIRE HALL (FORMER)
Address: 104-106 MACPHERSON STREET, NHILL
Place Type: Council Chambers
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO28



Lowan Shire Hall (Former)

Recommended Heritage Protection	VHR -
	HI -
PS	Architectural Style: Victorian Period
Yes	(1851-1901)

History and Historical Context

Nhill

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The town of Nhill developed around a large swamp or lagoon, and it is said the name was derived from a local indigenous word *niall*. Nhill was the name applied to the pastoral run taken up in 1848 and during the 1850s the gold escort route from the Victorian diggings to Adelaide passed within 6 km, and the homestead became a postal receiving and dispatch place. The presence of the swamp, which provided a source of water for travellers and the location near the confluence of several early settlers tracks, and approximately equidistant between Dimboola and Kaniva (or Melbourne and Adelaide) are said to have been reasons why Nhill developed into an important town.

HERITAGE CITATION REPORT

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, and from about 1875 onwards settlers from the lower Wimmera and South Australia took up farm selections in the district. The township of Nhill grew up around the stone mill established by John Oliver. The presence of the mill encouraged Clem Hardingham to establish the first hotel, the Union, which was followed by the first general store opened by Mark Kozminsky. Both were established to serve the farmers who would bring their wheat to the mill for grinding and these two buildings became the nucleus of the shopping centre that would develop along Victoria Street and eventually extend into Nelson Street. The township site was surveyed in 1879. Fourteen house sites were surveyed initially and another 30 by mid-1880 when the boundaries were Church, Nelson, Victoria and Leahy streets and contained three stores. By this time the population was recorded as 80-100 people.

Community formation was marked by the first school, which opened in 1881 in a Bible Christian church, before a permanent school was opened in 1884. The first church congregations were formed and other early institutions included the Mechanics' Institute (1882), hospital (1882), a racing club (1883), and an agricultural and pastoral society (1884). The *Nhill Free Press* began publication in 1882 and continues as the district's newspaper.

Significant development followed the extension in 1887 of the railway from Dimboola to Serviceton, which included a station at Nhill. Between 1887 and 1890 Nhill acquired three new banks, two new churches, a post office, a court house, a new flour mill, as well as several shops and houses and by 1891 Nhill's population had reached 1100 people, a ten-fold increase on a decade before. The state-wide economic depression of the early 1890s brought a temporary halt to development before Nhill (like other Wimmera towns) experienced another development boom in the first decade of the twentieth century. By 1911 the population had grown to 1500.

Lowan Shire Hall

From 1864 most of what is now Hindmarsh Shire formed part of the Wimmera Shire, which was proclaimed on 4 March 1864. The growth of Dimboola and Nhill and surrounding farming districts eventually led to the proclamation on 31 December 1875 of Lowan Shire, which was excised from Wimmera Shire in March 1876. The first meeting of Lowan Shire Council was held in the old Dimboola Court Room (attached to one of the hotels) on 22 March 1876, and in August 1876 the Shire invited tenders for building the Shire Hall and Offices, which were completed by March 1877. The first Council meeting in the new offices was held on 5 April 1877, and the building was also used by church congregations and other groups such as the Literary and Debating Society and the various Lodges, itinerant theatrical groups, and for public meetings and balls.

The new Council set about improving roads and infrastructure such as water supplies to the main towns and also lobbied for telegraphic communications and improved postal services. However, as Longmire (1985:49) notes although there was 'unanimity amongst Councillors' for these improvements:

... Council business, nonetheless, reflected conflict between the squatters and selectors, and rivalry between Nhill and Dimboola.

For the first five years of Council it has been said that 'the interests of Dimboola township were supreme' (Longmire 1985:52). However, the growth of Nhill led to question claims that Dimboola was the most important in the Lowan Shire and the matter came to a head in 1882 when on the deciding vote of Cr George Edwards of Dimboola the decision was made to move the Shire Offices to Nhill. Dimboola residents showed their disapproval of this action by burning an effigy of Edwards with a placard 'George Edwards the Traitor' in front of the Shire Hall in October 1882.

Angry at their loss, residents of Dimboola began to consider the possibility of forming a new shire where 'their rightful position would be acknowledged' (Longmire 1985:55). This led to the formation of severance movements with concern about the debt held by Lowan Shire, which was considered to be 'altogether too large, and in consequence of its unwieldy size, it was unworkable and some of the residents ... were 46 miles from Nhill where the Shire Offices were' (Longmire 1985:60). Finally, on 2 April, 1885 the notice of formation of the Shire of Dimboola was given and the new boundaries proclaimed.

Following the severance of the Shire of Dimboola, Lowan Shire Council continued to meet in the Nhill Mechanics' Institute until new Shire Offices and Hall was built in 1888 on land in Macpherson Street that had

HERITAGE CITATION REPORT

been set aside as a Crown reserve for shire purposes. The completion of building was celebrated with a public dinner held in the dining room of the Commercial Hotel, which was chaired by Shire President (Mr. W. Richards) in the presence of other councillors and State politicians (*The Horsham Times*, 8 May 1888, p.4).

The plans for the building were prepared by the Shire Engineer, Mr. D'Alton, and the building was constructed N. Irving at a cost of 1,030 pounds. Initially, some councillors

thought this too high and had plans prepared for a smaller building 'on the same style as the Dimboola Council chamber', which was a wing smaller than the building designed by Mr D'Alton. However, after some debate it was decided that to reduce the size of the building for a saving of 190 pounds would be a 'false economy' and it was decided to proceed with the original design (*The Horsham Times*, 8 November 1887, p.4).

The building remained the headquarters of Lowan Shire until 1962 when new Shire Offices were built at the corner of Nelson Street and Davis Avenue, which were occupied by July of that year. The previous year the Nhill Historical Society had been formed and began holding their meetings in the hall. Following the opening of the new Shire offices the Society took up a shared occupancy with the Nhill Guides and Brownies, Nhill Drama Group and the Nhill Police. Then, in 1976 the Historical Society was granted full occupancy, providing they fully restored the building. By that time, the condition of the building had deteriorated: part of the front verandah had been removed during the 1930s to reduce maintenance costs, much of the plaster had been affected by damp, and no painting had been done for many years.

With the assistance of a magnificent donation made to the Historical Society in 1972 by Mrs Violet Anderson, plus a contribution by Lowan Shire, and a grant from the Ministry for the Arts, approximately \$16,000 was spent on conservation works. This included the restoration and reconstruction of missing sections of the verandah, installation of drainage and damp proofing and repairs to plaster. Upon completion in 1980 the building was renamed the 'Nhill Historical Centre'. Further conservation and repair works to external brickwork and internal hard plaster were carried out in 2003-04 with a grant from the Victorian Heritage Program.

The Historical Society continues to occupy the building, which contains their extensive historical archives and collection of furniture, objects, photos, and ephemera associated with Nhill and district. This includes some of the original furniture associated with the use as the Shire Offices and Hall, and many early Council records (see Description).

References

Blake, Les, *The land of the Lowan. 100 years in Nhill and West Wimmera*, 1976

Bound, Frank, *Nhill's fabulous century. A pictorial record of Nhill's first one hundred years*, 1980

Longmire, Anne, *Nine Creeks to Albacutya. A history of the Shire of Dimboola*, 1985

Description

Physical Description

The former Lowan Shire Hall is a single storey brick building, which has been built in stages. The original 1880 section, which had a symmetrical front elevation, is comprised of the longitudinal hip roof with gable-fronted wings at either end a minor gable centrally placed above the main entry. The minor gable facing west is part of the c.1900 additions and has disrupted the original symmetry. The front facing gables have louvred timber vents with arched heads, and decorative barge boards with tall finials and a cross-brace. Below the central gable is 'Lowan Shire Hall 1888' in raised rendered letters. A wide skillion verandah wraps the building on all sides (with the exception of the northwest corner). The front and east and side sides have a cast iron frieze within a timber frame, cast iron brackets and stop-chamfered timber posts with collars, and the rear section has no cast iron detailing and simple timber posts. The windows are two over two pane timber sash with stone cills. The main entry comprises a pair of narrow timber three-panel doors, and there are secondary paneled entry doors with windows to the sides of the projecting gable wings.

Affixed to the front wall beside the entry door are three plaques. The earliest, which dates from 1919, is

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recognition by the Commonwealth of Australia to the 'oversubscription to the allotted quota' by Lowan Shire to the Peace Loan. Included on the list of names is then Prime Minister, W.M. Hughes. The others commemorate Percy Cresswell, Shire Secretary and Engineer 1919-47, and Shire Engineer, 1947-58, and the contribution of Mrs Violet Anderson to the restoration of the building in 1980, when it was re-opened as the Nhill Historical Centre.

Internally, the building comprises a central hall that was the council chambers, with small rooms on either side. The central hall has a vaulted ceiling in dark stained timber with carved timber trusses. The front room to the right of the hall and the rooms to the left have pressed metal ceilings (there is a ceiling rose to the west corner room), while the rear room to the right has a timber ceiling. At the rear of the room to the left is the strongroom/safe, which has a thick metal door with the maker's logo: Naylor & Stockton of Melbourne. In the north west corner is a storage room, which was added in the 1990s.

The building contains the collection of the Nhill Historical Society, which comprises a range of furniture, objects (including four foundation stones of now demolished Nhill buildings – three from the hospital and one from the Lowan Roller Flour Mill - which are stored on the front verandah), clothing, photographs and memorabilia, much of which has been donated by local people. Included amongst this are several items associated with the former Lowan Shire that have an historic connection with this building. These include:

- The original late nineteenth century Council table and Mayor's Chair, and two of a set of 10 chairs used by Councillors or staff that appear to date from the early twentieth century (note: the other 8 chairs appear to be in the possession of the Jeparit Pioneer Museum), and a bentwood chair on a swivel base used by Council staff.
- Another long narrow table with heavy turned legs.
- A desk from the 1962 Council offices, which includes a bronze plaque of the Lowan Shire logo and motto.
- A board listing past Shire secretaries, engineers, chief executive officer and recipients of citizenship awards and a board listing past Shire presidents.
- Council rate books, ledgers, minute books and the like.
- Framed photographs of former Councillors, and Council staff.

Comparative Analysis

The former Dimboola Shire Hall of 1877, and the former Lowan Shire Hall of 1888, are characteristic of the small buildings erected by small rural councils in the late nineteenth century. The limited resources available to these Councils meant that such buildings were unpretentious and fit for purpose with the minimum amount of accommodation required to perform the necessary municipal functions, as the Councils were keen to avoid any impression of extravagance or wasteful spending. Nonetheless, they were solid buildings, usually of masonry construction (when timber construction was more common) and with enough decoration to be considered an 'ornament' to the town, which was the usual compliment. Built about a decade apart these buildings are similar in terms of their hip and gable roofs and verandahs to the principal elevations, and the internal layout comprising a large central hall for the Council chamber with attached offices. Lowan Shire Hall is larger and the detailing is more elaborate, with shaped bargeboards and truss work including large finials to the gable ends, and the ornate cast iron frieze and brackets to the verandah.

Statement of Significance

What is significant?

The former Lowan Shire Hall, designed in 1888 by Lowan Shire Engineer Mr D'Alton and extended c.1900, at 104-106 Macpherson Street, Nhill is significant. The interior to the extent of the strong room and the ceiling within the hall also contributes to the significance of the place.

Objects that contribute to the significance of the place include furniture, records and ephemera associated with the Lowan Shire Council including the original Council table and chairs including the Mayor's chair, and the

HERITAGE CITATION REPORT

'Peace Loan' plaque beside the front entrance.

Alterations and additions (other than specified above) are not significant.

How is it significant?

The former Lowan Shire Hall is of local historic, representative, and social significance to Hindmarsh Shire.

Why is it significant?

The former Lowan Shire Hall is historically significant for its associations with establishment and development of local government in the Wimmera as the second oldest municipal building in Hindmarsh Shire. The Lowan Shire headquarters were originally based at Dimboola where the first Shire hall was constructed in 1877. In 1882 the Lowan Shire headquarters was moved to Nhill and this building was constructed in 1888 following severance of Dimboola Shire from Lowan Shire in 1885. It remained the Lowan Shire headquarters until 1962. Since then it has been occupied by the Nhill Historical Society and is now known as the Nhill Historical Centre.

(Criterion A)

The former Lowan Shire Hall is of representative significance as a fine and intact example of nineteenth century rural shire hall. Internally, it retains a characteristic layout with a central hall and meeting space, flanked by smaller rooms used as offices by council employees, and the original strong room for storing important council records and documents. The significance is enhanced by objects integral including the council table and chairs, and the 'Peace Loan' plaque beside the front entrance. Notable architectural details include the vaulted timber ceiling with timber trusses to the central hall, and the timber truss work and finials to the gable ends.

(Criterion D)

The former Lowan Shire Hall is of social significance as a building that has served the communities of Nhill and the Wimmera region for over 130 years as municipal offices, a town hall and meeting place, and now as the home of the local historical society and its archives. It is a building that local people associate strongly with history and identity of Nhill and is highly valued as an important heritage building within the town.

(Criterion G)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	Yes
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 104-106 Macpherson Street, Nhill
Aboriginal Heritage Place	-

Reduce HO28 to include 104-106 Macpherson Street only.

HERITAGE CITATION REPORT

name: NHILL COURT HOUSE
Address: 110 MACPHERSON STREET, NHILL
Place Type: Court House
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO29



Nhill Court House

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:

Victorian Period (1851-1901) Free Classical

History and Historical Context

Nhill

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The town of Nhill developed around a large swamp or lagoon, and it is said the name was derived from a local indigenous word *niall*. Nhill was the name applied to the pastoral run taken up in 1848 and during the 1850s the gold escort route from the Victorian diggings to Adelaide passed within 6 km, and the homestead became a postal receiving and dispatch place. The presence of the swamp, which provided a source of water for travellers and the location near the confluence of several early settlers tracks, and approximately equidistant between Dimboola and Kaniva (or Melbourne and Adelaide) are said to have been reasons why Nhill developed into an important town.

HERITAGE CITATION REPORT

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, and from about 1875 onwards settlers from the lower Wimmera and South Australia took up farm selections in the district. The township of Nhill grew up around the stone mill established by John Oliver. The presence of the mill encouraged Clem Hardingham to establish the first hotel, the Union, which was followed by the first general store opened by Mark Kozminsky. Both were established to serve the farmers who would bring their wheat to the mill for grinding and these two buildings became the nucleus of the shopping centre that would develop along Victoria Street and eventually extend into Nelson Street. The township site was surveyed in 1879. Fourteen house sites were surveyed initially and another 30 by mid-1880 when the boundaries were Church, Nelson, Victoria and Leahy streets and contained three stores. By this time the population was recorded as 80-100 people.

Community formation was marked by the first school, which opened in 1881 in a Bible Christian church, before a permanent school was opened in 1884. The first church congregations were formed and other early institutions included the Mechanics' Institute (1882), hospital (1882), a racing club (1883), and an agricultural and pastoral society (1884). The *Nhill Free Press* began publication in 1882 and continues as the district's newspaper.

Nhill was originally part of Wimmera Shire, but with the influx of settlers in the early 1870s the Lowan Shire was proclaimed in 1875. Lowan Shire was based first in Dimboola, where the Shire Hall and Offices were opened in 1877. However, in 1882 the growing importance of Nhill was demonstrated by the moving of the Shire headquarters to the Nhill Mechanics' Institute, which had opened in the previous year. Two years later, Dimboola Shire was excised from Lowan Shire and in 1888 new headquarters for the redrawn Lowan Shire were built at Nhill.

Significant development followed the extension in 1887 of the railway from Dimboola to Serviceton, which included a station at Nhill. Between 1887 and 1890 Nhill acquired three new banks, two new churches, a post office, a court house, a new flour mill, as well as several shops and houses and by 1891 Nhill's population had reached 1100 people, a ten-fold increase on a decade before. The state-wide economic depression of the early 1890s brought a temporary halt to development before Nhill (like other Wimmera towns) experienced another development boom in the first decade of the twentieth century. By 1911 the population had grown to 1500.

Nhill Court House

As townships grew and settlements progressed maintaining law and order became an important issue. Of particular concern for law enforcement in the Wimmera was dealing with the seasonal influx of labourers and itinerant workers in the harvest period, with assistant police officers regularly appointed during these seasons. Like other public facilities, courts were often established in other buildings such as Mechanics' Institutes or public halls, municipal offices, or even hotels before a permanent building was provided. In Hindmarsh Shire the first court house was built at Dimboola in 1875-76.

In 1881 a deputation from Nhill urged the Minister of Justice, Mr. Harriman, to hold courts of petty sessions in the town. Mr Harriman stated that as soon as the new lockup was completed the necessary steps would be taken (*The Age*, 18 August 1881, p.3). However, when no action was forthcoming the Nhill Progress Association wrote to Lowan Shire Council in January 1882 drawing attention to the necessity of establishing a Court at Nhill and requesting the matter 'be urged on as speedily as possible'. The Council agreed to make application to the Government and by February had received assurances from the Secretary of the Law Department that as soon as the necessary Court accommodation was available a Court of Petty Sessions would be established at Nhill (*The Horsham Times*, 19 January 1882, p.2; 17 February 1882, p.3). Following further deputations by the Progress Association the Solicitor General, Dr Dobson, advised the court would be established when the Nhill Mechanics' Institute was erected (*The Argus*, 23 March 1882, p.4) and the Court of Petty Sessions at Nhill was finally in operation by later that year. In October, 1882 a notice advised that hearings were to be held on the third Thursday of every month at 3 o'clock in the afternoon (*The Horsham Times*, 3 October 1882, p.2).

Court hearings continued in the Mechanics' Institute until the Nhill Court House was opened in June 1889 on a site in Macpherson Street beside the Lowan Shire Offices, which had opened in the previous year. Designed by Public Works Department architect Samuel E. Bindley, it was described as a 'really good building' and 'another ornament to our town' (*South Australian Chronicle*, 1 June 1889, p.12).

HERITAGE CITATION REPORT

The building remains in use as a Magistrate's Court.

References

Blake, Les, *The land of the Lowan. 100 years in Nhill and West Wimmera*, 1976

Bound, Frank, *Nhill's fabulous century. A pictorial record of Nhill's first one hundred years*, 1980

Trethowan, Bruce, 'The Public Works Department of Victoria 1851-1900. An architectural history in two volumes. Research Report', 1975, Department of Architecture & Building. University of Melbourne

Description

Physical Description

Nhill Court House, of 1889, is a fine late Victorian Free Classical building, which is symmetrical in plan and comprised of gabled central section containing the court chamber with hipped roof wings on either side and a verandah across the frontage. The building is constructed of polychrome brick with cream, black and reddish brown brick bands and reddish brown lintels set against walls of brown face bricks, and as corbelling and banding to the chimneys. The main gabled roof is slate and there is corrugated iron to roofs of the wings and verandah.

The facade of the court section is expressed as an open pediment form created on the front gable by a broad band of projecting cream bricks. The underside of the raking cornice part is corbelled using brick specials (moulded brick) and there are projecting bands of cream brick extending between and across the pilasters on either side, creating the impression of capitals. Within the gable is a horizontal multi-pane window with a segmental brick lintel and below the cream brick bands is a rendered sign with 'Court House' in black letters on a white background. The skillion verandah has dentilled fascias and is supported by circular columns with Corinthian order capitals, angled brackets and octagonal bases. The gabled end pavilions have moulded and dentilled fascias and carved scrollwork detail to the gable fronts. Each of the side wings has a four panel timber entry door with toplight and a single timber sash window in the front elevation. Beside the door to the left is a sign 'Clerk of Courts' and there are two notice boards to the wall of the central section.

Other details include high-set multi-pane hopper windows to the side walls of the central court section, four vertical windows with a fixed pane and hoppers in the rear gable, and double hung timber windows with stone sills in the side and rear walls of the flanking wings. A rear door to the east wing has a bracketed hood.

The building is in good condition and has high integrity. Alterations include the removal of the original moulded fascia board and acroterions from the main gable with the present plain fascia, and acroterions from the gabled end pavilions to the verandah (these survive at the Warracknabeal Court House). There have also been changes to the verandah floor, which includes the insertion of metal supports beneath the bottom of the verandah posts. Disabled ramps have been added at the front of the building.

Comparative Analysis

Samuel Edward Bindley, was born in Birmingham, England, in 1842. After migrating to Victoria in 1873, he was employed as an architect in the Education Department and, in 1884, was placed in charge of government building design for north-western Victoria. In this role Bindley designed a range of public buildings in the late nineteenth and early twentieth centuries including post offices, police stations and court houses. Some of his major works included the Bourke Street Police Station (1888), the Crown Law Offices (1890) in Lonsdale Street, and the Old Public Record Office (1899) in Queen Street. Taken as a whole his body of work has made an important contribution to public architecture in Victoria and one indication of this is the inclusion of at least 14 of his buildings on the Victorian Heritage Register.

Many of his buildings were constructed in the period from 1885 to 1900, at a time when there was wide stylistic diversity in the architectural approaches of the regional offices of the Public Works Department. This reached a climax between 1888 and 1892, when the economic depression brought a halt to building work. Trethowan, who

HERITAGE CITATION REPORT

refers to this as the 'Battle of the styles', identifies this period as a highpoint in the development of the Public Works Department (Trethowan 1975:111).

The design of most court houses in Victoria followed a standard plan, which changed little from the mid-nineteenth to the early twentieth century. They are characterised by a dominant double height (but single storey) central structure containing the court room, with ancillary rooms to either one or both sides and to the rear. In the nineteenth century there was usually a timber framed verandah at the front, which by the early twentieth century had been superseded by an enclosed 'vestibule' or waiting room. This standard plan was used for both timber and brick buildings, which varied primarily in the application of the architectural style. In the nineteenth century, most court houses were designed in a Classical style with a gable front to the court room, while early twentieth century courthouses show the influence of the Federation Queen Anne and Arts & Crafts styles and the roof form changes to a hip or gable-hipped. The use of standard plans for different types of public buildings including schools and railway stations was first introduced in the late nineteenth century as a means of minimising building costs.

Nhill Court House is a typical example of a nineteenth century brick court house in the Free Classical style. There are no comparable examples in Hindmarsh Shire, but it has the same plan and elevational treatment as the other courthouses in the northwest designed by Bindley at Wycheproof (1889), Warracknabeal (1889-90) and Natimuk (1890). These are all distinguished by the distinctive treatment of the front gable as an open pediment form created by a broad band of projecting cream bricks with the underside of the raking cornice section corbelled (a detail first seen in some court houses of the 1860s such as Eaglehawk of 1869), and the ornate front verandah with gabled pavilions at either end.

Statement of Significance

What is significant?

Nhill Court House, designed by S.E. Bindley and opened in 1889, at 110 Macpherson Street, Nhill is significant.

Alterations and additions are not significant.

How is it significant?

Nhill Court House is of local historic, representative and aesthetic significance to Hindmarsh Shire

Why is it significant?

Nhill Court House is of historical significance as a late nineteenth century rural court house. It is the second oldest court house in Hindmarsh Shire and is associated with the establishment of facilities to maintain law and order as Victoria was settled and developed in the nineteenth century. It also demonstrates the importance of Nhill as an administrative centre for the Wimmera during the late nineteenth century, and this is emphasised by the location of the court house in proximity to the former Lowan Shire Offices, built in 1888.

(Criterion A)

Nhill Court House is a representative and intact example of a late nineteenth century court house. This is demonstrated by its characteristic symmetrical form with an almost double height (but single storey) gabled central court chamber flanked by hipped roof wings containing offices and waiting rooms. The Free Classical detailing and the verandah with gabled end pavilions are also demonstrative of this type.

(Criterion D)

Nhill Court House is of aesthetic significance as fine example of a court house in the Victorian Free Classical style. It is notable for the expressive use of polychrome brickwork to create bold patterning, and the detailing to the central gable, which is expressed as an open pediment form created by a broad band of projecting cream bricks. The underside of the raking cornice part is corbelled using brick specials (moulded brick) and there are projecting bands of cream brick extending between and across the pilasters on either side, creating the impression of capitals. Also of note is the fine detailing to the verandah, which includes dentilled fascias, circular columns with Corinthian order capitals, angled brackets and octagonal bases, and gabled end pavilions with moulded and dentilled fascias and carved scrollwork detail to the gable fronts.

HERITAGE CITATION REPORT

(Criterion E)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	Yes
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 110 Macpherson Street, Nhill
Aboriginal Heritage Place	-

Amend HO29 to include 110 Macpherson Street only.

HERITAGE CITATION REPORT

Name: YETHOLM
Address: 25 NELSON STREET NHILL
Place Type: House
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO30



Yetholm

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:
Federation/Edwardian Period (1902- c.1918)

History and Historical Context

Nhill

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HERITAGE CITATION REPORT

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Yetholm

Yetholm was constructed in 1904 as the residence for John & Louisa Young and their family, replacing an earlier dwelling on the site of the same name which had been built in the 1880s. Designed by architect Michael Ryan of Ararat and built by contractors Arnold & Barnes of Horsham this substantial house contained 11 rooms with over 200 feet of balustraded verandah around three sides. A newspaper article described the interior as follows:

The main hall is exceptionally wide, and gains in appearance by the beautifully coloured designs in cathedral glass, which light both ends. Further, all the doors opening on to the hall have label heads and fine architraves, and in the centre is an ornamental arch of chaste design. (The Horsham Times, 24 May 1904, p.4 'Nhill').

John Young was the youngest son of Mr and Mrs James Young who emigrated to Australia from Scotland in 1854 and Yetholm is named after the ancestral home in Roxburgshire. After arriving in Australia the Young family first resided in the Ballarat district where John was born in 1856. The family later moved to Tatyoon in the Ararat district where they selected land, which was used for farming and grazing. It was during this time that John Young gained practical farming experience and knowledge of stock and in 1873 he selected land in the Wimmera about 18 miles from Horsham (*Nhill Free Press*, 6 July p.2 'Obituary. Mr John Young'; *Minyip Free Press and Sheep Hills Advocate*, 10 July 1917, p.2 'Obituary').

In 1875 John's elder brother, George, established an auctioneers and commission agency in Horsham and by 1882 the firm had grown to the extent that John was appointed to take over the branch at Nhill, which until then had been managed by Mr. J.B. Wilson. By the early twentieth century the firm of Young Bros. was one of the largest and most influential business organisations of its kind in Australia (ibid).

Soon after coming to Nhill Mr Young married Louisa Sinclair in 1884 and together they raised a family of three daughters (Irene, Majorie and Thais) and one son (Ivan). Mr Young took an active interest in public affairs and was associated with a long list of public institutions in Nhill, many of which he was instrumental in establishing.

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They included Nhill Hospital (Founder, and President and member of the Committee of Management), Nhill A & P. Society (President and committeeman), Nhill Free Library (President and member), Nhill and Lowan water trusts (Chairman and commissioner), Lowan Masonic Lodge, Nhill Fire Brigade, Nhill Presbyterian Church and several sporting organisations including the Nhill Golf Club, which he established in 1894 with Mr. J.W. Trumble. He was a Lowan Shire Council for several years and served as President in 1885 and 1886, and was also a Justice of the Peace (ibid). Mrs Young was involved in local charity work.

Mr Young died suddenly in 1917 at the age of 60. His funeral was the largest in Nhill to that time (and possibly since). The cortege, which moved from Yetholm to the Nhill Cemetery, was comprised of 73 people marching in procession (comprised of Nhill bandsmen in uniform, and members of the Board of Management of the Nhill Presbyterian Church, the Wimmera employees of Young Bros., members of local A & P societies and local and State politicians, amongst others), the hearse and pall-bearers, mourning-coaches, two lorries containing floral tributes and 84 private vehicles. The procession and its participants were described as 'striking manifestations of regret at the passing of such an esteemed citizen and pioneer' (*Dimboola Banner and Wimmera and Mallee Advertiser*, 13 July 1917, p.3 'Funeral of the late Mr John Young'). His obituary in the *Nhill Free Press* concluded:

The people of Nhill and district are indebted mainly to the influence and advocacy of the late Mr. Jno. Young for the inauguration of many of our important public institutions; he was associated with every progressive movement which occurred in Nhill. It is difficult to do justice to a life so full of useful public service.

Following Mr Young's death Louisa continued to live at Yetholm with two of her daughters, and by the early 1920s it had become the residence of Ivan Young and his wife, Nancy. In June 1930 the English aviatrix Amy Johnson stayed overnight at Yetholm as guests of Ivan and Nancy during her stopover in Nhill while en route from Melbourne to Adelaide (*The Age*, 28 June 1930, p.20 'Amy Johnson'). That same year Johnson had become the first woman to fly solo from England to Australia, a feat achieved in 19 days, and completed just a month before she arrived in Nhill.

References

Blake, Les, *The land of the Lowan. 100 years in Nhill and West Wimmera*, 1976

Bound, Frank, *Nhill's fabulous century. A pictorial record of Nhill's first one hundred years*, 1980

Description

Physical Description

Yetholm is a substantial and finely detailed example of a Federation/Edwardian villa. Typical of many houses built within the first decade of the twentieth century Yetholm shows the influence of the Victorian Italianate style in its form and moulded render detailing. It is believed to be constructed of stone faced with brick, now overpainted, and is symmetrical in plan with a hipped roof (clad in what appear to be the original asbestos - or slate - diamond shingles with terracotta hip and ridge capping and cresting with decorative finials) and projecting bays to each side. The separate verandah that returns on both sides, wrapping around the bays, has an iron roof with terracotta hip and ridge capping and a cast iron frieze, and a central gablet with an ornate cast iron panel over the entry. The entry is recessed and panelled and has a mat of encaustic tiles within the recess and rendered architraves, while at front of the entry are steps with curved rendered balustrades and capped piers surmounted by orbs. To either side of the entry are deep tripartite windows which have moulded architraves with fluted and panelled detailing. Under the eaves is a frieze of paired brackets separated by rectangular moulded panels and there are several red brick chimneys with rendered bands and corbelling.

The Australian Heritage Database includes the following description of the interior:

The interior is noteworthy for its fine hallway divided by a central archway with elaborate foliate plaster corbels and keystones with female masks. The doorways are designed with pedimented tops and finely carved decoration and mouldings. The plaster ceilings are restrained in style and original throughout. The drawing room contains a rouge marble mantelpiece and the large bay window is framed by engaged columns on either side.

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(Source: Australian Heritage Database, Place ID 15360).

The house is in good condition and has good integrity. External changes include the overpainting of the face brickwork, replacement of the verandah floor (and possible replacement of some of the timber posts).

Comparative Analysis

Yetholm is currently one of only two houses included within the heritage overlay in Hindmarsh Shire. The other is Yurunga at Rainbow, which is included on the Victorian Heritage Register as a place of State significance. Yurunga, built five years after Yetholm is also a substantial Federation villa with some Italianate detailing. Yetholm compares favourably to Yurunga and has similar form, materiality and detailing including the same roof cladding, chimneys and verandah gablet. In fact, it has been speculated that the same architect designed both houses, although no documentary evidence has been found that positively identifies the architect of Yurunga.

Yetholm is also one of the finest (if not *the* finest) private residences in Nhill. It compares with the nearby house at 21 Nelson Street, which was constructed c.1890 for the Goldsworthy family, as well as Florence Villa at 36 MacPherson Street, constructed c.1885.

Statement of Significance

What is significant?

Yetholm, designed by Michael Ryan and built in 1904 as the residence for John and Louisa Young, at 25 Nelson Street, Nhill is significant.

Alterations and additions are not significant.

How is it significant?

Yetholm is of local historic and aesthetic significance to Hindmarsh Shire.

Why is it significant?

Yetholm is historically significant for its associations with the locally prominent Young family and especially with John Young. John Young played an important role in the early development of Nhill as a Councillor and as founder, President or committee member of several institutions including the Nhill Hospital, the Agricultural & Pastoral Society, and the Nhill Free Library.

(Criterion A)

Yetholm is of aesthetic significance as a substantial and well-detailed example of a Federation villa with Italianate influences. Notable details include the diamond pattern roof tiles with terracotta hip and ridge capping and cresting, brick chimneys with rendered bands and corbelling, the return verandah with terracotta ridge capping, cast iron frieze and an ornate cast iron panel to the central gablet, moulded cement render detailing to the eaves and the architraves of the doors and windows, the recessed and panelled entrance with a mat of encaustic tiles, and the elaborate render balustrades and piers to the entry stairs.

(Criterion E)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-

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Prohibited uses may be permitted

-

Incorporated Plan

Statement of Significance: 25 Nelson Street, Nhill

Aboriginal Heritage Place

-

Other Recommendations

Remove HO30, which has been incorrectly applied to part 23 and part 25 Nelson Street, and re-apply HO30 to 25 Nelson Street only.

This information is provided for guidance only and does not supersede official documents, particularly the planning scheme. Planning controls should be verified by checking the relevant municipal planning scheme.

HERITAGE CITATION REPORT

Name: NHILL POST OFFICE
Address: 98-100 NELSON STREET, NHILL
Place Type: Post Office
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO26



Nhill Post Office

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:

Victorian Period (1851-1901) Picturesque Gothic,
Victorian Period (1851-1901) English Queen Anne Revival
Interwar Period (c.1919-c.1940) Stripped Classical

History and Historical Context

Nhill

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The town of Nhill developed around a large swamp or lagoon, and it is said the name was derived from a local indigenous word *niall*. Nhill was the name applied to the pastoral run taken up in 1848 and during the 1850s the gold escort route from the Victorian diggings to Adelaide passed within 6 km, and the homestead

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became a postal receiving and dispatch place. The presence of the swamp, which provided a source of water for travellers and the location near the confluence of several early settlers tracks, and approximately equidistant between Dimboola and Kaniva (or Melbourne and Adelaide) are said to have been reasons why Nhill developed into an important town.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, and from about 1875 onwards settlers from the lower Wimmera and South Australia took up farm selections in the district. The township of Nhill grew up around the stone mill established by John Oliver. The presence of the mill encouraged Clem Hardingham to establish the first hotel, the Union, which was followed by the first general store opened by Mark Kozminsky. Both were established to serve the farmers who would bring their wheat to the mill for grinding and these two buildings became the nucleus of the shopping centre that would develop along Victoria Street and eventually extend into Nelson Street. The township site was surveyed in 1879. Fourteen house sites were surveyed initially and another 30 by mid-1880 when the boundaries were Church, Nelson, Victoria and Leahy streets and contained three stores. By this time the population was recorded as 80-100 people.

Community formation was marked by the first school, which opened in 1881 in a Bible Christian church, before a permanent school was opened in 1884. The first church congregations were formed and other early institutions included the Mechanics' Institute (1882), hospital (1882), a racing club (1883), and an agricultural and pastoral society (1884). The *Nhill Free Press* began publication in 1882 and continues as the district's newspaper.

Nhill was originally part of Wimmera Shire, but with the influx of settlers in the early 1870s the Lowan Shire was proclaimed in 1875. Lowan Shire was based first in Dimboola, where the Shire Hall and Offices were opened in 1877. However, in 1883 the growing importance of Nhill was demonstrated by the moving of the Shire headquarters to the Nhill Mechanics' Institute, which had opened in the previous year. Two years later, Dimboola Shire was excised from Lowan Shire and in 1888 new headquarters for the redrawn Lowan Shire were built at Nhill.

Significant development followed the extension in 1887 of the railway from Dimboola to Serviceton, which included a station at Nhill. Between 1887 and 1890 Nhill acquired three new banks, two new churches, a post office, a courthouse, a new flour mill, as well as several shops and houses and by 1891 Nhill's population had reached 1100 people, a ten-fold increase on a decade before. The state-wide economic depression of the early 1890s brought a temporary halt to development before Nhill (like other Wimmera towns) experienced another development boom in the first decade of the twentieth century. By 1911 the population had grown to 1500.

Nhill Post Office

John Batman was appointed as the first postmaster in 1836 and in 1842 the first government building for postal services in Melbourne was opened at the corner of Elizabeth and Bourke streets. The first post offices outside of Melbourne were often established in stores, railway stations, municipal buildings, or even private residences before a permanent building was provided.

As Victoria grew in the wake of the gold rush the Colonial government began to construct permanent post offices in suburban Melbourne and regional centres. Demand for postal services grew following the passing of the *Post Office Act* of 1883. For the first time books and magazines could be posted from the city or country towns to rural post offices and agencies, and newspapers could be despatched anywhere in Victoria. According to Blake (1976:92):

... country folk discovered an important socialising agency which drew them more closely together in rural communities.

In Hindmarsh Shire, postal agencies were established in many towns and districts and post offices were built at Dimboola in 1885 and Nhill in 1887.

Following the Federation of Australia in January, 1901 the *Commonwealth Post and Telegraph Act* was passed in June 1902, which gave the Postmaster-General control of over 5,000 post offices throughout the nation. However, shortages in funds and resources meant that the design and construction of new buildings remained

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the immediate responsibility of State public works departments. In Victoria, this continued until about 1905. Thereafter, post offices in the first three decades of the twentieth century were designed and constructed by the Commonwealth through the Department of Public Works (1901-16) and the successor agency Department of Works and Railways (1916-32). In Victoria, many of the first post offices were designed by Horace J. MacKenna, who was Chief Draftsman for Victoria, before being made Director in 1914.

For many people in rural areas the new Post & Telegraph offices were often the first tangible symbol of Federation and demonstrated that the new Commonwealth Government was established and operative. With the significant growth of Rainbow and Jeparit in the first decade of the twentieth century new post offices were built in these towns in 1911 and 1914, respectively.

In April 1887 Victorian Postmaster General Frederick Derham announced that plans were being prepared by Samuel E. Bindley of the Public Works Department for two-storey post office at Nhill. The contract for the building was signed on 29 July and then, on 28 October, members of the Lowan Lodge performed the ceremony of placing the foundation stone according to Masonic rites. Led by Worshipful Master James Brown the Lodge members marched in full regalia from the Masonic Temple, then in Victoria Street, to the Post Office. At the time of opening over 120,000 letters were posted annually at Nhill.

In 1925 the building was extended to create a new entrance and expanded lobby. H.R. Harris carried out these works. Further renovations were carried out by Mulhellen & Sons in 1950, which included replacement of the original slate roof, and moving of the foundation stone.

In 2023 the building remains in use as Nhill's post office.

References

Blake, Les, *The land of the Lowan. 100 years in Nhill and West Wimmera*, 1976

Bound, Frank, *Nhill's fabulous century. A pictorial record of Nhill's first one hundred years*, 1980

National Archives of Australia (NAA), Post office records - Fact sheet 50 <http://www.naa.gov.au/collection/fact-sheets/fs50.aspx> [accessed 18 April 2016]

Trethowan, Bruce, 'The Public Works Department of Victoria 1851-1900. An architectural history in two volumes. Research Report', 1975, Department of Architecture & Building. University of Melbourne

Description

Physical Description

The Nhill Post Office, of 1887, is a fine two-storey Late Victorian Gothic Revival building, with a small 1925 addition to one side.

The building is constructed of polychrome brickwork, with black and cream brick bands set against walls of brown and red face bricks. The roof form is complex, and comprises single-storey and two-storey gables to the front façade, and one inset and one protecting two-storey gable to the right-hand side, as well as another two-storey gable at the rear of the left-hand side. The building has been massed so that the right-hand side elevation is a principal façade. All gables have bell-cast eaves and highly decorative timber trusswork, and retain partial timber finials. Chimneys are of polychrome brickwork, with rendered cornices, typical of the Victorian Italianate style. The roof is covered in concrete tiles, which are similar in appearance to the original slate roof.

First-floor windows to the two principal facades are standard double-hung sashes set below decorative Venetian Gothic blind arches, with red-brick voussoirs and an arched panel of floral bas-relief. Ground-floor windows are more standard, with segmental cream-brick heads and double-hung windows. The two ground-floor front windows were reduced in size to accommodate a modern PO Box array.

Instead of a window, the single-storey gable to the front façade has a clock set below it, in an arched surround

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similar to the first-floor windows. The original front entrance is located below this gable, with double timber doors each featuring a single vertical panel above a small horizontal panel, each with a very deep cricket-bat moulding in it.

The ground floor of the 1887 part of the building is encircled by a return verandah. It has a skillion roof and retains paired cast-iron Corinthian posts with pierced timber fretwork featuring circular and Gothic arched motifs. The verandah floor retains its bluestone nosing and paving.

The ground floor was extended to the left-hand side in 1925. This required the removal of the verandah return on that side. Overall, however, it is a very respectful design, which continues the materiality and polychrome banding of the original section. Windows are double-hung sashes, similar to the originals. In keeping with its interwar date, the addition has a parapeted roof, featuring cream and black brick bands at the top. It features a rendered panel on the front side, with raised lettering 'Nhill Post Office'. The new entrance is in a re-entrant corner and sits below a Stripped Classical masonry porch, with smooth render cornice and details.

At the rear of the building is a single-storey section. The part with the hipped roof and the part just behind it with a parapeted skillion roof appear to be original (1887), with a somewhat later skillion with a chimney behind that.

Comparative Analysis

Samuel Edward Bindley, was born in Birmingham, England, in 1842. After migrating to Victoria in 1873, he was employed as an architect in the Education Department and, in 1884, was placed in charge of government building design for north-western Victoria. In this role Bindley designed a range of public buildings in the late nineteenth and early twentieth centuries including post offices, police stations and court houses. Some of his major works included the Bourke Street Police Station (1888), the Crown Law Offices (1890) in Lonsdale Street, and the Old Public Record Office (1899) in Queen Street. Taken as a whole his body of work has made an important contribution to public architecture in Victoria and one indication of this is the inclusion of at least 14 of his buildings on the Victorian Heritage Register.

Many of his buildings were constructed in the period from 1885 to 1900, at a time when there was wide stylistic diversity in the architectural approaches of the regional offices of the Public Works Department. This reached a climax between 1888 and 1892, when the economic depression brought a halt to building work. Trethowan, who refers to this as the 'Battle of the styles', identifies this period as a highpoint in the development of the Public Works Department (Trethowan 1975:111).

The Nhill Post Office is one of a series of buildings designed by Bindley that demonstrate Queen Anne or Gothic Revival influences, with decorative timber gables and verandahs and brick walls with decorative bands. Nhill Post Office is most similar in form and detailing to the post offices he designed at Wycheproof (1884), Carisbrook (1888) and Bacchus Marsh (1890), which are all distinguished by prominent gables with ornate timber truss work. The facades all feature a clock, which at Bacchus Marsh is located in a tower, the only example with this feature. Nhill is the only two-storey example.

The 1925 additions have not significantly impacted upon the original architectural expression. The detailing of the porch, which shows the influence of the interwar Stripped Classical style is typical of Commonwealth public building design of the period.

Architecturally, Nhill Post Office is not directly comparable to the post office at Dimboola, built in 1885, which belongs to a group of small post offices designed in the period from 1870-1885, which show Classical influences.

Statement of Significance

What is significant?

Nhill Post Office, designed by Samuel E. Bindley in 1887 and the 1925 additions, at 98-100 Nelson Street, Nhill

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is significant.

Alterations and additions (other than specified above) are not significant.

How is it significant?

Nhill Post Office is of local historic, representative, aesthetic and social significance to Hindmarsh Shire.

Why is it significant?

Nhill Post Office is historically significant as a rural nineteenth century post office. It demonstrates the development of postal facilities in Victoria prior to 1900 when post offices were established in main towns, supported by a network of postal agencies in smaller towns and districts. The size of the post office demonstrates the growth in postal deliveries, as well as the importance of Nhill as an administrative centre in the late nineteenth century.

(Criterion A)

Nhill Post Office is representative of the post offices designed by Samuel E. Bindley for the north-west of Victoria in the late nineteenth century, which show the influence of Queen Anne and Gothic Revival styles. This is demonstrated by the polychrome brick walls, complex gabled roof and especially the timber truss work, which is a distinctive feature used in four post offices designed by Bindley from 1884 to 1890. It contributes to understanding of the stylistic diversity of public buildings of this period.

(Criterion D)

Nhill Post Office is of aesthetic significance as a highly picturesque nineteenth century post office in polychrome brickwork. It is notable for the series of gables with bell-cast eaves and highly decorative timber truss work, decorative Venetian Gothic blind arches above the first floor windows with red-brick voussoirs and an arched panel of floral bas-relief, and the return verandah that features paired cast-iron Corinthian posts with pierced timber fretwork featuring circular and Gothic arched motifs. The ornate detailing of the 1887 building contrasts with simple, abstracted Classical detailing in the 1925 porch. Situated on a prominent site at the intersection of two principal streets it is a landmark within Nhill.

(Criterion E)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 98-100 Nelson Street, Nhill
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Name: NHILL RAILWAY STATION
Address: 11-21 WHITEHEAD AVENUE &
58 NELSON STREET, NHILL
Place Type: Railway Station and platform, Goods shed
Citation Date: 2023
Significance Level: Local
Heritage Overlay: HO27



Nhill Railway Station

**Recommended
Heritage Protection** **VHR -**

HI -

PS
Yes

Architectural Style:

Victorian Period (1851-1901)
Federation/Edwardian Period (1902-c.1918)

History and Historical Context

Contextual history

Railways, alongside water supply schemes, were critical to the settlement and agricultural development of Hindmarsh Shire:

... for though the great wheat areas were opened to the farmer by a variety of ingenuity - irrigation, Mallee-rolling or 'Mullenising', the stump-jump plough, the stripper harvester, the breeding of suitable wheats for the climate and conditions - the effective establishment of a great agricultural industry was altogether impracticable without railway services to carry the farmers' produce over the hundreds of miles between the outback settlements and the mills and seaports. And in each of the Australasian colonies this task devolved upon the state. (Fitzpatrick 1941:157)

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The critical importance of railways to settlement meant that local communities, through the formation of railway leagues took a prominent role in lobbying the state for the railways to come their way.

In Victoria, the failure of a number of private railway companies in the 1860s and the high capital costs and sparse populations of the country meant that the Colonial government assumed responsibility for the building of railways from the 1870s onwards. This phase of development saw the completion of additional trunk routes or main lines from Melbourne to regional centres to the east, north, west and south-west including Wodonga, Sale and Horsham.

The 1880s was a decade of economic prosperity and growth in Victoria and saw the greatest period of railway building in the colony. Between 1882 and 1892 an additional 1548 miles of line were opened, more than doubling that built over the previous three decades. The new lines were constructed in accordance with two Acts, one passed in December 1880 (Act No.682) that authorised the construction of 23 railways and the second, passed in December 1884 that proposed over 60 new railways. The 1884 Act, officially known as the *Railway Construction Act* became infamous as the 'Octopus Act' because it authorised railways in almost every electorate in the colony. As Lee (2008:93) concludes it was 'the most emphatic expression of the boom time mentality in public investment'.

In Hindmarsh Shire the 1880 Act saw the railway extended from Horsham to Dimboola, while the 1884 Act enabled the extension of the line westwards via Nhill to the South Australian border, which was completed by 1887. Later Acts approved the branch line from Dimboola to Jeparit in 1894 and thence to Rainbow by 1899.

The centrality of the railways in the economic life of Hindmarsh Shire is demonstrated by infrastructure including station buildings, sheep and cattle yards, goods sheds and platforms, sheds for storage of agricultural produce, turntables and locomotive sheds and weighbridges. In the interwar and post-war periods, the increasing grain harvest also resulted in the need for grain storage and transfer facilities and led to the construction of the massive concrete grain silos and steel bins that now dominate the landscape of the Wimmera and Mallee regions.

Railways not only brought increased and easier trade in agricultural produce, but also new people - not least among whom were the railway workers and their families who were accommodated in 'departmental residences' in main towns such as Dimboola, Nhill and Jeparit. In 1968 there were 105 railway employees at Dimboola.

The nineteenth century railways in Hindmarsh Shire stimulated the development of the existing towns of Dimboola, Nhill and Jeparit, which developed into regional centres. New towns also developed around the railway sidings, for example, at Rainbow and Diapur. The twentieth century railway extensions, on the other hand, co-incided with the closer settlement initiatives and were the result of settlers 'demanding facilities and services that other towns took for granted'. In Hindmarsh Shire after years of lobbying the railway from Jeparit to Yanac via Lorquon and Netherby was completed in two stages in 1910 and 1916.

As patronage on Victoria's railway network declined in the post-war period passenger and goods services were slowly reduced, then withdrawn with many lines closed. In 1981 a State government report prepared by Ian Lonie recommended the closure of all rural passenger rail services in Victoria except for the line to Geelong. Following significant community outcry the plan did not proceed, but cuts to services continued and by the 1990s all of the intra-state passenger services to towns within Hindmarsh Shire had been withdrawn. In 2022, the Overland service between Melbourne and Adelaide was still operating a twice-weekly service, stopping on demand at Dimboola and Nhill.

Nhill Railway Station

The North Western main line extension from Dimboola to Serviceton was opened on 19 January 1887. In Hindmarsh Shire this included new stations at Gerang Gerung, Kiata, Salisbury, Nhill, Tarranginnie, and Diapur. At the time of opening station buildings had not been completed and it would take more than a year before passenger buildings and goods sheds were provided. At Nhill, the first contract for the goods shed and platform was issued on 15 July 1887 to Sutcliffe & Hartley. However, it was not until August 1888 that the contract for the

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station building was let to J. Paterson at a cost of 1931 pounds. Also in 1888 the tender of O.T. Gilbert was accepted for the station-master's residence at Nhill (*The Herald*, 16 July 1888, p.3).

The new stations were all built to a standard design in timber with timber verandahs. Nhill, however, was the exception and was built in brick with a cast iron verandah. All were notable for including a new design innovation which was the inclusion of a projecting bay on the platform side of the building to accommodate an interlocking machine that controlled the signals and levers to guide train movements. The first installations of interlocking frames took place in the metropolitan area and Geelong between 1876 and 1883 and then spread to other lines through the 1880s. This, however, was the first time the frames had been integrated into a station design rather than provided in a separate signal box, or as an addition to an existing station building. The interlocking machines were commissioned in 1889-90.

By 1909 the foundations of the station building at Nhill were failing due to poor soil conditions, resulting in significant repair costs. Because of this it was decided to replace the station with a timber building on the same plan, but with the addition of a porters' room. The new building was completed by 1910 (*The Ballarat Star*, 26 June 1909, p.1).

By the 1920s a footbridge had been established on the west side of the station building. A grain shed to the west of the goods shed was also in place by this time.

With the significant reduction in passenger and goods traffic in the post-war period, intra-state passenger services were withdrawn in 1993 and at Nhill the goods shed was decommissioned and the yard has been rationalised. All the other station buildings at Gerang Gerung, Kiata, Salisbury, Tarranginnie, and Diapur were progressively demolished during the 1980s and 1990s.

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- Lee, Robert S., 2008, *The Railways of Victoria 1854-2004*, State of Victoria, Carlton
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Description

Physical Description

Nhill Railway Station comprises the passenger building and platform on the north side of the line and the former goods shed on the south side. The passenger building is clad in weatherboards with a wide band of pressed metal in a roughcast finish at the top of the wall, and has a gable-hipped roof clad in corrugated iron. On the platform side there is a cast iron verandah of standard design with a convex roof, latticed ends and fluted columns with a fern motif to the capitals, and there is another timber-framed verandah at the west end, which has timber 'curtains' at either end of the convex roof. The north elevation has a central projecting gable containing the entrance. The gable end is half timbered and jettied, resting on long paired decorative brackets at end and curved modillions between. The doorway is set within an arched panel with circular motifs in relief. It has an arched top with a two pane top light. To the left of the entry are paired and single timber sash windows under a continuous bracketed hood with scalloped 'curtains' at either end, and there are three timber sash windows in the east end wall. To the right of the entry the building has been extended forward and contains similar paired windows with a bracketed hood that forms an extension of the roof. At the west end of this projecting is a plain brick chimney and beside this, in the original wall, is a window with a bracketed hood and a scalloped curtain.

The entry door opens to a breezeway leading through to the platform. This is lined with pressed metal, with an

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ornate pattern to dado height and a simple pattern with paired vertical lines above. On the right side is the ticketing window and there is a squared opening to the platform with a central chamfered post with angled brackets. The platform elevation features a projecting flat-roofed bay at the west end, which originally contained the interlocking equipment. This has timber windows with one large pane below twin panes along the front and narrow two-pane windows at the side. To the left of this are paired timber doors and to the right is a panelled door with diagonal boards inset into the upper panel, and there are similar doors in the two openings to the right of the main entry to the former waiting rooms, which have two-leaf panelled doors below a toplight. These rooms have the same pressed metal lining as the entry breezeway. At the west end is a lower timber door opening to what is now the toilets. The platform is edged in timber, and has a concrete retaining wall.

The former goods shed is a timber framed building with a gabled roof clad in corrugated iron. There are timber louvred vents in each gable end. The long side elevations have continuous bracketed awning set just below the level of the main roof and four large square timber doors that once provided opened to the goods platforms (now removed). The building is supported by concrete stumps with angled sides. The goods shed now forms part of a complex of buildings on the south side of the railway and a tall cyclone wire fence separates it from the railway line.

The two buildings have good integrity. Apart from the extension on the north side of the passenger building and the shortening of the main chimney, and the removal of the goods platforms and associated crane there have been few changes. Ancillary buildings on either side of the passenger building (van goods shed, etc.), as well as the iron footbridge shown in early photographs have been removed, along the grain shed, which was a corrugated iron building with a skillion roof to the west of the goods shed.

The condition of the station building is deteriorating due to a lack of maintenance. There is evidence of dry rot in parts of the structure, and it requires repainting.

Comparative Analysis

Concern about extravagant spending led to the Public Works Department developing uniform building designs 'as far as practicable adaptable to every line' from the late 1870s onwards (Ward 2019:175). This rule applied to all buildings including passenger buildings, goods sheds, signal boxes, railway staff residences and ancillary buildings.

As Dimboola was the only major station on the short extension from Horsham its design was based on those used at Camberwell, Auburn Road and Glenferrie Road, built in 1882 on the eastward extension of the railway line from Hawthorn. Though not all identical the architectural form and decoration of the buildings were highly comparable with hipped roofs and classically derived details. There were all rare examples of brick stations at a time when timber construction was more common due to cost-cutting measures. The three Melbourne stations were all demolished and replaced when the line was regraded as part of works in the 1920s to electrify the suburban railway network and so Dimboola remains the only surviving example of this small group of stations.

When the line was extended in 1887, standard station designs were developed and built at Nhill and other towns along the route. The station at Nhill was originally a brick building, but due to unstable soils the building developed serious structural issues and was replaced in 1910 with the present timber building. It appears the only original feature retained was the iron verandah, which is the same standard design used at Dimboola. The goods shed at Nhill is a standard design that varied only according to size, indicated by the number of doors in the side elevation. Nhill, with four bays/doors, was one of the largest goods sheds. By comparison the shed at Kaniva had three bays/doors, while the smaller stations such as Kiata had only one.

Dimboola and Nhill are now the only surviving railway station buildings in Hindmarsh Shire. All the others have been removed. Of the two, only Nhill retains its goods shed.

Architecturally, the passenger buildings are not directly comparable. Dimboola shows the Classical influence that is characteristic of most of the late nineteenth century railway stations, while the Nhill railway station shows the influence of the Queen Anne and Arts & Crafts styles of the early twentieth century, particularly in the details around the entry.

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Statement of Significance

What is significant?

Nhill Railway Station comprising the goods shed built in 1887, and the passenger building and platform built in 1888-89 and rebuilt in 1909-10, is significant.

Alterations and additions are not significant.

How is it significant?

Nhill Railway Station is of local historic, representative and aesthetic significance to Hindmarsh Shire.

Why is it significant?

Nhill Railway Station is historically significant for its associations with one of the last major railway projects of the nineteenth century, which was the extension of the North West main line to the border with South Australia that connected Melbourne and Adelaide by rail for the first time. The goods shed is significant as the first station building erected at Nhill and demonstrates the important role played by the railways in the transport of goods throughout Victoria until the Second World War. Nhill Railway Station opened at a time when Nhill was growing into an important regional centre, and it supported and enabled the continued development of the town in the late nineteenth and early twentieth century.

(Criterion A)

The goods shed at Nhill Railway Station is significant for its rarity value. While goods sheds were constructed at every railway station established in Hindmarsh Shire, it is now the only example to survive.

(Criterion B)

Nhill Railway Station is of aesthetic significance as an early twentieth century timber railway station building with Queen Anne and Arts & Crafts influences. Notable details include the extensive use of decorative pressed metal in various patterns for both external and internal detailing, the treatment of the entrance with the jettied, half-timbered gable resting on long paired brackets and modillions, and the arched panel with circular motifs in relief above the entry door, and the continuous bracketed hood with scalloped 'curtains' at either end to the left of the entrance. The fluted cast iron platform verandah columns with a fern motif to the capitals are also of aesthetic interest.

(Criterion E)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 11-21 Whitehead Avenue, Nhill
Aboriginal Heritage Place	-

Other Recommendations

Delete the current HO27, which has been applied incorrectly to the wrong site, and apply HO27 to the Nhill Railway Station and platform, and the former Goods Shed.

HERITAGE CITATION REPORT

Name: JOHN SHAW NEILSON COTTAGE AND MEMORIAL

Address: 83-91 VICTORIA STREET &
WESTERN HIGHWAY, NHILL

Place Type: Reserve, Memorial

Citation Date: 2023

Significance Level: Local

Heritage Overlay: HO36



John Shaw Neilson Cottage

**Recommended
Heritage Protection**

VHR -

HI -

**PS
Yes**

Architectural Style:
Victorian Period (1851-1901),
Postwar Period (1945-1965)

History and Historical Context

The moves to establish a memorial to John Shaw Neilson, who is regarded as one of Australia's finest lyric poets, began following the formation of the Nhill & District Historical Society (NDHS) in 1961. At the inaugural meeting of the NDHS held in July 1961 local historian Les Blake explained the connection of Shaw Neilson to Nhill and how while living at nearby Dow Well he had begun writing poetry, emulating his father, and had his initial success. Blake's research was published as *Shaw Neilson in the Wimmera*, and sales of the book raised money toward the cost of a memorial which was unveiled in 1964 by Sir Rohan Delacombe as part of the Back-to-Nhill celebrations. Designed by Norman Greenway of Horsham Technical School in the shape of an abstracted N and built in rising planes of local stone and cement, the memorial stands beside the Western Highway, west of Nhill and by the former site of Dow Well School where his mother Margaret Neilson once taught.

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Meanwhile, in October 1961 the NDHS obtained permission to relocate the original Neilson family cottage from Penola in South Australia where John Shaw Neilson had been born on 22 February 1872. The cottage was dismantled, each piece numbered and moved to safe storage in Nhill where it remained until it was re-erected on the present site in Victoria Street. Local people, experienced in traditional building techniques, advised on the reconstruction of the slab walls, massive stone fireplace and chimney, and the shingle roof. The cottage, intended as a National memorial to Shaw Neilson, was opened to the public on 9 April 1972 by Jack McKim, nephew of the poet. McKimm and Les Blake (who with Hugh McDonald was the co-author of the then recently published centenary biography of Shaw Neilson) addressed the crowd at the ceremony, and made donations of Neilson material to the NDHS.

John Shaw Neilson (1872-1942) was the eldest son of John and Margaret Neilson. He attended school for less than two years and as a small child worked as a farm labourer for his father. In 1881 the Neilson family moved to Victoria and by 1889 had settled at Dow Well, a few miles west of Nhill. They had moved to Nhill by 1893, but moved north to the Mallee near Lake Tyrell and later to a selection north of Sea Lake by the early 1900s (ADB). It was while living at Dow Well that John Shaw Neilson became a 'keen observer of Nature' spending his time wandering the swamps and woodlands. It has been said he always maintained a fascination with nature, which inspired much of his poetry (ADB, YD).

John Shaw Neilson's father was a published bush poet and contributed to local newspapers. According to Blake, Neilson and his father heard Frank Shann, editor of the *Nhill Mail*, speaking at the local literary society. Shann encouraged both men in writing poetry and published several poems by John Shaw Neilson in the *Mail* (his poems were also published in the *Leader*). It was during this time that his first poem to attract wider attention *The tales we never hear*, won a contest sponsored by the Australian Natives Association in 1893.

In 1896 one of John Shaw Neilson's poems first appeared in the Sydney *Bulletin* but ill-health prevented further contributions to that magazine until the early 1900s. His career and recognition owes much to the *Bulletin's* editor A.G. Stephens who edited, punctuated and arranged the rough manuscripts that Neilson sent to him. When Stephens' *Bookfellow* magazine was revived in 1911, Neilson became a regular contributor and in 1919 Stephens helped him to publish his first collection of poems, *Heart of Spring*. This was to be the first of several publications of Neilson's work released in the 1920s and 1930s, which included *Ballad and Lyrical Poems* in 1923 (comprising the first book and twenty additional poems), *New Poems* (1927), and *Collected Poems* (1934). When *Beauty Imposes* was released in 1938 one commentator remarked that 'no other Australian poet has Neilson's skill with words and rhythms'. Neilson spent much of his life in tents, in 'navvy' camps or cheap boarding houses while working at casual jobs all over Victoria. He began to lose his sight in the early 1900s and by the time of his mid-50s his health was failing. He died of heart disease on 12 May 1942 (ADB).

Of John Shaw Neilson's work Cliff Hanna (author of *Jock: A life story of John Shaw Neilson*, 1999) concluded: "The originality and the intellectual integrity of Neilson's poetic world stand in stark contrast to much Australian writing, which has been burdened down by foreign traditions." and speculated that this originality came partly from Neilson's lack of formal education, rough life in the bush, and his eye problems, which prevented him from reading other writers or critical works. The eminent Australian poet and writer Judith Wright in *Preoccupations in Australian Poetry* wrote, "The more we read of his poetry—even though at first, knowing that it was written in our own century, we may reject it as childish or naive—the more its special note, the particular clarity of its inner truth, rings clear and unmistakable." (both cited in YD).

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Description

Physical Description

HERITAGE CITATION REPORT

The John Shaw Neilson Memorial cottage is situated within the Jaypex Park reserve on the southeast side of Victoria Street near Rintoule Street. The cottage is built of vertically adzed slabs with a hipped roof clad in hand-cut wooden shingles fastened to sapling rafters. The north wall is built of limestone rubble and contains the chimney, which has a short tapered shaft. There are two timber doors in the front elevation, and further one in the rear wall, and the windows are timber framed, six-over-six pane sash. The cottage is now protected by a metal framed structure with a gabled roof. The surrounds are landscaped. A stone pathway leads to the front door, and there is a notched log 'zig zag' style fence built of treated pine logs. To one side is a rustic timber sign 'John Shaw Neilson National Memorial Cottage. Birthplace of the Lyric Poet. Re-erected here 1972, below which are signs that commemorate the 'Nhill Mammoth Flood 1974 High Water Line' and restoration of the cottage by the Rotary Club of Nhill and the Nhill A&P Society Inc. Vintage Club.

The John Shaw Neilson Memorial is situated on the Western Highway, at the corner of Dow Well Road, south west of Nhill within what is known as the Haycrofts Reserve. Constructed of cement and local rubble stone it is in the form of an abstracted 'N' that rises upwards with angled planes, set on a base with a triangular projection at the front. Beside the memorial is a painted sign: 'Between this reserve and Dow Well southwards stood the selectors cottage where Australian Lyric poet John Shaw Neilson wrote his early poems which appeared in the Leader (1890) and the Nhill Mail (1893-4). On this reserve stood the school (known variously as Haycrofts, Dow Well and Tarranginnie East) where the Younger Neilson's attended and Shaw's sister Margaret was sewing mistress. Erected by Nhill and District Historical Society 1964.'

Comparative Analysis

There are many memorials to Australian writers and poets throughout the country. One of the first, in memory of Adam Lindsay Gordon, was erected in 1887 at Mt Gambier in South Australia. It is one of several memorials to Adam Lindsay Gordon throughout the country and other well-known writers and poets such as A.B. 'Banjo' Patterson and C.J. Dennis are also remembered by various memorials in towns and districts across Australia. These memorials take different forms ranging from obelisks and stone cairns, to simple plaques, busts and statues, or buildings dedicated in honour of the person.

The two memorials at Nhill are believed to be the only memorials to John Shaw Neilson in Australia. Within Hindmarsh Shire they are among a small number of memorials dedicated to a single person rather than an event (for example, war memorials) or a place (for example, settlement or school sites) or a group of people (for example, pioneers). Other examples of single person memorials in Hindmarsh Shire include the memorials to Sir Robert Menzies at Jeparit, the Matron Paschke memorial at Dimboola Secondary College, and the William John Kennedy Senior aka Uncle Jack memorial in Lloyd Street, Dimboola in front of the former Shire Hall.

The Neilson family cottage is a rare example of a slab hut, constructed using traditional building techniques. While many of these buildings were constructed during the early post-contact settlement of Hindmarsh Shire very few examples have survived. The only other known examples, which now form part of the Albacutya Homestead complex at the Jeparit Pioneer Museum, have similarly been relocated from the original location and reconstructed on a new site.

Statement of Significance

What is significant?

The John Shaw Neilson Memorial, designed by Norman Greenway in 1964, at the corner of Dow Well Road and the Western Highway, and the timber slab Neilson family cottage re-located by 1972 to Jaypex Park at 83-91 Victoria Street, Nhill are significant.

The shelter structure, signage, landscaping and fencing at the cottage site, and the sign at the memorial are not significant.

How is it significant?

The John Shaw Neilson Memorial and Cottage are of local historic and aesthetic significance to Hindmarsh Shire.

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Why is it significant?

The cottage and memorial are historically significant as national memorials to John Shaw Neilson, who is widely regarded as one of Australia's finest lyric poets. While Shaw Neilson lived and worked at or near Nhill only briefly, it was during this time that he developed an affinity with nature, which would inspire much of his poetry, his first works were published in local newspapers and his first poem to attract wider attention, *The Tales We Never Hear*, won a contest sponsored by the Australian Natives Association in 1893. The cottage and memorial are also associated with the Nhill & District Historical Society and were among the first projects initiated by the society after its formation in 1961. They demonstrate the important role of the society and of local historians such as Les Blake in documenting and preserving local history and developing a greater understanding and appreciation of historical events, people and places in the local community.

(Criterion A)

The John Shaw Neilson cottage is a rare example of a slab hut, constructed using traditional building techniques. While many of these buildings were constructed during the early post-contact settlement of Hindmarsh Shire very few examples have survived. The only other known examples, which now form part of the Albacutya Homestead complex at the Jeparit Pioneer Museum, have similarly been relocated from the original location and reconstructed on a new site.

(Criterion B)

The John Shaw Neilson memorial is of aesthetic significance as an abstract Modernist sculptural form in a rural setting. The simple geometric forms and crisp lines of the sculpture are contrasted with the rustic rubble used for the walls, which anchor the sculpture into the surrounding landscape.

(Criterion E)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 83-91 Victoria Street and Western Highway, Nhill
Aboriginal Heritage Place	-

Other Recommendations

At 83-91 Victoria Street Nhill reduce the extent of HO36 to apply only to the cottage and a small curtilage and apply HO36 to the memorial and surrounding land within 2-5m within the Haycrofts Reserve, cnr. Dow Well Road and Western Highway.

HERITAGE CITATION REPORT

Name: NHILL A. & P. SOCIETY SHOWGROUNDS
Address: 95-99 VICTORIA STREET NHILL
Place Type: Reserve, Showground
Citation Date: 2023

Significance Level: Local

Heritage Overlay: HO37



Publican's Booth with Poultry Pavilion in background

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:

Federation/Edwardian Period (1902-c.1918)

Interwar Period (c.1919- c.1940)

Postwar Period (1945-1965)

History and Historical Context

Nhill

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The town of Nhill developed around a large swamp or lagoon, and it is said the name was derived from a local indigenous word *niill*. Nhill was the name applied to the pastoral run taken up in 1848 and during the 1850s the gold escort route from the Victorian diggings to Adelaide passed within 6 km, and the homestead became a postal receiving and dispatch place. The presence of the swamp, which provided a source of water for travellers and the location near the confluence of several early settlers tracks, and approximately equidistant between Dimboola and Kaniva (or Melbourne and Adelaide) are said to have been reasons why Nhill developed

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into an important town.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, and from about 1875 onwards settlers from the lower Wimmera and South Australia took up farm selections in the district. The township of Nhill grew up around the stone mill established by John Oliver. The presence of the mill encouraged Clem Hardingham to establish the first hotel, the Union, which was followed by the first general store opened by Mark Kozminsky. Both were established to serve the farmers who would bring their wheat to the mill for grinding and these two buildings became the nucleus of the shopping centre that would develop along Victoria Street and eventually extend into Nelson Street. The township site was surveyed in 1879. Fourteen house sites were surveyed initially and another 30 by mid-1880 when the boundaries were Church, Nelson, Victoria and Leahy streets and contained three stores. By this time the population was recorded as 80-100 people.

Community formation was marked by the first school, which opened in 1881 in a Bible Christian church, before a permanent school was opened in 1884. The first church congregations were formed and other early institutions included the Mechanics' Institute (1882), hospital (1882), a racing club (1883), and an agricultural and pastoral society (1884). The *Nhill Free Press* began publication in 1882 and continues as the district's newspaper.

Nhill was originally part of Wimmera Shire, but with the influx of settlers in the early 1870s the Lowan Shire was proclaimed in 1875. Lowan Shire was based first in Dimboola, where the Shire Hall and Offices were opened in 1877. However, in 1883 the growing importance of Nhill was demonstrated by the moving of the Shire headquarters to the Nhill Mechanics' Institute, which had opened in the previous year. Two years later, Dimboola Shire was excised from Lowan Shire and in 1888 new headquarters for the redrawn Lowan Shire were built at Nhill.

Significant development followed the extension in 1887 of the railway from Dimboola to Serviceton, which included a station at Nhill. Between 1887 and 1890 Nhill acquired three new banks, two new churches, a post office, a courthouse, a new flour mill, as well as several shops and houses and by 1891 Nhill's population had reached 1100 people, a ten-fold increase on a decade before. The state-wide economic depression of the early 1890s brought a temporary halt to development before Nhill (like other Wimmera towns) experienced another development boom in the first decade of the twentieth century. By 1911 the population had grown to 1500.

Nhill Agricultural Showgrounds

Agricultural & Pastoral (A & P) Societies originated from early traditions of ploughing matches between farmers, which were taking place in Victoria by the 1850s (*The Argus*, 24 May 1856; Taylor, 1996:78). These matches provided an opportunity for farmers to discuss implements and farming methods, and were the forerunners of agricultural shows. For example, Edward Lascelles first suggested, and then sponsored, a ploughing match held on a farm near Hopetoun in 1895. Over 2,000 people attended, including a parliamentary party of eight led by Minister of Public Works and Agriculture, John Taverner (Taylor, 1996:78). The formation of A&P Societies was funded by a government subsidy, subscription fees and monies raised by the annual shows.

Once established, an important task for A & P societies was to acquire a venue for the annual shows. Sometimes these were held at temporary venues such as local farms before a permanent home was established. At Nhill, for example, the first annual show was held in 1882 at the Nhill pastoral station with the wool shed cleaned out and used as a pavilion. Over 1500 people attended. At Rainbow, the inaugural show in October 1905 was a 'red letter day' and further evidence of the rapid advancement of the town. The event, attended by over 2000 people, was held just five weeks after the land had been acquired from the Crown, working bees had been organised to clear the ring, erect cattle and sheep yards, and build refreshment and produce stalls and a publican's booth (Longmire 1985:82).

The annual shows put on by A & P societies played a vital role in the development of farming by including displays and field trials of new machinery, lecture nights by agricultural experts, student classes and sponsoring research into farming practices. Taylor (1996:78) cites an agricultural representative who explained:

The shows do good, inasmuch as they bring together in a small space the productions of the district, as well as

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machinery, implements, etc, so that the farmer can see in an hour or two what would otherwise take a considerable portion of his time.

In addition to their important economic and educative role, the annual shows were also an important part of the social life of the townships and their surrounding districts and provided a rare opportunity for farming families to take a break from the seemingly never-ending work to maintain and develop their acreages:

New outfits would be donned, bonnets trimmed and boots polished for the annual show. Families would trek into town to gape at side-shows of travelling midgets and fat ladies. They would also view farm gadgetry, intricate fancy work, meticulously presented preserves, Wertheim Organs, children's workbooks and washing machines. (Longmire 1985:103)

Until 1880, farmers from the Lowan Shire had to travel to Horsham to attend the annual shows put on by the Horsham A & P Society. In 1880 after an offer by Lowan Shire to the Horsham A & P Society provide prize money if the annual show was held at Dimboola was rebuffed, the decision was made to establish the Dimboola, Nhill and North West Wimmera Agricultural Society, which held its first show in 1881 at Dimboola. Lowan Shire Council contributed 100 pounds to the running of this event, which attracted 1000 people. The following year the show was held at Nhill, and in 1883 returned to Dimboola. At the annual meeting of the Society in 1884 it was agreed to continue alternating the show between the two towns meaning the next show later that year would be at Nhill. However, following this meeting Dimboola members of the Society decided to stage their own show - this was at a time when there was increasing rivalry between the two towns, which was heightened following the decision to relocate the shire offices to Nhill in 1883. The outcome was the creation of separate A & P societies in each town: the Dimboola & North Wimmera A & P Society and the Nhill & North West Wimmera A & P Society.

The first annual show of Nhill & North West Wimmera A & P Society (which became the Nhill A & P Society by 1886) held in 1884 was described as 'an unqualified success':

The day was exceedingly fine, and the visitors poured in from all parts of the district. At three o'clock about 2000 people were on the ground, and over 60 pounds was taken at the gates. The entries for all classes filled well. (The Horsham Times, 19 September 1884, p.3 'The Nhill Show').

The annual show continued to be held at Nhill Station until 1888 when the present showgrounds in Victoria Street was acquired. At a meeting held in June 1888 it was agreed to seek tenders for grubbing and clearing the land and to form a sub-committee to oversee the preparation of plans and specifications by local contractor, Mr Barnes. By the time of the first show the new showgrounds had been enclosed by a galvanised iron fence, a 140ft long shed had been erected with pens for sheep and cattle, and a show ring provided at a cost of 181 pounds. As the railway had been extended to Nhill special trains were run, which increased attendance. Over the following year further improvements were carried out including seating around a portion of the show ring for 700 people and extensive tree planting. Special trains were crowded and the attendance of 4000 people at the 1889 annual show exceeded that of the Horsham show, as did the number of exhibits.

Over the following decades the show continued to grow in size and stature and by the early 1900s was regarded as one of the best in Victoria. The showgrounds was enlarged from eight to ten acres in size, a grandstand was erected in 1892, and further improvements were carried out in the early 1900s including the erection of an octagonal publican's booth, which remains in use today. In 1897 the first of the horse parades was held. The horse parade, which specialised in draught horses, became a renowned feature of the Nhill shows and in 1908 a visitor proclaimed that 'Nhill's display could not be equalled anywhere in Australia, let alone excelled'. The standard of competition was such that competitors came from other states regarding the show as a test of their chances at the Royal Melbourne Show. For three straight years in the 1930s the winner of the horse parade at Nhill went on to win at Melbourne and the parade held in 1935 at Nhill was regarded at the greatest of all time with a record number of entries.

The Nhill A & P Society always worked closely with the Department of Agriculture to demonstrate and test the latest farming methods and to advance the interests of farmers. In 1900 it introduced a 'farm competition', which encouraged local landowners to improve the quality of their stock, land and crops. This later developed into the

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'Crop and fallow' competition. At the same time an experimental farming plot was established on a farm at Winiam to test the use of soil improvers and tillage methods. By 1903 the farm competition had attracted enquiries from across Australia with Nhill A & P Society secretary C.H. Towns being invited to lecture at other shows in Victoria, South Australia and New South Wales. The competition, which continued until 1930, was said to be at the forefront of 'agricultural extension' work being undertaken by the Department of Agriculture and introduced and developed innovations such as rotating crops (which included successful trials of peas, lentils, lupins, rape and linseed), which was shown to fix nitrogen, reduce weeds and combat insect pests.

In September 1927 memorial gates were erected to honour the late H.E. Dahlenburg, Winiam East pioneer, and foundation member of the society. The gates were unveiled at the 1927 annual show by Mr M. Wettenhall M.L.A. in the presence of his son (and then president of the Nhill A & P Society) W.E. Dahlenburg during a pause in proceedings of the horse parade. In following year the Batson family donated a memorial display cabinet in memory of pioneer George Batson, who was a very active member of the original society committee. The display case was unveiled by the Hon. A.S. Rogers, M.H.R. at the annual show in October 1928.

From the 1930s to 1950s further improvements were made including a new lunch pavilion, new sheep, cattle and poultry pavilions, and a wheat and wool room that also served as a meeting place for the Nhill Young Farmers Association, which was formed in 1953. The poultry pavilion, which could hold 500 birds, was regarded as one of the best in rural Victoria outside of Ballarat. The Samuel Freeman Memorial Pavilion was erected in 1953 and the original timber and iron Dahlenburg memorial gates were replaced with the present brick and iron gates.

In the late twentieth century, further improvements were made. The Young Farmer's Association building was extended in 1990 and the boundary fence replaced. Minor additions were made to the Freeman pavilion.

In 2019 the Nhill A & P Society held it's 135th annual show at the showgrounds and after a hiatus of two years due to the Covid 19 outbreak in 2020-21, the 136th annual show was held in September 2022.

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Description

Physical Description

The Nhill A & P Society Showgrounds comprises a large reserve that contains corrugated iron or metal-clad buildings dating from the early to mid-to-late twentieth centuries laid out around a central oval/show ring. The buildings and features that contribute to the heritage significance of the place are:

H.E. Dahlenburg memorial gates

The H.E. Dahlenburg memorial gates are situated in approximately the middle of the frontage to Victoria Street. The current gates, which appear to date from the post-World War II period have replaced the original timber and iron gates erected in 1927. The comprise four brick piers with mild steel gates and balustrades. The piers are constructed of cream brick with a dark brick base, an indented dark band neat the top and dark tile caps. The outer piers have curved wing walls with iron balustrades. The gates and balustrades feature circular, diamond, half oval and curlicue details. On the left central pier is a memorial plaque in red granite inscribed with 'Erected

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by his family to perpetuate the memorial of the late H.E. Dahlenburg who was one of the founders of the Nhill A&P Society, while on the right pier is a white marble plaque inscribed with 'Erected by the Dahlenburg family to perpetuate the memory of their father who was one of the founders of the Nhill A&P Society'.

Poultry pavilion

Built prior to World War II, this is a long timber framed building, clad in corrugated iron painted red, which is rectangular in plan. It has a raised central gabled roof flanked by lower skillion roofs. There are gates at either end and an entrance in the middle of the east side. It is situated adjacent to the front boundary fence just to the north of the Dahlenburg Memorial Gates.

Publican's booth

Situated to the south east of the Poultry Pavilion toward the show ring, built c.1909. This is a timber-framed open-sided pavilion with an octagonal roof clad in corrugated iron. The roof is supported by square timber posts with diagonal brackets and there are simple built-in bench seats in four of the sides. Internally, there is an octagonal timber framed bar, open on one side, which is faced with corrugated iron and has timber benches with cut outs.

Secretary's office

Situated at the northeast corner of the central oval/show ring, this is a small timber framed gabled building clad entirely in corrugated iron, which appears to date from the early to mid twentieth century (c.1920s to 1950s). There are simple ledged timber doors in the north and east elevations and a small sign 'Secretary's Office' on the west wall, which also contains a small (non-original) window.

Samuel Freeman pavilion

The Samuel Freeman pavilion, built in 1952, is part of a group of buildings in the southwest corner of the showgrounds adjacent to the front boundary. It is a timber framed building with a gabled roof. The walls are clad in corrugated iron and the roof in colorbond. There are large ledged timber doors in the north and east elevations, and two high set windows with louvred glass in the east elevation. Also on the east wall is a painted sign '1952 Samuel Freeman Memorial Pavilion'. It is used for the display of photography.

Young Farmers Clubrooms

This building is sited on the front boundary immediately to the south of the Samuel Freeman pavilion. It has a skillion roof with vertical profile metal cladding to the walls. It comprises the c.1960s Young Farmers Club (which is defined by the distinctive projecting roof with angled soffit facing Victoria Street) with additions to the north (toilets and amenities) and south ends. Above the entry door on the Victoria Street elevation is an early painted triangular sign with the Victorian Young Farmers Insignia and motto ('Culture, Social, Agriculture').

Home Industries pavilion

The Home Industries pavilion, which dates from the interwar period, is immediately to the east of the Young Farmers Clubrooms. Orientated approximately east-west, it is the most architecturally sophisticated of the pavilions at the showgrounds and may have been designed by an architect. It has a low-pitch gabled roof with deep eaves supported by simple timber brackets at the wall corners. The walls are clad in ripple iron sheets laid horizontally. A distinctive detail is the horizontal row of windows along the north elevation (the glazing is now overpainted), which has a continuous bracketed hood. Above this the section of wall below the eaves is open and clad in chicken wire. The window row is interrupted by paired timber doors and there are paired doors in the end walls, which have louvred vents to the gable ends. The south elevation has two rows of simple square-framed windows, but lacking the distinctive hood, and the open wall under the eaves. This building is used for the display of home industries including flowers, food and craft and was originally the location for the Batson Memorial Case (it is unknown whether the case is still within the building or has been returned to the family)

The other pavilion on the site is at the north end. This is a large gabled building with skillion sections along the sides and at either end. Reputedly, this building was originally an open-sided structure with a gabled roof, which was moved here from one of the hotels in Nhill, where it was used as a stables. Alterations in the late twentieth century enclosed and extended the building along the sides and at the ends. Scattered around the

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Showgrounds are some trees, mostly Sugar gums (*E. cladocalyx*).

Comparative Analysis

The Nhill Agricultural & Pastoral Society Showgrounds compares with the Dimboola Recreation Reserve (HO39), Sir Robert Menzies Park at Jeparit and the Rainbow Showgrounds and Recreation Reserve. Common features of these places include memorial entry gates or pavilions dedicated to local people, a central football/cricket oval and/or parade ground, and several pavilions or shelter structures, often timber framed and clad in corrugated iron, as well as courts for tennis, bowls or croquet.

The Dimboola Recreation Reserve is the oldest of the main reserves in Hindmarsh Shire and has been continuously used as a place of recreation for over 140 years. As well as typical sports such as football, cricket, tennis, bowls and croquet it was the venue for the annual 'Henley-on-Wimmera' rowing regatta, which was a major event attracting several thousand people to Dimboola at its peak. It is distinguished by the mature trees, comprised of a mix of indigenous and exotic species which contribute to the amenity and character and create a distinctive cultural landscape. Other notable features include the Nettlebeck Gates, which is a fine example of interwar civic architecture, and the quirky Girl Guides Hall, which includes several distinctive features including the 'Be Prepared' motto in the porch balustrade, the Trefoil symbol plaque above the porch, and the mild steel gates with 'B' and 'P'.

The Nhill Showgrounds, by comparison, differs from the others as it has been used exclusively by the Agricultural & Pastoral Society for the annual shows, and does not contain any sporting facilities. Of all the showgrounds in Hindmarsh Shire, it has the most complete collection of buildings and structures that demonstrate the use by the A&P Society over many decades including pavilions for the showing of livestock, poultry, craft and homewares, and other buildings for administrative and catering purposes including the Secretary's office, publican's booth and the Young Farmers' Rooms, and memorial entry gates, all arranged around the central show ring. These include some very early structures dating from the early 1900s such as the publican's booth and an early stock pavilion. The Poultry pavilion, which can accommodate 500 birds, is a large and early example of its type, while the Home Industries Pavilion has distinctive original details including the bracketed window row along the north elevation, and the overhanging gable roof with deep eaves above an open section of wall to provide shade and ventilation. As a whole, Nhill Showgrounds is a fine and representative example of a rural showgrounds complex, and the most complete and intact example in Hindmarsh Shire.

Statement of Significance

What is significant?

The Nhill Agricultural and Pastoral Society Showgrounds at 95-99 Victoria Street, Nhill is significant. The following buildings and features contribute to the significance of the place:

- The Publican's Booth
- The Secretary's Office
- The Poultry, Samuel Freeman and Home Industries pavilions
- The H.E. Dahlenburg memorial gates
- The Young Farmers Clubrooms, excluding the 1990s additions
- The show ring.

Other buildings are not significant.

How is it significant?

The Nhill Agricultural and Pastoral Society Showgrounds is of local historical, representative and social

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significance to Hindmarsh Shire.

Why is it significant?

The Nhill Agricultural and Pastoral Society Showgrounds is of historical significance for its associations with the Nhill A. & P. Society as the venue for the annual Nhill Show since 1889. Agricultural and pastoral societies have played an important role in the support and development of agriculture and the development rural communities more generally in Victoria and the Nhill A. & P. Society was prominent and innovative amongst such societies, introducing 'Crop and Fallow' competitions, annual horse parades specialising in draught horses, and Australia's first foal show. The publican's booth is significant as the earliest surviving building, which demonstrates the improvements made to the showgrounds in the early twentieth century, when the annual show was regarded as one of the best in Victoria. The H.E. Dahlenburg memorial gates commemorate one of the founding members of the Nhill A. & P. Society and, by extension, celebrates the achievements of all local people who have played a role in its development.

(Criterion A)

The Nhill Agricultural and Pastoral Society Showgrounds is significant as a representative example of a rural showgrounds complex, which is the most intact and complete example in Hindmarsh Shire. The features that are characteristic of rural showgrounds are the range of pavilions constructed from the early to mid-twentieth century for the showing of livestock, poultry, craft and homewares, and other buildings for administrative and catering purposes including the Secretary's office, publican's booth and the Young Farmers Rooms, all arranged around the central show ring. The Poultry pavilion, which can accommodate 500 birds, is a large and early example of its type, while the Home Industries Pavilion has distinctive original details including the bracketed window row along the north elevation, and the overhanging gable roof with deep eaves above an open section of wall to provide shade and ventilation.

(Criterion D)

The Nhill Agricultural and Pastoral Society Showgrounds is of social significance as place that has played an important role in the lives of generations of families in Nhill and surrounding districts in the Wimmera. In addition to their important economic and educative role, the annual shows were also an important part of the social life of the townships and their surrounding districts and provided a rare opportunity for farming families to take a break from the seemingly never-ending work to maintain and develop their acreages and meet and socialise with fellow farmers and townsfolk. The Nhill A. & P. shows have been an important event (at times, perhaps *the* most important event) in social calendar of the local communities for over 130 years.

(Criterion G)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 95-99 Victoria Street, Nhill
Aboriginal Heritage Place	-

Other Recommendations

Extend HO37 to include the Poultry Pavilion.

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Name: ST JOHN'S LUTHERAN CHURCH COMPLEX
Address: PELLA CHURCH ROAD, RAINBOW
Place Type: Church, Manse, Sunday School, Pipe Organ
Citation Date: 2023

Significance Level: Local

Heritage Overlay: HO8



St John's Lutheran Church

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:

Federation/Edwardian Period (1902-c.1918)

Federation/Edwardian Period (1902-c.1918) Gothic

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History and Historical Context

Pella district

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The Pella district lies on the border between the Wimmera and Mallee regions to the west of Rainbow. Following the arrival of the first Europeans to the area in the mid-nineteenth century, the process of post-contact settlement followed a similar pattern to the rest of Victoria: early occupation of land by squatters (c.1847-c.1869), followed by process of selection and freehold land sales, which began with the passing of the *Land Act* 1869, under which almost all the unselected land was thrown open for selection including unsurveyed land. The exception to this was land in the far northwest of the State where under the *Mallee Pastoral Leases Act* of 1883, land between the 36th parallel and the Murray River was subdivided into huge 'Mallee Blocks' rectangular in shape, ranging from 50 to 350 square miles in area. To the south of the 36th parallel land was subdivided into 'Mallee Allotments', which ranged in area from 100 to 1,500 acres. Initially, neither the blocks nor the allotments were available for sale. Instead occupiers paid an annual fixed rental to the Government. The Pella district fell mainly within Block 42 (but also blocks 41 and 42) of the Mallee Block Scheme. These were located generally west of Lake Albacutya and Lake Hindmarsh and the Outlet Creek between.

It was not long, however, before the Mallee Blocks were further subdivided. In 1889 an amending *Mallee Act* allowed people to acquire a freehold of 320 acres, but it was the *Mallee Land Act* of 1896, which was to have the most impact upon Pella district. Under this Act, which incorporated most of the provisions of the earlier acts, eligible persons could select an agricultural allotment up to 640 acres in area and obtain use of such land by Perpetual Lease or by Residence Licence. The settlers at Pella initially chose one or other of these methods to obtain land. However, various amending acts after 1896 removed any real difference between the two methods as after six years either could be converted to an Agricultural Lease and after payment in full of the considered purchase price, the land could become freehold.

The Pella blocks were initially applied for during the years 1895 to 1904 and the applicants were predominantly German Lutherans who had emigrated from other parts of Victoria or had come across from South Australia. When a block was allotted, by ballot, the applicant subsequently inspected it and, in more than half of the applications made, the application was abandoned with loss of all fees so far paid. It has been said that with very few exceptions, those who abandoned after inspection were of non-German background. This resulted in the formation of a strong and close-knit German community in the Pella district by the early 1900s.

The Wimmera and Mallee regions and the hinterland of Melbourne were the primary areas of German settlement in Victoria in the 1860s and 1870s and the families who selected land at Pella were among 30,000 German speaking immigrants to Australia in the last quarter of the nineteenth century, of which two thirds settled in rural areas.

The district now known as Pella was in the late nineteenth century and early 1900s known as Outlet Creek. The name was changed to Pella in 1909 when the decision was made to establish a church in the district. The name is a biblical term derived from a place of refuge for Christians in Palestine who were fleeing from the invading Romans in the First Century A.D. The choice is explained by the geographic similarities of the location of the biblical Pella, which was situated about three miles east from the River Jordan which connects the Sea of Galilee and the Dead Sea and the area to the west of Outlet Creek between Lake Albacutya and Lake Hindmarsh. While Pella is now accepted local name for the district, it is not an official place name and does not appear on official government plans and surveys.

Pella Lutheran Centre

The first settlers in Hindmarsh Shire soon began holding religious services and as numbers increased, formed themselves into congregations. Before churches were built, religious services were held in private residences and later, as townships formed, or in public buildings such as halls or schools, or even in parks. Residences were built to accommodate clergymen and their families, and as such were an integral part of building a local

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religious community with a resident priest. Sunday schools were a common form of spiritual education for children of the various congregations.

Churches also illustrate the waves of migration since the nineteenth century. Migrant communities were defined particularly by cultural and religious identities carried from the place of origin and a marked characteristic of the Wimmera and Mallee regions is the high numbers of people who worshipped at the traditional 'churches of dissent': Presbyterian, Methodist, Baptist, Church of Christ and Lutheran. According to Priestley (1967:102) this strength depended partly on the origins of the first settlers (many came from South Australia, a 'paradise of dissent') but was also fostered by the 'circumstances of the district itself':

The simplicity, even austerity, of the forms of worship in these dissenting churches, as well as the social values they championed, seemed to accord naturally with the simple austere lives which wheat farmers and business traders were forced to live. (Priestley 1967:102)

Lutheran Church

The historically high number of Lutherans in Hindmarsh Shire is related to the high number of German and Germanic colonists who settled there from the 1870s, the majority of whom came from South Australia. Lutherans were particularly numerous in the south of Hindmarsh Shire around Dimboola where the first wave of German settlers arrived in the 1870s, but also came in significant numbers to the northern parts of the Shire around Jeparit and Rainbow when land was opened for selection in the 1880s.

The Lutheran Church in Victoria was introduced in 1849, eleven years after the arrival of the first German migrants in South Australia. Soon after their arrival in South Australia the first pastors, Kavel and Fritzsche, disagreed on a number of matters, dividing the church into two synods in 1846. Further division later led to the establishment in 1856 of a separate synod in Victoria led by Pastor Goethe.

The Lutherans who came to Hindmarsh Shire were associated with the two South Australia synods: the Evangelical Lutheran Church of Australia (ELCA) and the Immanuel Synod, which later became part of the United Evangelical Lutheran Church Australia (UELCA). This was reflected at Jeparit in the formation of two separate congregations, each known as St John's, which built their own churches and worshipped separately until 1966 when the two synods merged to form the Lutheran Church in Australia.

Itinerant Lutheran missionary pastors travelled from one district to another and when a particular locality became sufficiently populated with Lutherans, a permanent pastor would be invited ('called') to become the minister in the newly established parish. The establishment of Lutheran schools was also viewed as highly important, as they were considered to be the 'nurseries of the church'. Secular learning was preceded each by at least a half-hour dedicated to Bible history and religion. There was also a strong association between religious training and the German language. When established, a congregation was expected to pay the stipends of the pastor and teacher, and to pay for the erection of school, church and residences for the pastor and teacher.

Despite the demands upon them to establish farms in harsh conditions the Lutheran settlers made churches and schools the centre of community life as soon as possible. According to Longmire (1985:39):

This signified the belief that development of the land was part of a Divine trust and that their 'Deutschtum' (or German culture, customs and language) must be kept alive.

Pella school, church and residence

By 1895 there were sufficient Lutherans living in the Rainbow district to form a congregation and on 9 June of that year Gotthilf Paul Bracken, the Pastor at Ni Ni Well near Nhill, held the first Lutheran Church service in the district. At the second visit of Pastor Bracken on 21 July 1895 the decision was made to form the Evangelical Lutheran St John's congregation at Rainbow. Prior to this, Pastor Bracken had formed a Lutheran congregation at Kenmare and he visited both Kenmare and Rainbow about every eighth Sunday until he moved to Ni Ni Well in 1897. Pastor Bracken was succeeded by Pastor Oscar Mueller who on 2 April 1899 convened a meeting at

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Hopetoun, where it was decided to form the Parish of Hopetoun (incorporating congregations at Hopetoun, Curyo, Rosebery East, Sea Lake, Rainbow, Kenmare and Beulah).

By the early 1900s the majority of the Rainbow Lutheran congregation were families from the Outlet Creek (Pella) district who travelled to Rainbow for church services and meetings and the process that ultimately led to the building of a church began with the establishment of a school. In December 1901 the decision was made to erect a school to serve children in the Outlet Creek district. Pastor Mueller attended the formation meeting and all subsequent meetings until his departure in 1913. The present site was chosen and in December 1902 it was decided that the building should be of limestone construction, and be large enough to allow its use on Sunday for lay-reading church services, when there was no church service at Rainbow. By this time classes had already commenced in the home of a local family, with 15 children attending. However, due to a severe drought in 1902 building of the school was postponed and instead an old hut was renovated, which was first occupied on 17 January, 1903. By then the number of children on the roll had increased to 26.

Eventually, construction of the school proceeded in August 1903 under the direction of Johann Gustav 'Gus' Stasinowsky, a local stonemason, assisted by members of the congregation. Once started, work proceeded quickly, and the school was opened on 8 November, 1903. The school served children from surrounding districts including Rainbow, but the long distances led to two other schools being established, including at Rainbow, which commenced on 13 February 1906 in a house of one of the congregation.

The first church service was held in the school on 10 April 1904 and by this time the majority of the Rainbow Lutheran congregation were from the Outlet Creek district. However, it was not until a congregational meeting held on 22 February 1909 that the decision was made to release the Outlet Creek congregation 'who would try to build a church of their own and ... develop independently'. In addition, it was agreed that Pastor Mueller should reside at Outlet Creek and preach there on one Sunday, at Rainbow and Curyo on the next Sunday, and Rainbow and Kenmare on the third Sunday. The minutes of the meeting also include the first reference to Pella as the new name for the district.

Once the decision was made, the old manse at Hopetoun was sold and a new manse built at Pella, which was dedicated on 17 March 1909. Planning then proceeded for the building of the church, as the congregation still had no church building in the district, either at Pella, Rainbow or Kenmare. Mr James B. Barnes, architect, of Nhill was appointed to prepare the plans and at a meeting on 20 March 1910 key aspects of the church design including the width, length and height of the building and its walls were agreed upon. Tenders were called and that of Bell & Korman was accepted.

Despite difficulties with raising finance and obtaining materials construction of the church commenced in the latter half of 1910. Although Bell & Korman were the contractors, the labour was essentially local men and once again the foreman in charge was 'Gus' Stasinowsky. Limestone was sourced from Stasinowsky's quarry and a lime kiln was built in the church yard to convert limestone to quicklime, which was then sieved and mixed with local sand and water to make a mortar. The limestone was rough-hewn into rectangular blocks and set into place with the lime mortar. The carpentry details and much of the furniture were made by Mr. Austel. He created the altar, doors and baptismal font, and supervised the general timber work on the roof. The interior of the building was finished with smooth white Plaster of Paris, at the direction of Pastor Mueller, to emphasise purity.

The opening ceremony took place on 14 May 1911. It began with a ceremonial procession from the school to the new church and included services in the morning and afternoon and a performance by the church choir. A month prior, 'The Evangelical Lutheran St John's at Pella' had been adopted as the official name of the congregation and for a short time there were two St John's Lutheran congregations in close proximity (as there were at Jeparit to the south). Finally, at a parish meeting on 25 August 1912 Pastor Mueller advised that the Rainbow Lutherans wished to separate from Pella. This was agreed to and on 6 October 1912 the Evangelical Lutheran St Stephen's Congregation at Rainbow was formed. The St Stephen's congregation worshipped at the local Mechanics' Hall for 40 years before building their own church in Cust Street, which was dedicated on 23 August 1953.

The Pella-Rainbow area contained mostly ELCA Lutherans and it was not until 1907 that a UELCA Parish was established at Jeparit, where a church was erected in 1911. Services for UELCA Lutherans in the Pella-Rainbow area were thereafter held for many years in the Presbyterian Church at Rainbow. Membership of the

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UELCA congregation varied and gradually members either left the district or joined the ELCA congregations.

By the early 1920s there were an increasing number of Lutherans living at Rainbow and Kenmare, and increasing use of the motor car had made travelling between the centres somewhat easier. Accordingly, in 1923 the decision was made to purchase a house in Cust Street, Rainbow to be the new parsonage, and for the old parsonage to become the teacher's residence. In 1926 the verandah floor of the old parsonage/teacher's residence was taken up and replaced with cement and sandstone.

In January 1924 Pigick State School 4142 opened in the Pella district, which was located to the west of the Lutheran School. This led to concern that children of some families in the congregation, whose children would now attend the new State School, would not receive a Christian education. Various options were considered including moving the Lutheran School to a more central location and even offering to teach Non-Lutheran students free of charge. Eventually, the decision was made to begin a Sunday School, which commenced in July 1928 and continued for many years. At that time, the Lutheran School had the maximum number of students permitted. But over the following years, the numbers attending slowly dwindled, and in 1943 the school was closed. The few children that remained in the district attended the Pigick State School until its closure in 1945, and thereafter were conveyed to Rainbow by a new school bus service that commenced in 1946 or were taken by car.

After the closure of the school, conversion of the building to a hall with a raised stage was discussed, but the plan did not proceed. In 1952, the floor was replaced in concrete.

The congregation celebrated the sixtieth anniversary of the dedication of the church on 15-17 May 1911 (see below) and the centenary celebrations were held over two days on 14 and 15 May, 2011.

Regular services are still held at the church in 2022. The former Lutheran School has been converted to a museum.

Church organ

An organ was installed in the church when it opened in 1911 and it was replaced several times over the years. Then, in 1970, the congregation was able to purchase the organ from the Congregational Church at South Melbourne. The organ had been built in 1885 by Alfred Fuller, one of the leading organ builders in Melbourne in the nineteenth century. After purchase the organ was overhauled by Hill, Norman and Beard of Clifton Hill. The bellows were re-leathered and a new electric blower was fitted, but otherwise no significant changes were made. The new organ was dedicated on 6 December 1970 with a recital of organ and choral music. It was also put to good use for the celebrations of the sixtieth anniversary held on the weekend of 15-17 May in the following year, which included a grand concert on Saturday night and a church service on Sunday.

James B. Barnes, architect

Little is known of James B. Barnes, whose address in 1910 was Woodward Street, Nhill. He also designed the Nhill Soldiers' Lounge in 1921.

It is unknown whether he was related to the builder and contractor John L. Barnes, who also lived at Nhill and was active during the early twentieth century.

References

Longmire, Anne, *Nine Creeks to Albacutya. A history of the Shire of Dimboola*, 1985

Maroske, Ian O., *The story of Pella*, 1975

Priestly, Susan, *Warracknabeal: A Wimmera centenary*, 1967

Public Records Office of Victoria, Pella Lutheran Church file

Description

Physical Description

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St John's at Pella comprises the former school, church and parsonage (later teacher's residence), which are situated in open farmland on the north side of Pella Church Road. All buildings are constructed of random rubble local limestone with gable or hip roofs clad in corrugated iron.

The church forms the centrepiece of the complex. It is a Federation Gothic Revival building with characteristic form and detailing including parapeted gables (with cement coping and simplified corbels, and a cement cross on a stepped base to the front gable), stepped buttresses (with thin flat stone capping), which divide the side walls into six bays, and pointed arch windows (with diamond pane leadlight glass) and doors. The facade features a trio of pointed arch windows in the gable. The centre window is taller and all have broad flat render architraves. Below these is a central buttress, which is flanked by pointed arch openings with two-leaf timber doors surmounted by diamond pane leadlight glass within the pointed arches, which have flat rendered architraves connected by a rendered impost band across the front. Each doorway has stone steps with low balustrade with pyramidal capped dwarf piers. At the rear the chancel is contained under a small projecting gable, with the vestry to one side. There are six ventilators along the roof ridge.

Internally, the church has plain white walls and the ceiling is of varnished pine boards laid in a herringbone pattern on internal rafters with exposed timber trusses. The chancel is behind a pointed arch opening. A notable feature is the Fuller Organ, which is on a low platform just inside the entrance. It has a mechanical action with two manuals, 10 speaking stops, and three couplers. It retains the ornately decorated casework and stencilled façade pipes, tonal scheme, a splendidly crafted console, cut-crystal knobs to the console doors, wind system and action. The Swell is tuned through a hinged rear panel, with the Oboe placed at the back of the organ (1).

To the west of the church is the former school. It has parapeted gables with cement coping. The windows are six pane timber sash, in a group of four, and single in the east elevation, with angled cement sills. The west elevation contains the chimney, which has a base of limestone blocks and a shaft of handmade bricks with simple corbelling. On either side are high set windows. The facade contains a two-leaf square head timber door with a small six-pane window above. There is a single timber door in the rear elevation. Internally, there is a coved stained pine ceiling, low blackboards on either side of the entry doors, and a collection of furniture, objects and ephemera associated with the church and school and the Pella district. This includes two school desks.

The former parsonage is to the east of the church. It is a double fronted symmetrical villa with a M-hip roof, and a separate bullnose verandah supported on simple timber posts which wraps around the exterior of the house. The verandah floor is concrete laid over a limestone base (a change made in 1926 according to the church history). The facade contains a four-panel timber door with sidelights and highlights flanked by timber sash windows and the walls have lines inscribed into the mortar to resemble Ashlar blocks. There are timber sash windows in the side and rear elevations and two simple panelled doors in the rear elevation. All the windows and doors are dressed with brick quoining (with brick sills to the windows) and there is diaper pattern brickwork around the eaves. The brick chimneys have simple corbelling.

Along the frontage of the property cyclone wire and modern metal fences have replaced the original timber picket fence seen in early photos. There are some old Sugar gums (*E. cladocalyx*), which have been heavily coppiced in the past, along the fence line.

Notes

(1) The description of the organ is based on information in the Organ Historical Trust of Australia (OHTA) website page: <https://ohta.org.au> viewed 22 August 2022.

Comparative Analysis

By the end of the nineteenth century the Gothic style had been adopted by most of the Protestant churches, and during the interwar period the Gothic style was continued in church design, but was increasingly simplified or abstracted. A number of transitional styles also emerged, which succeeded in making the break from Gothic, but not with historicism entirely. They included Byzantine/Exotic, Mediterranean/Spanish revival, Arts & Crafts eclectic and Neo-Grec (twentieth century revival of Greek classicism) (Lewis 1991:34-5).

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Early churches in Hindmarsh Shire were often simple timber (Carpenter Gothic) buildings built by the congregations. They usually comprised only a nave, with anterooms containing the vestry, chancel or choir added in later stages. The decoration of these early churches was limited to occasional flourishes such as Gothic Revival diamond pattern leadlight quarry windows, religious motifs such as a cross (often mounted at the apex of the roof gable) and decorative bargeboards.

As townships grew and congregations increased in size more substantial churches were built by the early twentieth century, and the interwar period. The old churches were sometimes retained to become the church hall or Sunday school. Like schools and halls, churches were sometimes moved according to as areas declined or prospered.

St John's Lutheran Church is among eight Federation/Edwardian era churches in Hindmarsh Shire, and one of four constructed of local limestone. The use of local stone - limestone or sandstone - with dressed or random rubble coursing (with brick or masonry dressings to the corners and openings in more sophisticated examples), was typical of South Australian architecture from the 1840s to the interwar period. It is also seen in areas of Victoria with similar stone in the western part of the state. In Hindmarsh Shire, the use of local limestone for buildings in towns was introduced by settlers coming from South Australia, especially those of German descent.

Other examples of stone churches include the St George's Anglican Church, Nhill (1898), former Rainbow Baptist (1905) and the former Presbyterian Church, Rainbow (1905). Of these, St John's is notable as a fine and substantial example that shows the influence of Early English Gothic style. This is demonstrated by the parapeted gables, stepped buttresses, pointed arch windows (with leadlight diamond pane glass) and doors. The simple facade with a group of three pointed arch windows above a central buttress flanked by pointed arch doors is also characteristic of the style. It compares with St George's, Nhill, which has similar form and detailing and is also distinguished by the brick dressings.

St John's is also an intact example of Lutheran Parish centre with a school, church and parsonage. The school is a rare example - it is the only known early (pre-World War II) Lutheran School in Hindmarsh Shire.

Statement of Significance

What is significant?

St John's (Pella) Lutheran Church at Pella Church Road, Rainbow is significant. The contributory buildings and features are:

- The former school, built in 1903, and the interior to the extent of the timber ceiling and the blackboards.
- The former parsonage, built in 1909.
- The church, designed by James B. Barnes and built in 1910-11, including the interior to the extent of the timber ceiling, and the Fuller Organ.

The original church furniture including the pews, pulpit, altar and font, and the early school desks in the former school also contribute to the significance of the place.

Alterations and additions are not significant.

How is it significant?

St John's (Pella) Lutheran Church is of local historic, representative, aesthetic and social significance to Hindmarsh Shire.

Why is it significant?

St John's is significant as a Lutheran Church complex, which is associated with the German settlers who came to this area from the 1880s to the early 1900s and demonstrates their desire to replicate and maintain their German culture, language, and religion in Victoria. It demonstrates how the Wimmera was one of the epicentres of German migration in Victoria and the close-knit communities that developed, particularly within rural areas.

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Historically, the use of local stone - limestone or sandstone - with dressed or random rubble coursing is a distinctive characteristic of many buildings in the Wimmera and Mallee and demonstrates the introduction of traditional building techniques by settlers coming from South Australia, especially those of German descent. The former school and parsonage contribute to an understanding of the historic development of St John's into a Parish centre with a resident priest that culminated with the building of the church in 1911.

(Criterion A)

The former school at St John's is significant as a rare surviving example of a Lutheran School. As the first building constructed on the site, it demonstrates the importance of schools to Lutheran congregations, which considered schools to be the 'nurseries' of the church.

(Criterion B)

St John's Church is significant as a representative example of a Federation Gothic Revival church with form and detailing that shows the influence of the Early English Gothic style. This is demonstrated by the parapeted gables, stepped buttresses, pointed arch windows (with leadlight diamond pane glass) and doors. The simple facade with a group of three, pointed arch windows above a central buttress flanked by pointed arch doors is also characteristic of the style. St John's is also representative of a Lutheran Parish church complex with an associated school and parsonage.

The Fuller organ is significant as a fine example of the work from the 1880s of the prominent Melbourne organ builder Alfred Fuller. The instrument retains its attractive painted case, with diapered facade pipes, pipework, tonal scheme, mechanical action, and console fittings and is one of the few surviving examples of Fuller's work which has not sustained substantial alterations.

(Criterion D)

St John's is of aesthetic significance as a group of rustic limestone rubble buildings in a rural landscape setting. The church is a local landmark and details such as the buttressed walls and lancet windows add to its picturesque qualities.

(Criterion E)

St John's is of social significance as a place that has strong and enduring connections with the Pella community through its use over more than 110 years.

(Criterion G)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	Yes, church and former school only
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Pella Church Road, Rainbow
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Name: RAINBOW TOWN CENTRE
Address: 1-57 & 10-62 FEDERAL STREET & 24-34 KING STREET, RAINBOW
Place Type: Commercial Precinct
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO33



Rainbow Town Centre

Recommended Heritage Protection **VHR -**

HI -

PS
Yes

Architectural Style:

Federation/Edwardian Period (1902-c.1918)
Interwar Period (c.1919-c.1940)

History and Historical Context

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 Edward Eyre reached Lake Hindmarsh in 1838 during his exploration of a route from Melbourne to Adelaide, and the first land grant in the area was 'Albacutya' station, established by John Coppock in 1846. It stretched from Lake Hindmarsh to the northern end of Lake Albacutya. Closer settlement of the area began when the property was subdivided from the late 1880s onwards.

The land for the town was surveyed and subdivided in 1893, however, development was delayed until the branch railway line from Dimboola was extended via Jeparit from 1894 to 1899. The township site, surveyed in

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1899, was originally known as Albacutya, but it was soon renamed 'Rainbow Rise' because of a crescent-shaped ridge where wildflowers grew. The first township blocks were offered for sale in 1901.

The Rainbow railhead became one of the key transport destinations for the Mallee wheat crops grown in the north and west and its opening coincided with improved wheat yield and increased wheat prices. In 1909 more wheat was transported from Rainbow than any other town in Victoria. Consequently, Rainbow grew rapidly in the first decade of the twentieth century and by 1910, when the population had reached over 1000, was known as the "Metropolis of the Mallee". In that year, a reticulated water supply was completed by the State Rivers and Water Supply Commission and the town by then boasted a newspaper, agricultural society, hospital, masonic lodge, timber merchant, three hotels, the W.C. Thomas Flour Mill, several brick and stone shops and banks, six church congregations (of which three had erected churches) and several fine residences including 'Yurunga', erected in 1909 for the Cust family.

The establishment of a reliable water supply (and, later, an Electric Light Company) encouraged further growth. In 1910 Mr. A.G. Cust erected a row of seven brick shops on the north side of Federal Street at western end, one of which was occupied by Alfred Stevenson's Federal Stores. Alongside, Messrs. MacDonald and Merritt opened new premises in three of the four brick shops erected by Mr. Dart. These were soon followed by the opening of the new post office (built in 1911 by local contractor A.J. Barton of sandstone that was quarried west of Bow Hill), construction of two new churches, and the rebuilding by the owner, Mr George Walliss of the Eureka Hotel as a two storey building to a design by Palmer & Smith, architects of Horsham. Mr Walliss also constructed 'immense stables' at the rear, which were said to have been the largest in Victoria. In 1912 a new Mechanics' Institute was erected to replace the original that had been destroyed by fire and in 1915, following several years of lobbying, a court house was opened.

The growth of the town was reflected in the state school. Opened in 1898, in 1901 the school moved to the new hall recently built in Rainbow and by 1905 was transferred to the new one-room school built of locally quarried stone by local contractor Barton & Son. By 1907 the enrolments had more than doubled from 26 to 87 and in 1908 additions were made to increase the capacity to 150 (*The Horsham Times*, 10 September 1907, p.1 'Rainbow').

The town continued to grow after World War I, boosted by closer settlement in the surrounding region and the continuing growth in wheat farming. As the population grew community facilities were expanded and new ones opened. A higher elementary school was opened in 1921, a new police station in 1923, and in 1926 a cottage hospital was established, which in 1937 became a bush nursing hospital. In 1925 Four shops were erected at the southeast corner of Federal and King streets for J. Wishart. One of the new shops, which featured beautiful metal-framed shopfronts manufactured by Brooks Robinson & Co. of Melbourne, was occupied by O. Gilpin, draper, who held a grand opening sale in July, 1925 (*Rainbow Argus*, 13 February and 31 July, 1925). The Mecca Cinema opened in 1927 and the Royal Hotel was completely rebuilt in 1929 at a cost of £1000. The construction of the Mecca saw the demolition of part of the row of shops erected in 1910 by Mr. Cust, including the former Federal Stores.

In June 1921 the War Memorial was unveiled by Capt. A.W. Wardell of Ararat in the presence of a crowd that included school children, representatives of the Returned Soldiers League, and families of local servicemen. Just over 40 years later in March 1962 the R.S.L. Hall at 49 Federal Street was opened. It had been built by local members of Mt Gambier Stone over a period of about two years. Around this time, the landmark Commercial Hotel at the corner of Federal and Railway streets was demolished and replaced with shops.

References

Longmire, Anne, *Nine creeks to Albacutya: a history of the Shire of Dimboola*, 1985

Robertson, J. Edward, *Rainbow of Today*, October 1910

Victorian Places website, viewed at <https://www.victorianplaces.com.au/rainbow> on 27 June 2020

HERITAGE CITATION REPORT

Description

Physical Description

The Rainbow Town Centre is a commercial and civic precinct comprised of buildings predominantly constructed in the first three decades of the twentieth century. The precinct comprises the whole of Federal Street, and King Street between Dawson Lane and Strauss Lane.

Federal Street is very wide and features central landscaped reserves with curved ends. Each reserve is defined by a low hedge and low woven wire fences with decorative timber posts and mild steel gates and has specimen trees set within lawns. Notable early plantings include the Canary Island Palms (*Phoenix canariensis*) in the reserves at either end. Another notable feature is the war memorial in the reserve to the west of King Street. This is in the form of a tapered granite column, on a rock-faced stepped base and surmounted by a marble soldier with rifle, facing west. It is set within a fenced area, bordered with roses. At the northern end is a rainbow sculpture.

Most of the commercial buildings in the precinct were constructed in the flurry of building that occurred from 1901 to just prior to World War I. The shops are single storey, built of brick, cement block or timber, and have roofs concealed by parapets. Typical of the Federation/Edwardian and early interwar period the parapets have either straight or shaped (curved) profiles, some with semi-circular or triangular pediments, and are divided into bays with expressed pilasters that project above. Most are built up to the frontage. The exception is 58 Federal Street, which is built of cement block and features rock-faced blocks to the corner pilasters, and parapet piers which are surmounted by orbs. Many retain original or early timber or metal framed shopfronts with timber or tiled stallboards and recessed entries (for example, the timber framed shopfronts at 11, 19-25, 24 and 51 Federal Street, and the metal-framed shopfronts at 44-50 Federal Street manufactured by Brooks Robinson & Co., 56 Federal Street by Duff, 16, 20 and 58 Federal Street and 32 King Street), and most have post-supported verandahs, some with distinctive clerestory windows above (for example, nos. 10, 11, 19-25, 34 Federal Street) or cantilevered awnings. While the former shop at 57 Federal Street has been altered, it retains a rare early timber window with a triple-arch form and timber mouldings.

Notable buildings include:

- The Mecca Cinema, 15 Federal Street. This two storey building has a stepped Art Deco style parapet with THE MECCA within a central panel above a cantilevered awning. At ground level the shopfront to the left of the central entry is original, while the opposite side has been altered and now contains public toilets.
- The Post Office, 27 Federal Street. Constructed in 1911, this is a freestanding building setback from the street that adopts a residential bungalow form with a hipped roof and a dominant hipped porch. The walls are of local stone with red brick quoining at wall corners and around door and window openings. The windows are tall narrow timber double hung with nine-pane upper sashes and the broad entry door has sidelights and highlights. The porch is supported on paired timber posts with simple timber brackets and fretwork, set on a stone and brick balustrade.
- Former Chadderton & Jenkins Auctioneers (later Commercial Bank), 29 Federal Street. This cement block building, now overpainted, has a simple symmetrical façade with two arched timber framed windows flanked by arched doorways at either end, each with an original panelled timber door with arched windows. Rockfaced blocks are used for the wall base, as quoining to the wall corners, in the arched heads to the windows and doors and as a band. The balustraded parapet is framed by pilasters and has a central panel. There is one plain chimney.
- Former Commercial Bank of Australia (later Roy Dunn & Sons), 31-33 Federal Street. Constructed of local stone with brick quoining to the openings and wall corners, this building has a simple symmetrical façade with a central entrance door (containing an original or early six panel door with toplight) flanked by windows, each with a compressed arch heads (there are two more windows in the side elevation). The rendered parapet has a straight profile, a cornice and a triangular pediment flanked by scrolls. There is one corbelled brick chimney.

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- Eureka Hotel, 42 Federal Street. Originally single storey, this was rebuilt in 1911 when the second floor was added. It has a simple parapet with incised details and a central ox bow pediment with the hotel name in raised letters above a cornice. Windows are timber sash and some have original leadlight glass. There are several tall chimneys. A notable feature is the two level timber verandah with original cast iron frieze and balustrade.
- Pasco's General Merchants, 43 Federal Street. The most notable feature of this shop is the elaborately detailed metal framed canted shopfronts with leadlight toplights, blue tiling, a deeply recessed central entrance with display cabinets, and early painted signage (including gilded signs 'Drapery', 'Ironmonger', 'Millinery', 'Grocer' within the leadlight toplights and Bushells Tea and the original store logo - an interlocked 'PGS' - in the shopfronts). There is also early painted sign for Robur tea and McAlpin's Flour on the exposed north side wall. The parapet features an arched pediment. The painted signage to the parapet appears to be more recently added in a heritage style.
- Commonwealth Bank, 52 Federal Street. This two storey building appears to have been built in stages or altered during the interwar period, possibly when the second level was added. Symmetrical in appearance, the detailing to the parapet, and the paired columns to the now infilled balcony show the influence of the interwar Stripped Classical style, while original detailing to the ground floor includes the door hood and architraves and quoining.
- Royal Hotel, 54 Federal Street. This two storey hotel is also in the interwar Stripped Classical style. The symmetrical façade is divided into five bays and features a parapet with triangular pediments over the central and end bays, which project slightly forward. The larger central pediment contains the hotel name and is surmounted by a flagpole. The upper floor timber double hung windows have multi-pane upper sashes and are framed by continuous label mould and the windows at ground level have leadlight glass. Other original features include the black and cream tiled dado, and the cantilevered awning with a central triangular fascia. Overall, the building is very intact.
- The Masonic Temple, 34 King Street. This rendered building has gabled roofs (with Health Department vents and tall finials) and is T-shaped in plan with a projecting gabled entrance porch. Distinctive features include the Masonic symbol to the front of the porch and the unusual half-moon windows, otherwise the building is very plain.

The other buildings in the precinct date from the post-war era. These include the RSL sub-branch at the south corner of Taverner Street. L-shaped in plan with a gabled roof, it is constructed of Mt Gambier Stone blocks and has regularly spaced timber sash windows. There is a chimney in one gable, which is flanked by small diamond-shaped windows. The double glass entry doors below a flat-roofed corner porch feature the RSL logo, and there is a plaque on the wall beside to commemorate the 50th anniversary of the end of World War II.

Comparative Analysis

The Rainbow Town Centre compares with the town centres in Dimboola, Jeparit and Nhill. Of these:

- Dimboola Town Centre in Lloyd and Lochiel streets is included within HO34 Dimboola Town Centre Precinct. While the centre developed from the mid-nineteenth century onwards, many of the original buildings were replaced in the early twentieth century and most of the extant buildings date from the Federation and Interwar periods. Like Rainbow it includes predominantly single storey buildings interspersed with two storey buildings including three former banks, a row of shops, and civic buildings including the former Dimboola Shire Offices and the Courthouse. It is slightly larger than Rainbow Town Centre
- Nhill Town Centre in Victoria and Nelson streets is not currently included in the Heritage Overlay. Of all the town centres, Nhill contains the highest proportion of Victorian era buildings including three former banks and some shops. It also contains several substantial two and three storey Federation era buildings including two hotels, shops, the post office, and the former Young Bros. offices.
- Jeparit Town Centre contains several buildings currently within in the HO including the two hotels, the former Jeparit Pharmacy, the National Australia Bank and the former Municipal Buildings. While recent demolitions have created some gaps in the streetscape, this has also happened at Dimboola (which has

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lost the Dimboola Hotel and a corner shop) and overall it is comparable to the other town centres in terms of its mix of building stock and integrity. It is also distinguished by several very fine buildings including the Hindmarsh Hotel and the Memorial Hall and Municipal Offices, which elevate the centre.

Rainbow Town Centre compares well to the above centres. It developed rapidly within the first three decades of the twentieth century and comprises a mix of Federation and interwar buildings, as well as a fine central median with mature trees, and the World War memorial. Like Jeparit it includes predominantly single storey buildings interspersed with two storey buildings including a former, two hotels, and a Cinema. It is slightly larger than Jeparit Town Centre

Statement of Significance

What is significant?

The Rainbow Town Centre Precinct comprising the buildings at 1-11 (part), 15-57 & 10-62 Federal Street and 24-34 King Street, Rainbow is significant. The following buildings and features contribute to the significance of the precinct:

- The buildings constructed from c.1901 to c.1960.
- The overall consistency of building form (straight or shaped parapets, post supported verandahs or suspended awnings), early or original shopfronts (recessed entries, timber or metal framed windows and timber, tiled or stone clad surrounds), materials and detailing (weatherboard, stone, cement block or face brick, corrugated metal roofs, brick chimneys), and siting (built to the front and side boundaries) of the commercial buildings in the precinct.
- The World War memorial and surrounding fencing within the Federal Street median.
- The Federal Street median strip landscaping comprising Canary Island Palms (*Phoenix canariensis*) set in lawns defined by low hedges and timber and wire fences and mild steel gates.

The Significant buildings and features within the precinct are:

- World War I memorial, Federal Street
- Mecca Cinema, 15 Federal Street.
- Post Office, 27 Federal Street.
- Former Chadderton & Jenkins Auctioneers (later Commercial Bank), 29 Federal Street
- Former Commercial Bank, later Roy Dunn & Sons, 31-33 Federal Street.
- Eureka Hotel, 42 Federal Street.
- Former Pasco's General Merchants/Newsagency, 43 Federal Street.
- Commonwealth Bank, 52 Federal Street.
- Royal Hotel, 54 Federal Street.
- Former Masonic Hall, 34 King Street.

Other buildings within the precinct are Contributory, except as specified below.

Alterations and additions to the Significant and Contributory buildings and the buildings at 12-14, 35, 37-41, 40, 45-47, 49, 58A & 60 Federal Street are Non-contributory.

How is it significant?

The Rainbow Town Centre Precinct is of local historic, representative, aesthetic and social significance to

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Hindmarsh Shire.

Why is it significant?

Historically, Rainbow Town Centre is significant as evidence of the rapid development of Rainbow into an important commercial and civic centre in the Mallee in the early part of the twentieth century. Buildings such as the RSL clubrooms and the former Masonic Temple demonstrate the importance of these organisations to the local community during the twentieth century.

(Criterion A)

The Rainbow Town Centre is a representative example of a typical country town civic and commercial centre. The mix of commercial, civic, community and residential buildings is a defining characteristic of rural town centres and the significance of the precinct is enhanced by the intactness to the original phases of development and the overall consistency of building form, scale and detailing. The high degree of intactness of the facades of many of the commercial buildings, which includes some original or early shopfronts and post-supported verandahs, or cantilevered awnings, and shaped parapets, some with distinctive clerestory windows, is especially notable. The former Pasco's General Store, 42 Federal Street, is of especial note for the exceptionally fine and highly intact interwar brass and tiled shopfront with a canted and stepped ingo, leadlight highlight windows with original gilt signage, early painted signage for Bushell's Tea, and the original store logo of interlocked 'PGS'. The underside of the cantilevered awning retains pressed metal lining and there are rare examples of early painted signs for Bushell's Tea and McAlpins Flour on the north wall.

(Criterion D)

The Rainbow Town Centre has aesthetic significance for the consistency and integrity of the streetscapes, which comprise commercial buildings of related scale and form, and post-supported verandahs or cantilevered awnings. The shaped parapets to many of the buildings create a picturesque silhouette and the buildings constructed of local stone and cement block in different finishes are distinctive. Interspersed among these buildings are some impressive civic and commercial buildings including the former Masonic Hall, Mecca Cinema, Post Office, Eureka Hotel, Royal Hotel, the two former banks and Roy Dunn & Sons which are local landmarks and add to the distinctive historic character. The historic buildings are complemented by the wide landscaped median reserves in Federal Street, which contain the War Memorial and mature plantings, and provide a related setting.

(Criterion E)

The World War I memorial has social significance as a place of remembrance and commemoration for the local community. The broader precinct also has social value as a place where the community has gathered to meet, socialise, work and shop.

(Criterion G)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Rainbow Town Centre
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Name: RAINBOW STATE SCHOOL NO.3313 (FORMER)
Address: 30 BOW STREET RAINBOW
Place Type: School - State (public), Shelter Shed
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO22



Rainbow State School No.3313

Recommended Heritage Protection **VHR -**

HI -

PS
Yes

Architectural Style:
Federation/Edwardian Period (1902-c.1918)
Interwar Period (c.1919-c.1940)

History and Historical Context

Rainbow

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 Edward Eyre reached Lake Hindmarsh during his exploration of a route from Melbourne to Adelaide, and the first land grant in the area was Albacutya station, established by John Coppock in 1846. It stretched from Lake Hindmarsh to the northern end of Lake Albacutya. Closer settlement of the area began when Albacutya was subdivided from the late 1880s onwards.

The land for Rainbow was surveyed and subdivided in 1893; however, development was delayed until the branch railway line from Dimboola was extended via Jeparit from 1894 to 1899. The township site, surveyed in

HERITAGE CITATION REPORT

1899, was originally known as Albacutya, but it was soon renamed 'Rainbow Rise' because of a nearby crescent-shaped ridge where wildflowers grew. The first township blocks were offered for sale in 1901.

The Rainbow railhead became one of the key transport destinations for the Mallee wheat crops grown in the north and west and its opening coincided with improved wheat yield and increased wheat prices. In 1909 more wheat was transported from Rainbow than any other town in Victoria. Consequently, Rainbow grew rapidly in the first decade of the twentieth century and by 1910, when the population had reached over 1000, was known as the "Metropolis of the Mallee". In that year, a reticulated water supply was completed by the State Rivers and Water Supply Commission and the town by then boasted a newspaper, agricultural society, hospital, masonic lodge, timber merchant, three hotels, the W.C. Thomas Flour Mill, several brick and stone shops and banks, six church congregations (of which three had erected churches) and several fine residences including 'Yurunga', erected in 1909 for the Cust family.

The establishment of a reliable water supply (and, later, an Electric Light Company) encouraged further growth. In 1910 Mr. A.G. Cust erected a row of seven brick shops on the north side of Federal Street at western end, one of which was occupied by Alfred Stevenson's Federal Stores. Alongside, Messrs. MacDonald and Merritt opened new premises in three of the four brick shops erected by Mr. Dart. These were soon followed by the opening of the new post office, building of two new churches, and the rebuilding of the Eureka Hotel by the owner, Mr George Walliss, as a two storey building. Mr Walliss also constructed 'immense stables' at the rear, which were said to have been the largest in Victoria. In 1912 a new Mechanics' Institute was erected to replace the original that had been destroyed by fire and in 1915 following several years of lobbying, a courthouse was opened.

The town continued to grow after World War I, boosted by closer settlement in the surrounding region and the continuing growth in wheat farming. As the population grew community facilities were expanded and new ones opened. A higher elementary school was opened in 1919, a new police station in 1923, and in 1926 a cottage hospital was established, which in 1937 became a bush nursing hospital. The Mecca Cinema opened in 1927 and the Royal Hotel was completely rebuilt in 1929 at a cost of £1000. The construction of the Mecca saw the demolition of part of the row of shops erected in 1910 by Mr. Cust, including the former Federal Stores.

Rainbow State School No.3313

Schools, like halls and churches, are a tangible symbol of community formation associated with the closer settlement in Hindmarsh Shire from the 1870s onwards and illustrate the rise and decline of districts over time.

Prior to 1872 private or denominational schools operated by churches were the primary education providers in Victoria. Then, in 1872, the *Free, Compulsory and Secular Education Act*, which was guided through the Victorian parliament by George Higginbotham, heralded a new era of State education in Victoria and is also credited with encouraging settlers from South Australia.

Education was an important part of maintaining a distinct culture and religion, hence the interest of religious institutions in opening and maintaining their own schools. While the establishment of the State education system led to the closure of many private or church schools after 1872 the schools operated by the Catholic and Lutheran churches continued to offer an alternative to the secular State schools. Some private schools also continued, and new ones opened although most were short lived.

In the southern parts of Hindmarsh Shire closer settlement began prior to or around the same time as, the passing of the 1872 Act, meaning that many of the first schools were began as private, often church-based, ventures that were soon taken over by the state system. The openings of schools were directly associated with the opening up of land for selection and in Hindmarsh Shire there were two key periods of school building during the 1880s and the 1920s. For example, in the former Lowan Shire more than 40 schools were opened in the period from 1880 to 1891.

However, many rural schools were short lived, closing only a few years after opening and it was not unusual for schools to be relocated according to need. The process of school closures accelerated after World War II as the population of rural areas declined and State government policies encouraged the development of 'Consolidated' or 'Group' schools in larger towns such as Dimboola, Jeparit, Nhill and Rainbow, which were served by buses conveying children from outlying areas.

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The first State School at Rainbow Rise was opened on 5 July 1898 under Head Teacher (HT) Ernest J. Newton. Constructed of pine and plaster, it was situated to the southwest of the present town. At first the school functioned on a half-time basis with Werrap; however, the rapid growth of the town soon required a full time school. In 1901 the school moved to the new hall recently built in Rainbow and by 1905 was transferred to the new one-room school built of locally quarried stone by local contractor Barton & Son. The rapid growth of Rainbow saw enrolments rise to 87 by 1907, which required the building of two additional rooms in 1908 to increase capacity to 150 children. Barton & Son was once again the contractor. The school at Rainbow was soon joined by schools in the surrounding districts at Wheatlands, Pullut, Albacutya, Hazeldene, Pigrik, Winniam East and Nypo.

In 1919 a Higher Elementary School was established in the Mechanics' Hall, before moving to a new building in Albert Street, which was officially opened on 29 April 1921 by the Minister for Public Instruction, Alexander Peacock, accompanied by Frank Tate, Director of Education. In 1959 this was made a High School (later Rainbow Secondary College).

In the post-war period enrolments at the primary school grew as the surrounding rural schools were closed and children were conveyed to Rainbow by a fleet of school buses that also served the High School. Average attendance peaked at 290 in 1967 and during the 1960s additional timber classrooms were added to the school grounds. This included the former Winniam East SS 2895 school room, which was closed c.1953 and relocated to this site.

In 2011 the school relocated to new buildings at Rainbow Secondary College's Albert Street site and this was followed in 2015 by a formal merger, to create Rainbow P-12 College. The local community accessed Small Town Transformation funding from the State Government to convert the former primary school into 'The Oasis: Creativity on the Fringe of the Desert'. The Oasis Rainbow utilises the historic building as a community and cultural hub for the region.

References

Blake, Les (ed.). *Vision and realisation. A centenary history of State education in Victoria*, Volume 2, 1973

Robertson, J. Edward (comp.), *Rainbow of today. The great wheat growing district of Victoria. Illustrating and describing a prosperous town & district with sketches of its principal businessmen*, 1910

Wood, Ian A. (comp.), *Return to Rainbow. A recent history of Rainbow - Souvenir of the Back-to-Rainbow celebrations, 1978, 1978*

Wood, P.L. (comp.), *Early Rainbow (Croajabrim). Souvenir. Back to Rainbow. October 17th to 23rd, 1960, 1960*

Description

Physical Description

The former Rainbow SS 3313 comprises the original stone school buildings, built from 1905 to c.1906, with weatherboard additions dating from the post-World War II period. There is also an early shelter shed within the grounds.

The original school is constructed of random rubble stone and has gabled roofs clad in corrugated iron. The original 1905 one-room school appears to be the section at the north west corner, which has a projecting gabled cloakroom on the south side. On the west side of the cloakroom is the original entry door, which is flanked by angled buttresses. The c.1906 additions comprise the projecting gable on the east side, and the long narrow gabled section to the south of this. Original details include deep bracketed eaves to the main north and east facing gables, high-set multi-pane windows in the west wall, the large banks of multi-paned windows in the north and east gables (the former has a bracketed hood), narrow multi-pane windows in the smaller south facing gables, and corbelled brick chimneys. All the windows are set into the wall and have angled slate sills.

On the east side is a series of connected timber additions. These include light timber construction classrooms with skillion roofs and large window walls of square timber framed windows, as well as at least timber one-room school, which has been relocated to this site. This is the former Winniam East SS 2895 building, which is

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adjacent to the main entrance on the north side. It is gable fronted with bracketed eaves, a bank of timber framed windows below a rectangular louvred vent and beside the original school sign board.

To the south of the former Winniam East school is what appears to be another one room school, which has a hipped roof with exposed rafter ends. It retains original high set three-pane windows in the east wall and west walls. The windows to the south wall are not original. However, the origins of this building are unclear and it may have been constructed on this site.

To the south of the school buildings is the shelter shed, which appears in the 1910 photograph of the school. It is rectangular in plan with vertical metal cladding (which has replaced the original timber) to the walls, which are open around the underside of the eaves.

The street frontages of the school grounds are enclosed by a low cyclone wire fence. The main entrance off Bow Street has 1950s/60s mild steel entry gates with arched tops incorporating 'Rainbow' and two 'S' letters within diamonds.

Comparative Analysis

All one room schools constructed by the Education Department in the nineteenth century were built in a limited number of set sizes as determined by the amount and type of seating accommodation required (Burchell, 1989:i). A variety of standard designs were used from 1873 until the 1890s, when the economic depression saw the cessation of building activity for almost a decade. From about 1899 to 1905 new one room schools were individually designed with elevations 'more in tune' with then current architectural styles (Burchell, 1989:i).

As pressure for building new schools increased after 1905 some designs were re-used several times and Burchell (1989:viii) has identified 44 designs used more than once, which are named for the first school where it was used. The design for 3488 Swan Marsh (1910) was the first to be repeated for a large number of schools - Between 1910 and 1914 it was applied to 74 schools throughout Victoria. This elevation (and the others that followed) was used in association with one of five different standard room sizes, which from 1911 onwards were labelled from smallest to largest as Types A to F, a nomenclature that persisted through a whole variety of elevations up to the 1940s (Burchell, 1989:i). According to Burchell (1989:i) what distinguished these schools from their predecessors were the 'larger windows in the end walls and the provision of separate cloakrooms, which externally resembled very large porches'.

In Hindmarsh Shire there are two surviving schools built in the short period of transition in one-room school design from 1899 to 1905:

- Kenmare SS 3221, built in 1903.
- Rainbow SS 3313, which was built as a one-room school in 1905 and extended in 1906.

These two schools have similar features and detailing including walls constructed of locally sourced random rubble stone, banks of tall, multi-paned windows in the end elevations, with high-set square multi-pane windows in the side walls, bracketed eaves and (at Kenmare) timber truss work to the main gables, and corbelled brick chimneys. While the overall form and layout is similar to the nineteenth century schools, they are distinguished by the large cloakrooms, the larger windows in the end walls supplemented by high set windows in side walls (to provide improved daylight), and the timber detailing to the gable ends at Kenmare, which shows the influence of the Queen Anne style, also seen in some of the other early 1900s schools. Rainbow SS 3313 is also distinguished by unique details such as the angled slate sills and the buttresses beside the original entry door. Historically, the use of local stone - limestone or sandstone - with dressed or random rubble coursing is a distinctive characteristic of many buildings in the Wimmera and Mallee and demonstrates the introduction of traditional building techniques by settlers coming from South Australia, especially those of German descent.

The former Winniam East SS 2895 building was constructed in 1926. It was based on a floorplan known as the 'Improved Glenmore' type. For many years the Education Department had, in an attempt to contain the cost and number of small rural schools, set minimum enrolments and consented to establish very small schools only if

HERITAGE CITATION REPORT

the parents agreed to provide a building and (in extreme cases) agreed to pay part of the teacher's salary. Following a protest by a Member of Parliament about this practice the Department adopted a plan for a smaller building than Type A, which was named after the first example at Glenmore in 1909. After four years, this was replaced by the 'Improved Glenmore' type, which allowed for enrolments of between 24-32 students (Burchell, 1989:i, ii).

Shelter sheds were an important part of school life, providing shelter from the elements and an additional covered space. They were well ventilated to provide school children with plentiful fresh air. Few schools had shelter sheds in the nineteenth century. School Boards of Advice or parents often requested them, and occasionally the Education Department provided small grants or they were erected by the PWD. Requests were more often made for the cheaper alternative of building verandahs on the existing school building for this purpose (Heritage Victoria).

In the early twentieth century the Education Department started a major campaign of updating the school buildings of the nineteenth century. This was evident in such areas as Geelong where in 1906 it was reported that:

The State school authorities are making inquiries into the cost of providing all the country State schools in the Geelong district with hexagonal shelter sheds, with trellis-work sides. The sheds would prove a boon to the children attending the distant schools, where little or no shelter is provided, and as the outlay would not be very considerable, it is expected that orders will shortly be given for the erection of the buildings. (Geelong Advertiser, 4 October 1906 p.2, cited by Heritage Victoria)

Describing rural schools in the first decades of the twentieth century, an Education Department history, published in 1922, stated that 'shady trees are in growth, and the deeper interest in the children is seen in the play pavilions without and the libraries with books and magazines within'. Parents were still expected to organise and fund structures such as shelter sheds, fences, gates and woodsheds, however, from c.1905 the Education Department systematically gave pound-for-pound grants towards the cost of various improvements for school yards including shelter sheds, fences, asphaltting and shade trees. Parents typically formed themselves into local committees and arranged various means of raising their share of the funds (Heritage Victoria). This is a rare surviving example of an early twentieth century shelter shed and compares with the 1920s shelter shed at Dimboola Primary School, and the c.1950s shelter shed at the former Kenmare State School.

Sources

Burchell, L.E., *Survey of one-room State schools 1900-1940*, Historic Buildings Branch, Ministry of Housing and Construction, 1989

Statement of Significance

What is significant?

The former Rainbow State School No.3313 at 30 Bow Street, Rainbow is significant. The following buildings and features contribute to the significance of the place:

- The original school building as constructed in 1905 and extended in 1906.
- The former Winniam East SS 3895 School, relocated to this site c.1955.
- The shelter shed to the south of the 1905/06 school.
- The mild steel entry gates to Bow Street with 'Rainbow SS' incorporated into the design.

Other buildings on the site are not significant.

How is it significant?

HERITAGE CITATION REPORT

The former Rainbow State School No.3313 is of local historic, representative and aesthetic significance to Hindmarsh Shire.

Why is it significant?

The former Rainbow SS 3313 is of historical significance as an early school, which is associated with the establishment of permanent school buildings in the Wimmera during the first decade of the twentieth century. The 1905 school and the 1906 additions also demonstrate the growth of Rainbow during the first decade of the twentieth century when it became one of the largest and most important towns in the Wimmera, while the former Winniam East SS 2895 building is significant as a tangible reminder of the process of closure and consolidation of rural schools after World War II. The shelter shed is significant as an early example, which along with the entry gates show the improvements made to school grounds in the twentieth century by school committees with the assistance of the Education Department. Historically, the use of local stone - limestone or sandstone - with dressed or random rubble coursing is a distinctive characteristic of many buildings in the Wimmera and Mallee and demonstrates the introduction of traditional building techniques by settlers coming from South Australia, especially those of German descent.

(Criterion A)

The former Rainbow SS 3313 is of representative significance as an early twentieth century rural school, with characteristic form and detailing including the gable roof forms, the large projecting porch, the banks of multi-pane windows with hoppers (inward opening sections) in the end elevations (one with a bracketed hood), and six-over-six pane sash windows supplemented by high-set multi-pane windows in the side and end elevations. It is notable for distinctive details such as the use of local stone as the wall material, the angled buttresses beside the east entry door, and the angled slate sills. It is complemented by the shelter shed, which is representative of the simple shelters provided in schools during the early twentieth century. The former Winniam East SS 2895 is significant as an example of a 'Glenmore' type, which was developed specifically for rural schools with low enrolments.

(Criterion D)

The former Rainbow SS 3313 is of aesthetic significance as an early twentieth century school with rustic and picturesque detailing including the random rubble stonework for the walls, the buttresses beside the original entrance door on the east side, corbelled brick chimneys, and the timber trusswork to the bracketed gable ends.

(Criterion E)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 30 Bow Street, Rainbow
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

name: RAINBOW COURT HOUSE
Address: 9 EDDY STREET RAINBOW
Place Type: Court House
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO24



Rainbow Court House

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:

Federation/Edwardian Period (1902-c.1918) Arts and Crafts

History and Historical Context

Rainbow

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 Edward Eyre reached Lake Hindmarsh during his exploration of a route from Melbourne to Adelaide, and the first land grant in the area was Albacutya station, established by John Coppock in 1846. It stretched from Lake Hindmarsh to the northern end of Lake Albacutya. Closer settlement of the area began when Albacutya was subdivided from the late 1880s onwards.

The land for Rainbow was surveyed and subdivided in 1893; however, development was delayed until the

HERITAGE CITATION REPORT

branch railway line from Dimboola was extended via Jeparit from 1894 to 1899. The township site, surveyed in 1899, was originally known as Albacutya, but it was soon renamed 'Rainbow Rise' because of a nearby crescent-shaped ridge where wildflowers grew. The first township blocks were offered for sale in 1901.

The Rainbow railhead became one of the key transport destinations for the Mallee wheat crops grown in the north and west and its opening coincided with improved wheat yield and increased wheat prices. In 1909 more wheat was transported from Rainbow than any other town in Victoria. Consequently, Rainbow grew rapidly in the first decade of the twentieth century and by 1910, when the population had reached over 1000, was known as the "Metropolis of the Mallee". In that year, a reticulated water supply was completed by the State Rivers and Water Supply Commission and the town by then boasted a newspaper, agricultural society, hospital, masonic lodge, timber merchant, three hotels, the W.C. Thomas Flour Mill, several brick and stone shops and banks, six church congregations (of which three had erected churches) and several fine residences including 'Yurunga', erected in 1909 for the Cust family.

The establishment of a reliable water supply (and, later, an Electric Light Company) encouraged further growth. In 1910 Mr. A.G. Cust erected a row of seven brick shops on the north side of Federal Street at western end, one of which was occupied by Alfred Stevenson's Federal Stores. Alongside, Messrs. MacDonald and Merritt opened new premises in three of the four brick shops erected by Mr. Dart. These were soon followed by the opening of the new post office, building of two new churches, and the rebuilding of the Eureka Hotel by the owner, Mr George Walliss, as a two storey building. Mr Walliss also constructed 'immense stables' at the rear, which were said to have been the largest in Victoria. In 1912 a new Mechanics' Institute was erected to replace the original that had been destroyed by fire and in 1915 following several years of lobbying, a courthouse was opened.

The town continued to grow after World War I, boosted by closer settlement in the surrounding region and the continuing growth in wheat farming. As the population grew community facilities were expanded and new ones opened. A higher elementary school was opened in 1919, a new police station in 1923, and in 1926 a cottage hospital was established, which in 1937 became a bush nursing hospital. The Mecca Cinema opened in 1927 and the Royal Hotel was completely rebuilt in 1929 at a cost of £1000. The construction of the Mecca saw the demolition of part of the row of shops erected in 1910 by Mr. Cust, including the former Federal Stores.

Rainbow Court House

As townships grew and settlements progressed maintaining law and order became an important issue. Of particular concern for law enforcement in the Wimmera was dealing with the seasonal influx of labourers and itinerant workers in the harvest period, with assistant police officers regularly appointed during these seasons. Like other public facilities, courts were often established in other buildings such as Mechanics' Institutes or public halls, municipal offices, or even hotels before a permanent building was provided. For example, at Dimboola the first court was held in a room attached to one of the hotels, before a permanent court house was opened in 1876.

The need for a police court in Rainbow was recognised as early as 1906 when a local resident wrote to the Attorney General asking for Justices of the Peace to be appointed (*The Horsham Times*, 8 June 1906, p.1). The first J.P. appointed to Rainbow was John. H. Sleep and by 1907 a Court of Petty Sessions had commenced hearings in the town (*Hamilton Spectator*, 10 December 1907, p.1).

With the growth of Rainbow a permanent court house became necessary and the local Progress Association lobbied for one to be provided. The Public Works Department prepared plans in early 1914 and tenders were called in June with the successful contractor being McDonald Bros. of Horsham. Building commenced in December 1914 and was complete by March 1915, but the official opening was not held until 17 August 1915. In an article in the local newspaper, the building was described as adding 'another link to the architectural beauty of the public buildings of the town' and specific mention was made of the 'special regard' paid to ventilation and lighting, which included eight 'improved Tobin vents' through the walls and three exhaust roof vents, and the eight twin highlight sashes to the court room, all hinged and provided with special fan openers. The fittings, which included the magistrate's bench, clerk's desk, and parti-glass screen with sliding doors, together with barrier and seat in the vestibule, were constructed using mottled and varnished Kauri, while the fireplaces were in polished Victorian hardwood (*Rainbow Argus*, 19 March 1915, p.2).

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The Rainbow Court House was opened by Mr E. Harrison, Police Magistrate, who congratulated the local Progress Association and the residents on the construction of a 'magnificent building' adding the town was 'the centre of a rapidly expanding district' and the court house would be adequate for all requirements. He spoke of the advantages of Court sittings, which enabled residents to place their complaints before a fully qualified tribunal (*Rainbow Argus*, 20 August 1915, p.2).

The building was used as a Magistrate's Court until 1982 when it was closed. For many years before its closure and until 1987 the courthouse was also used by the local branch of the Lands Department. Following this, it was used by Wimmera Community College of TAFE until 1996 and since then the Rainbow Learning Group and Neighbourhood House (RLGNH) has leased the building. The RLGNH provides services and resources to the local community including computers, internet and photocopying for public use, and classes and groups such as patchwork, arts and crafts, dancing, card-making, book clubs and nutrition.

References

Robertson, J. Edward (comp.), *Rainbow of today. The great wheat growing district of Victoria. Illustrating and describing a prosperous town & district with sketches of its principal businessmen*, 1910

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Wood, P.L. (comp.), *Early Rainbow (Croajabrim). Souvenir. Back to Rainbow. October 17th to 23rd, 1960*, 1960

Information and notes provided by Rainbow Archives & Historical Society including 'Report on the former Rainbow Courthouse for the Historic Places Branch, Department of Conservation, Forests and Lands', prepared by Trevor Westmore Design & Conservation Consultant (n.d.).

Description

Physical Description

The former Rainbow Court House is a Federation timber building with Arts & Crafts detailing. The walls are clad in weatherboards with rough cast beneath the eaves and the roofs are clad in corrugated iron. It comprises an almost double-height (but single storey) court chamber with ancillary rooms to the front, along the east side and to the rear. The central court chamber has a gable-hipped (Dutch gable) roof with deep overhanging eaves with exposed rafters. At the front is projecting gable, which has a louvred timber vent set in roughcast above a signboard and a horizontal group of three, six-pane windows. There are similar windows set within the roughcast band around the eaves in the side walls.

Below and in front is a project low-pitch gable with deep eaves, which contains the vestibule (a sitting area outside the court chamber). This has a large window comprising three six-over-six pane timber sash windows. Wrapping around the east side and the rear are further ancillary rooms (originally, an office, witness' room, clerk's office and magistrates room under hipped roofs with the same deep eaves as the main roof. These have timber sash windows (some with six pane upper sashes) and there is a door in the east elevation with a six pane toplight opening to the corridor beside the clerk's office. There are two plain brick chimneys with simple rendered tops and cornices.

Internally, the building is lined in T&G boards laid vertically with capping to dado height and horizontally above. The building appears to retain most if not all of the original built in furniture and fittings shown on original plans and described in newspaper accounts including:

- The judge's bench (and gavel), the witness dock, and an original seating pew in the court chamber
- The panelled wall and sliding screen with desk behind between the side passage and the clerk's room.
- The built in seat in the vestibule (this has been altered by the installation of a desk)
- Original fireplace surrounds in the court chamber, clerk's office and magistrate's room

The building is in good condition and is highly intact internally and externally. Minor alterations include the loss of some of the decorative trusswork to the gable ends and above the porch entry (specially the removal of

HERITAGE CITATION REPORT

vertical timbers). The present colour scheme of cream walls and dark green trim is not original (an early photos shows darker wall colour with light colour to some trim details) and the present cyclone wire fence has replaced a timber picket fence shown in an early photo.

Comparative Analysis

In the nineteenth century, government agencies including the Public Works Department, the Education Department and the Victorian Railways introduced the use of standard plans for different types of public buildings including schools and railway stations as a means of minimising building costs. This is also true of the design of most court houses in Victoria that followed a standard plan, which changed little from the mid-nineteenth to the early twentieth century. They are characterised by a dominant double height (but single storey) central structure containing the court room, with ancillary rooms for the clerk and magistrates to either one side or both sides or to the rear usually in a symmetrical arrangement. In the nineteenth century there was usually a timber framed verandah at the front, which by the early twentieth century had been superseded by an enclosed 'vestibule' or waiting room to provide additional space for the public. This standard plan was used for both timber and brick buildings, which varied primarily in the application of the architectural style. In the nineteenth century, most court houses prior to the 1880s were designed in a Free Classical style with a gable front to the court room, while those built during the boom years of the 1880s were in a variety of styles including Queen Anne, and Romanesque.

Rainbow is one of 19 court houses designed and built by the Public Works Department in a four year period from 1910 to 1914, mostly in one of two styles. The first group were built in brick and render in the Federation Free style with curved parapets. Examples include Kyabram, Leongatha, Cobram and Cohuna. The second group, which includes Rainbow, was a series of timber-framed weatherboard court houses in the Federation Arts & Crafts with distinctive hip or gable-hipped roofs, all built within the Mallee or Wimmera. There are no comparable examples in Hindmarsh Shire, but Rainbow is essentially identical to the former Ouyen Court House, built in 1912, and other comparisons include Woomelang.

Statement of Significance

What is significant?

The former Rainbow Court House, designed by the Public Works Department in 1914 and opened in 1915, at 9 Eddy Street, Rainbow is significant. The interior of the building to the extent of the original furniture and fittings (Judge's bench, witness dock, panelled wall/screen and desk to the Clerk's office, built-in seat in the vestibule, and fireplaces) also contributes to the significance of the place.

Alterations and additions are not significant.

How is it significant?

The former Rainbow Court House is of local historic and representative significance to Hindmarsh Shire.

Why is it significant?

The former Rainbow Court House is of historical significance as an early twentieth century rural court house. It demonstrates the development of law and order facilities in Hindmarsh Shire and the growing importance of Rainbow as an administrative centre in the early twentieth century.

(Criterion A)

The former Rainbow Court House is a representative and intact example of the small timber Federation Arts & Crafts style court houses built in the early twentieth century to serve the Mallee and Wimmera regions. The original internal layout is intact and displays the typical features of a central court room with entrance vestibule, with rooms along the side and rear comprising an office, witness' room and clerk's office separated by a passage at the side, and the magistrate's room at the rear. The representative value is enhanced by the internal fittings and furnishings, which are intact.

(Criterion D)

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Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	Yes
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 9 Eddy Street, Rainbow
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Name: ST PAUL'S ANGLICAN CHURCH & HALL
Address: 12 EDDY STREET, RAINBOW
Place Type: Church, Church Hall, Bell Tower
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO25



St Paul's Anglican Church

**Recommended
Heritage Protection**

VHR -

HI -

**PS
Yes**

Architectural Style:
Federation/Edwardian Period (1902-c.1918) Gothic
Postwar Period (1945-1965)

History and Historical Context

Rainbow

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 Edward Eyre reached Lake Hindmarsh during his exploration of a route from Melbourne to Adelaide, and the first land grant in the area was Albacutya station, established by John Coppock in 1846. It stretched from Lake Hindmarsh to the northern end of Lake Albacutya. Closer settlement of the area began when Albacutya was subdivided from the late 1880s onwards.

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The land for Rainbow was surveyed and subdivided in 1893; however, development was delayed until the branch railway line from Dimboola was extended via Jeparit from 1894 to 1899. The township site, surveyed in 1899, was originally known as Albacutya, but it was soon renamed 'Rainbow Rise' because of a nearby crescent-shaped ridge where wildflowers grew. The first township blocks were offered for sale in 1901.

The Rainbow railhead became one of the key transport destinations for the Mallee wheat crops grown in the north and west and its opening coincided with improved wheat yield and increased wheat prices. In 1909 more wheat was transported from Rainbow than any other town in Victoria. Consequently, Rainbow grew rapidly in the first decade of the twentieth century and by 1910, when the population had reached over 1000, was known as the "Metropolis of the Mallee". In that year, a reticulated water supply was completed by the State Rivers and Water Supply Commission and the town by then boasted a newspaper, agricultural society, hospital, masonic lodge, timber merchant, three hotels, the W.C. Thomas Flour Mill, several brick and stone shops and banks, six church congregations (of which three had erected churches) and several fine residences including 'Yurunga', erected in 1909 for the Cust family.

The establishment of a reliable water supply (and, later, an Electric Light Company) encouraged further growth. In 1910 Mr. A.G. Cust erected a row of seven brick shops on the north side of Federal Street at western end, one of which was occupied by Alfred Stevenson's Federal Stores. Alongside, Messrs. MacDonald and Merritt opened new premises in three of the four brick shops erected by Mr. Dart. These were soon followed by the opening of the new post office, building of two new churches, and the rebuilding of the Eureka Hotel by the owner, Mr George Walliss, as a two storey building. Mr Walliss also constructed 'immense stables' at the rear, which were said to have been the largest in Victoria. In 1912 a new Mechanics' Institute was erected to replace the original that had been destroyed by fire and in 1915 following several years of lobbying, a court house was opened.

The town continued to grow after World War I, boosted by closer settlement in the surrounding region and the continuing growth in wheat farming. As the population grew community facilities were expanded and new ones opened. A higher elementary school was opened in 1919, a new police station in 1923, and in 1926 a cottage hospital was established, which in 1937 became a bush nursing hospital. The Mecca Cinema opened in 1927 and the Royal Hotel was completely rebuilt in 1929 at a cost of £1000. The construction of the Mecca saw the demolition of part of the row of shops erected in 1910 by Mr. Cust, including the former Federal Stores.

St Paul's Anglican Church

The first settlers in Hindmarsh Shire soon began holding religious services and as numbers increased, formed themselves into congregations. Before churches were built, religious services were held in private residences and later, as townships formed, or in public buildings such as halls or schools, or even in parks. Residences were built to accommodate clergymen and their families, and as such were an integral part of building a local religious community with a resident priest. Sunday schools were a common form of spiritual education for children of the various congregations.

Churches also illustrate the waves of migration since the nineteenth century. Migrant communities were defined particularly by cultural and religious identities carried from the place of origin and a marked characteristic of the Wimmera and Mallee regions is the high numbers of people who worshipped at the traditional 'churches of dissent': Presbyterian, Methodist, Baptist, Church of Christ and Lutheran. According to Priestley (1967:102) this strength depended partly on the origins of the first settlers (many came from South Australia, a 'paradise of dissent') but was also fostered by the 'circumstances of the district itself':

The simplicity, even austerity, of the forms of worship in these dissenting churches, as well as the social values they championed, seemed to accord naturally with the simple austere lives which wheat farmers and business traders were forced to live.

The first Anglican church services in Hindmarsh Shire began in Dimboola in 1859. These early services were held in a building built of native pine slabs, which became known as the 'log cabin church'. During the 1860s Dimboola was served by itinerant preachers who travelled long distances, but by 1870 as the population of the Wimmera district grew and townships began to develop the newly appointed Archdeacon of Ballarat and Hamilton recognised the need for more frequent visitation. In 1870 the decision was made to create a new Diocese to serve the western part of the Colony and in 1875 Dimboola became part of the Diocese of Ballarat,

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which included most of the west and south west of Victoria extending to the South Australian border.

With the opening up of the Wimmera for selection the need for new churches and schools became even more pressing as the population continued to grow. In 1885 the Bishop of Ballarat wrote of the challenges of establishing new churches within the vast Wimmera Mallee region, which in the early 1880s contained only one temporary timber church and parsonage. Services were otherwise held in five halls, four state schools and four private houses. The Bishop identified a need for at least 30 churches and three parsonages (church residences), with priority given to the then emerging centres of Murtoa, Minyip, Kewell, Warracknabeal, Dimboola, Kiata, Nhill, Draper Town and Yanac-a-Yanac. The churches at Murtoa, Warracknabeal and Dimboola were planned to be of brick, and to cost 500 pounds each to make them 'fit for public worship'. The other buildings were planned to be of wood. The cost of the churches was to be funded by the Diocese (including money donated by Church of England parishes in England) and local contributions (*The Church of England Messenger and Ecclesiastical Gazette for the Diocese of Melbourne and Ballarat*, 5 February 1885, p.8 'In the bush').

At Dimboola, monthly services commenced in June 1876 following the arrival of the Rev. J.M. Watson who took up residence in the town in May. A Sunday School was established and as enrolments at the school and the congregation continued to grow the first parsonage was acquired. The first occupant was the Rev. George Geer and Dimboola became the centre of a parochial district that initially included Murra Warra, Bleak House, Murtoa and Jung Jung. The first church, St Peter's, was opened on 16 November 1885.

The establishment of St Peter's at Dimboola led to the opening of Anglican churches in other towns. At Rainbow following the visit of Bishop Green in 1902, periodic services commenced in the first public hall, followed by more regular services at the home of Mr. F.D. Young, and then in the Presbyterian Church. As the township and congregation grew the foundation stone for St Paul's was laid by Sydney Sampson M.H.R. on 27 July 1910 and the church was opened for divine worship on 20 March 1911. Designed by Diocesan architects, Barlow, Molloy & Chandler, of Ballarat, the builder was A. Coulson of Rainbow, whose tender price was 590 pounds.

At the time of opening, Rev. H.C. Russell was appointed as the first resident vicar, serving Rainbow and Jeparit parishes. Then, from 1913 to 1923 the church was worked from Jeparit. With the continuing growth of both towns and congregations after World War I a house in Dart's Avenue, Rainbow was purchased in 1923 to become the vicarage, and in 1928-29 St Paul's was extended with the addition of the chancel and vestry. The church additions were designed by Richards, Coburn & Richards.

St Paul's Ladies' Guild, formed in 1908, has played an important role in the development and welfare of St Paul's church by raising funds for the construction and furnishing of the church and other improvements including the establishment of the Parish Hall. After several years of planning the Parish Hall, designed by P.S. & G.S. Richards, was opened by the Archdeacon of Ballarat, the Rev. Robert Porter, during the 'Back to Rainbow' celebrations on 16 October, 1960.

In 1951 the church residence was sold and for some time thereafter St Paul's was grouped with Hopetoun and Beulah and served by ministers based in Hopetoun.

St Paul's now forms part of the Parish of West Wimmera, which includes St George's Nhill, St Augustine's Kaniva, and St Peter's Dimboola.

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Wood, P.L. (comp.), *Early Rainbow (Croajabrim). Souvenir. Back to Rainbow. October 17th to 23rd, 1960, 1960*

Description

Physical Description

St Paul's Anglican Church is a Federation Gothic Revival style building. The nave and porch, constructed in 1911, are constructed of concrete blocks with cement dressings, while the chancel and vestry, added in 1928-29, have rendered walls, ruled to resemble Ashlar blocks. The church has characteristic Gothic Revival detailing including parapeted gables with corbelling, stepped buttresses and lancet windows with diamond leadlight containing coloured glass. The front porch, which is placed off centre, has a square parapet with a cornice, and pointed arch timber doors in the front and side. Above the porch is an oculus with a trefoil pattern louvred vent, and there is a Celtic cross to the apex of the gable. To the right of the porch in the front wall is the marble foundation stone.

Internally, the coved ceiling to the nave has dark stained arch-braced hammerbeam timber trusses and two memorial stained glass windows. The including the rear of the chancel.

The church hall, to the rear of the church facing King Street, is constructed of cream brick and comprises a longitudinal gabled section, which contains the hall, behind a parapeted front, with a recessed porch, placed off centre. The porch, which is supported by a single metal pole, provides access to the entry hall on the left and the kitchen to the right. The windows to the main elevation comprise paired, pointed arch coloured glass above inward opening hoppers in groups of two, three and four and there are similar high set windows in the south wall set between and beside the full height pilasters. The north end wall has the same pilasters, but no windows, and at both ends between the pilasters at the apex of the gable are louvred timber vents. Below the window to the porch is the metal foundation plaque, and above the porch 'Paul's Parish hall' (The 'St' appears to be missing) is in metal lettering on the rendered parapet.

Between the church and hall beside the King Street boundary is a small metal-framed bell tower with a conical metal hood surmounted by a metal cross.

Comparative Analysis

By the end of the nineteenth century the Gothic style had been adopted by most of the Protestant churches, and during the interwar period the Gothic style was continued in church design, but was increasingly simplified or abstracted. A number of transitional styles also emerged, which succeeded in making the break from Gothic, but not with historicism entirely. They included Byzantine/Exotic, Mediterranean/Spanish revival, Arts & Crafts eclectic and Neo-Grec (twentieth century revival of Greek classicism) (Lewis 1991:34-5).

Early churches in Hindmarsh Shire were typically simple timber (Carpenter Gothic) buildings built by the congregations. They often comprised only a nave, with anterooms containing the vestry, chancel or choir added in later stages. The decoration of these early churches was limited to occasional flourishes such as Gothic Revival diamond pattern leadlight quarry windows, religious motifs such as a cross (often mounted at the apex of the roof gable) and decorative bargeboards. More substantial churches were built in larger towns and in other areas by the early twentieth century and the interwar period, with the older building often becoming the church hall. Like schools and halls, churches were sometimes moved according to as areas declined or prospered.

St Paul's Anglican Church is one of about eight Federation era churches in Hindmarsh Shire, all of which are Gothic Revival in style. With the exception of St Joseph's Catholic Church, Dimboola (1907), which is a Carpenter Gothic (timber) building, all the others are of masonry construction including stone (Rainbow Baptist of 1905, Pella Lutheran of 1911) and brick or rendered brick (St Mary's Catholic Church, Rainbow of 1911, Netherby Methodist of 1918, Netherby Lutheran of 1918).

St Paul's Anglican Church (1911) and the former Rainbow Methodist Church (1909) are notable as early

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examples of churches constructed from concrete blocks, which are among the first in Victoria. The earliest known example is the Welsh Methodist Church at Snake Valley, which was commenced in 1908 and is now included on the Victorian Heritage Register (H2007). Another early example is the Anglican Church at Linton (1909).

Concrete blocks were one of the main concrete technologies used for house building in the period from the early 1900s (when the first systems became available in Australia) to 1940. The others were monolithic (or mass) reinforced concrete, and precast reinforced concrete slabs.

Solid concrete blocks had been used as early as 1832 in England, but it was only with the development of hollow blocks that concrete block construction became viable, and this was to take several decades. The critical development was the invention of a machine for forming hollow blocks. The first patent in the United States was issued in 1887 and others followed in 1889 and 1903. By 1907 there were about 100 companies making block machines.

In Australia the American Hollow Concrete Wall Co. was launched in Melbourne in 1905 and published a pamphlet illustrated the process for producing the blocks, which could include quoins, jambs, and partition blocks. By this time the company was offering to supply metal moulds and special licence to those wishing to manufacture and build with the blocks themselves and could also supply portable machines. From 1905 rock-faced blocks were common in Australia, as most moulding machines offered this as one of the options and by 1910 there were several different machines available in Australia from England and the US, as well as the first Australian examples, which included the Midget Giant and the Emu Brick Machine.

In addition to these two concrete block churches, five interwar churches in Hindmarsh are constructed in reinforced concrete (St John's Lutheran, Jeparit of 1925, Antwerp Methodist, c.1924, Tullyvea Methodist, 1924, Pepper Plains Baptist, 1924, and Lorquon Methodist, 1926), while Jeparit Uniting (former Methodist) Church (built by the same contractors as St John's Lutheran) has a reinforced concrete frame. The reason for this unusually high number of concrete or concrete block churches is unknown, but is perhaps related to the establishment of a cement works at Rainbow, which saw the building of many concrete or concrete block buildings in the town and surrounding district. The builder, A. Coulson, also built the Rainbow Methodist Church in concrete block in 1909, as well as concrete block buildings in Hopetoun. He is likely to have constructed most of the other concrete block buildings in Rainbow, including several residences.

St Paul's is a representative Federation Gothic Revival church with characteristic form and detailing including the parapeted gables, stepped buttresses, pointed arch windows (with leadlight diamond pane or stained glass) and doors. Distinctive details include the parapeted porch, the oculus vent in a trefoil pattern, Celtic Cross and corbels to the parapeted gables, while the dark-stained arch-braced hammer beams and the two memorial stained glass windows are notable features of the interior. The aesthetic qualities of the church are complemented by the gateposts of rock-faced blocks with stepped caps and ball finials, and the metal framed bell tower with a conical cap surmounted by a cross.

The church hall is one of two architect-designed postwar halls in Hindmarsh Shire and compares with the hall designed in 1962 by J. Gordon Williams at the Jeparit Uniting (former Methodist) Church. Both exhibit characteristics of the Melbourne Post-war regional style, which include low pitched gabled roofs with deep eaves, face brick walls and (in the case of the Jeparit Hall) a narrow linear form and large window walls with regularly spaced timber mullions. The windows to St Paul's Church Hall, which comprise paired, pointed arch coloured glass above inward opening hoppers in groups of two, three and four are a distinctive detail.

St Paul's is also representative as being (at various times) Parish centre, which is demonstrated by the presence of the hall. In this respect it compares with St Peter's at Dimboola.

Statement of Significance

What is significant?

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St Paul's Anglican Church, designed by Barlow, Molloy & Chandler in 1911 and the 1928-29 additions by Richards, Coburn & Richards at 12 Eddy Street, Rainbow is significant. The church hall, designed by P.S. & G.S. Richards in 1959, the concrete block gate posts and wrought iron gate at the front of the church, and the metal framed bell tower also contribute to the significance of the place.

Alterations and additions (other than specified above) are not significant.

How is it significant?

St Paul's Anglican Church is of local historic, representative, aesthetic and social significance to Hindmarsh Shire.

Why is it significant?

St Paul's Anglican Church is historically important as an expression of the establishment and development of the Anglican Church in northern part of Hindmarsh Shire in the early twentieth century and as one of the early community buildings in Rainbow. The church, built in 1911, is associated with the rapid development of Rainbow in the first decade of the twentieth century when it grew to a town of 1000 people between 1901 when the township was surveyed and 1910, and the additions of 1928-29 are associated with a period of growth when St Paul's was separated from Jeparit to become a Parish Centre with its own resident minister. The church hall contributes to an understanding of the role of Rainbow as a Parish centre.

(Criterion A)

St Paul's Anglican Church is significant as a representative example of a Federation Gothic Revival style church with characteristic form and detailing including the parapeted gables, stepped buttresses, pointed arch windows (with leadlight diamond pane or stained glass) and doors, and arch-braced hammer beams to the interior. Distinctive details include the parapeted porch placed off-centre, and the oculus vent. It is also significant as an early example of a church constructed of concrete blocks.

(Criterion D)

St Paul's Anglican Church is of aesthetic significance as Federation Gothic Revival style church with fine and distinctive details. Externally these include the oculus with louvred vent in a trefoil pattern, Celtic Cross and corbels to the parapeted gables, stepped buttresses, while the arch-braced hammer beams and the two memorial stained glass windows are notable features of the interior. The aesthetic qualities of the church are complemented by the gateposts of rock-faced blocks with stepped caps and ball finials, and the metal framed bell tower with a conical cap surmounted by a cross. The windows to the Church Hall, which comprise paired, pointed arch coloured glass above inward opening hoppers in groups of two, three and four are a distinctive detail of that building.

(Criterion E)

St Paul's Anglican Church is socially significant as a place that has served the Anglican congregation in Rainbow and district for over 110 years. As well as the spiritual needs of the congregation, the church and hall are also important meeting places that provide social support for people from isolated rural communities.

(Criterion G)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-

HERITAGE CITATION REPORT

Incorporated Plan

Statement of Significance: 12 Eddy Street, Rainbow

Aboriginal Heritage Place

-

HERITAGE CITATION REPORT

name: BAPTIST CHURCH (FORMER)
Address: 38 TAVERNER STREET RAINBOW
Place Type: Church
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO21



Rainbow Baptist Church

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:
Federation/Edwardian Period (1902- c.1918)

History and Historical Context

Rainbow

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 Edward Eyre reached Lake Hindmarsh during his exploration of a route from Melbourne to Adelaide, and the first land grant in the area was Albacutya station, established by John Coppock in 1846. It stretched from Lake Hindmarsh to the northern end of Lake Albacutya. Closer settlement of the area began when Albacutya was subdivided from the late 1880s onwards.

The land for Rainbow was surveyed and subdivided in 1893; however, development was delayed until the branch railway line from Dimboola was extended via Jeparit from 1894 to 1899. The township site, surveyed in

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1899, was originally known as Albacutya, but it was soon renamed 'Rainbow Rise' because of a nearby crescent-shaped ridge where wildflowers grew. The first township blocks were offered for sale in 1901.

The Rainbow railhead became one of the key transport destinations for the Mallee wheat crops grown in the north and west and its opening coincided with improved wheat yield and increased wheat prices. In 1909 more wheat was transported from Rainbow than any other town in Victoria. Consequently, Rainbow grew rapidly in the first decade of the twentieth century and by 1910, when the population had reached over 1000, was known as the "Metropolis of the Mallee". In that year, a reticulated water supply was completed by the State Rivers and Water Supply Commission and the town by then boasted a newspaper, agricultural society, hospital, masonic lodge, timber merchant, three hotels, the W.C. Thomas Flour Mill, several brick and stone shops and banks, six church congregations (of which three had erected churches) and several fine residences including 'Yurunga', erected in 1909 for the Cust family.

The establishment of a reliable water supply (and, later, an Electric Light Company) encouraged further growth. In 1910 Mr. A.G. Cust erected a row of seven brick shops on the north side of Federal Street at western end, one of which was occupied by Alfred Stevenson's Federal Stores. Alongside, Messrs. MacDonald and Merritt opened new premises in three of the four brick shops erected by Mr. Dart. These were soon followed by the opening of the new post office, building of two new churches, and the rebuilding of the Eureka Hotel by the owner, Mr George Walliss, as a two storey building. Mr Walliss also constructed 'immense stables' at the rear, which were said to have been the largest in Victoria. In 1912 a new Mechanics' Institute was erected to replace the original that had been destroyed by fire and in 1915 following several years of lobbying, a court house was opened.

The town continued to grow after World War I, boosted by closer settlement in the surrounding region and the continuing growth in wheat farming. As the population grew community facilities were expanded and new ones opened. A higher elementary school was opened in 1919, a new police station in 1923, and in 1926 a cottage hospital was established, which in 1937 became a bush nursing hospital. The Mecca Cinema opened in 1927 and the Royal Hotel was completely rebuilt in 1929 at a cost of £1000. The construction of the Mecca saw the demolition of part of the row of shops erected in 1910 by Mr. Cust, including the former Federal Stores.

Rainbow Baptist Church

The first settlers in Hindmarsh Shire soon began holding religious services and as numbers increased, formed themselves into congregations. Before churches were built, religious services were held in private residences and later, as townships formed, or in public buildings such as halls or schools, or even in parks. Residences were built to accommodate clergymen and their families, and as such were an integral part of building a local religious community with a resident priest. Sunday schools were a common form of spiritual education for children of the various congregations.

Churches also illustrate the waves of migration since the nineteenth century. Migrant communities were defined particularly by cultural and religious identities carried from the place of origin and a marked characteristic of the Wimmera and Mallee regions is the high numbers of people who worshipped at the traditional 'churches of dissent': Presbyterian, Methodist, Baptist, Church of Christ and Lutheran. According to Priestley (1967:102) this strength depended partly on the origins of the first settlers (many came from South Australia, a 'paradise of dissent') but was also fostered by the 'circumstances of the district itself':

The simplicity, even austerity, of the forms of worship in these dissenting churches, as well as the social values they championed, seemed to accord naturally with the simple austere lives which wheat farmers and business traders were forced to live.

Baptist Church services in the Wimmera commenced following the appointment in 1890 of Rev. J.H. Jones, a Welsh preacher, to Horsham with a mission to organise church activities in the new settlements further north. Early outposts were established at Crymelon (east of Jeparit, now within Yarriambiack Shire), and later at Brentwood (south east of Rainbow), where a church was officially opened by Rev. Potter of Warracknabeal on 26 April 1891. In 1892 a Mr. Robertson was placed in charged of Beulah and district, which covered a wide area including Hopetoun, Brentwood and Rainbow. At the behest of local residents including James and Beatrice Knott, Robertson organised the first Baptist services at Rainbow, which were held in 1895 initially in the home of W.K. Dart and later in the first public hall.

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As the township grew following the opening of the railway a church was built in 1904-05 in Taverner Street on land donated by Mr. James Dart. Upon opening in March 1905 Mr J.H. Ewart was appointed as the first minister, and Mr. D.A McMillan was the first Sunday School superintendent.

The establishment of the church at Rainbow enabled 'preaching stations' and services to be held at homes in the surrounding districts including Lake Hindmarsh where a church was later built.

As originally constructed the church comprised the nave and a small front porch. Later, a vestry was added to the rear. In 1914 electricity was installed in the church. In 1957 the Galaquil East Baptist Church was relocated to the rear of the church to become a Sunday school.

As the population of the district declined in the post-war period the congregations of outlying churches were joined with the Rainbow congregation. This occurred at Lake Hindmarsh (closed in 1965) and Brentwood, which closed in 1977 after 86 years of service. From 1971 Rainbow shared a minister with the Baptist Churches at Hopetoun and Turiff and in 1975 the three congregations formed the Mallee Parklands Baptist Church.

The Rainbow Baptist Church was closed in December 1995 and the building is now used as a private residence.

References

Priestly, Susan, *Warracknabeal: A Wimmera centenary*, 1967

Public Records Office of Victoria (PROV), Rainbow Baptist Church building file

Robertson, J. Edward (comp.), *Rainbow of today. The great wheat growing district of Victoria. Illustrating and describing a prosperous town & district with sketches of its principal businessmen*, 1910

Wood, Ian A. (comp.), *Return to Rainbow. A recent history of Rainbow - Souvenir of the Back-to-Rainbow celebrations, 1978, 1978*

Wood, P.L. (comp.), *Early Rainbow (Croajabrim). Souvenir. Back to Rainbow. October 17th to 23rd, 1960, 1960*

Description

Physical Description

The former Rainbow Baptist Church is small Federation church comprised of a nave with a gabled roof, and a gabled front porch. It is constructed of random rubble local limestone with render dressings as quoining to the wall corners and architraves around the pointed windows in the side walls of the nave. The timber frame nave windows contain three square panes below a pointed upper section in a tripartite arrangement with red, blue and green glass. The porch walls are finished in cement render, which has been ruled to resemble Ashlar blocks, and there is one pointed window in front with timber doors on either side. Other details include a louvred timber pointed arch vent in the apex of front and rear gables, and conical ventilation tubes along the roof ridge. Internally, there is a coved ceiling with pressed metal lining incorporating square vents, but no other detailing. The roofs have been reclad in galvanised steel.

Alterations and additions include timber pergolas on either side of the porch, the replacement of the timber entry doors, and new leadlight in the porch window.

(At the time of inspection in 2022 the rear skillion section, which originally contained the vestry, was in very poor, structurally unsound condition and was planned for demolition).

Comparative Analysis

By the end of the nineteenth century the Gothic style had been adopted by most of the Protestant churches, and during the interwar period the Gothic style was continued in church design, but was increasingly simplified or abstracted. A number of transitional styles also emerged, which succeeded in making the break from Gothic, but not with historicism entirely. They included Byzantine/Exotic, Mediterranean/Spanish revival, Arts & Crafts

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eclectic and Neo-Grec (twentieth century revival of Greek classicism) (Lewis 1991:34-5).

Early churches in Hindmarsh Shire were typically simple timber (Carpenter Gothic) buildings built by the congregations. They often comprised only a nave, with anterooms containing the vestry, chancel or choir added in later stages. In larger towns, these early churches were sometimes replaced by more substantial buildings and became the church hall. Like schools and halls, churches were sometimes moved according to as areas declined or prospered.

The decoration of these early churches was limited to occasional flourishes such as Gothic Revival diamond pattern leadlight quarry windows, religious motifs such as a cross (often mounted at the apex of the roof gable) and decorative bargeboards. More substantial churches were built in larger towns and in other areas by the early twentieth century and the interwar period.

The former Rainbow Baptist Church, of 1905, is one of about six Federation/Edwardian era churches in Hindmarsh Shire. It is an example of the simple churches built for small congregations with some Gothic details such as the pointed arch windows and vents. It is distinguished by the use of local limestone as the construction material. The use of local stone - limestone or sandstone - with dressed or random rubble coursing (with brick or masonry dressings to the corners and openings in more sophisticated examples), was typical of South Australian architecture from the 1840s to the interwar period. It is also seen in areas of Victoria with similar stone in the western part of the state. In Hindmarsh Shire, the use of local limestone for buildings in towns was introduced by settlers coming from South Australia, especially those of German descent.

Other examples of stone churches include the St George's Anglican Church, Nhill (1898), former Presbyterian Church, Rainbow (1905); and Pella Lutheran Church (1911). Of these, the churches at Pella and Nhill are notable as fine and well-detailed examples of Early English Gothic style with characteristic details such as parapeted gables and buttressed walls. St George's, Nhill is also distinguished by the brick dressings.

This church, by comparison, is a less sophisticated design, but it is representative of a small Federation churches in random rubble local limestone with simple, restrained detailing. The austere appearance of the building is relieved only by the cement dressings applied as quoining to the wall corners, and architraves to the pointed arch windows, which are distinguished by the fine tripartite arrangement of the pointed arch head with tri-colour glass that imitates Gothic tracery.

While this was not the first Baptist Church built in Hindmarsh Shire, it is now the oldest surviving example. Within Rainbow, it was one of first two churches built in the town - the other was the Presbyterian Church, opened in the same year.

Statement of Significance

What is significant?

The former Baptist Church, built in 1905, at 38 Taverner Street, Rainbow is significant.

Alterations and additions are not significant.

How is it significant?

The former Baptist Church is of local historic and aesthetic significance to Hindmarsh Shire.

Why is it significant?

The former Baptist Church is historically significant as the oldest Baptist Church in Hindmarsh Shire and one of the oldest buildings in Rainbow. It was used as a place of worship for 90 years and played an important role in the establishment of the Baptist Church in the northern part of Hindmarsh Shire. As one of the first two churches built in Rainbow it is also historically significant for its associations with the early development of the town as an important district centre. Historically, the use of local stone - limestone or sandstone - with dressed or random rubble coursing is a distinctive characteristic of many buildings in the Wimmera and Mallee and demonstrates the introduction of traditional building techniques by settlers coming from South Australia,

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especially those of German descent.

(Criterion A)

The former Baptist Church is of aesthetic significance as a small Federation church built in random rubble local limestone with simple, restrained detailing. The austere appearance of the building is relieved only by the cement dressings applied as quoining to the wall corners, and architraves to the pointed arch windows, which are distinguished by the fine tripartite arrangement of the pointed arch head with tri-colour glass that imitates Gothic tracery.

(Criterion E)

Recommendations 2023

External Paint Controls	Yes
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 38 Taverner Street, Rainbow
Aboriginal Heritage Place	-

APPENDIX J – HERITAGE CITATIONS (NEW HO PLACES)

Page No.	HO	Name	Address
		DIMBOOLA	
257	HO44	Dimboola Banner Offices (Former)	27 Lochiel Street
262	HO45	Dimboola Power House (Former)	72 Upper Regions Street
		JEPARIT	
267	HO47	Jeparit Memorial Avenue	Broadway
274	HO46	Jeparit Railway Bridge	Lake Road
		NHILL	
278	HO48	Nhill Soldiers' Lounge	7 Clarence Street
282	HO49	Lowan Shire War Memorial	Victoria Street
287	HO50	Nhill Band Rotunda	Victoria Street

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Name: DIMBOOLA BANNER OFFICES (FORMER)
Address: 27 LOCHIEL STREET, DIMBOOLA
Place Type: Newspaper Office
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO44



Dimboola Printing Museum (former Dimboola Banner Office)

**Recommended
Heritage Protection**

VHR -

HI -

**PS
Yes**

Architectural Style: Interwar Period (c.1919-c.1940)

History and Historical Context

Dimboola

Hindmarsh Shire is situated on the traditional lands of the Wotjobaluk, Jaadwa, Jadawadjali, Wergaia and Jupagalk nations, represented today by the Barengi Gadjin Land Council Corporation.

In 1838 the explorer Edward Eyre arrived in the area and, with the assistance of local indigenous guides, made his way along the Wimmera River to Lake Hindmarsh, which he named after the Governor of South Australia. The first squatters arrived in the district in the 1840s and in 1859 Moravian missionaries established the Ebenezer Mission on a site at Land Hindmarsh. The mission was one of seven Aboriginal reserves in the colony by 1863.

The origins of Dimboola can be traced to the 'wine shanty' established by Matthew Ternan in 1859 at what was then known as 'Nine Creeks'. Three years later Ternan established a 'public house' and general store to serve

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the growing district, and community development was marked by the opening of the first Presbyterian Church, a log structure, which also served as a school. In 1863 Dimboola was proclaimed a township and the new name, chosen by district surveyor, J.G. Wilmot, was reputedly taken from a district in Ceylon 'Dimbula' where Wilmot had previously lived.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, which commenced in 1873. The influx of settlers that followed stimulated the growth of Dimboola and in 1875 a court was established in a room attached to one of the hotels. The development of the district led to the proclamation of Lowan Shire in December 1875, which held its first meeting in the old Dimboola Court Room in March 1876, prior to the erection of the new Court House on part of the Police Reserve later in that year. In August 1876 the Shire invited tenders for building the Shire Hall and Offices, which were completed by March 1877. The next few years saw the establishment of community and sporting organisations including the Agricultural and Pastoral Society, the beginning of the first newspaper (the *Dimboola Banner*), and the setting aside of land for the recreation reserve. In 1879 the first issue of the *Dimboola Banner* described Dimboola as having three hotels, a bakery, several stores and blacksmiths and a population of about 100.

The year 1882 marked a turning point in Dimboola's development when it was connected to the railway from Melbourne. The mainline was extended to Nhill by 1887 (and thence to Adelaide) with a branch line to Jeparit and Rainbow completed in stages during the 1890s. The coming of the railway led to significant growth in the township and surrounding district over the following two decades, as it encouraged intensified farm settlement. Consequently, from 1881 to 1891 the population of Dimboola more than quadrupled from 100 to 563. New buildings erected during this time included the first brick school in 1882, the post office in 1885, as well as several shops in Lloyd Street. The growth of the district led to a movement for severance from the Lowan Shire, which culminated in the proclamation of the Shire of Dimboola in April 1885.

By the early 1900s Dimboola was an important district centre that boasted four hotels, several shops and stores, five churches, a state school, mechanics' institute and free library, court house, shire hall, an agricultural and pastoral society, masonic hall, and sporting and social clubs. There was a flour mill and eucalyptus oil factory, and the surrounding land had become an important wheat-growing district.

The town entered another boom period during the early twentieth century as increasing wheat yields and good prices brought farmers higher incomes. The opening up of surrounding land for closer settlement for returned servicemen led to further growth and between 1901 and 1911 the population rose from 736 to 1435.

Dimboola Banner Offices

Newspapers flourished in Victoria's country towns during the late nineteenth century. Colonial Victoria enjoyed the highest per capita number of newspapers in the world, and it was not uncommon even for country towns to have competing local papers. As settlement progressed across Victoria in the 1880s, the number of towns with newspapers in Victoria rose from 75 at the beginning of 1880 to 117 by the beginning of 1890. Local newspapers played an important role in community formation and developing local identity by reporting on daily events including births, deaths and marriages, sporting and social events, and town and district development. Before the advent of radios in the 1920s newspapers kept isolated rural people connected with the outside world.

In what is now Hindmarsh Shire Henry Barnes established the first newspaper, the *Dimboola Banner*, in 1879 with the first edition published on 10 May of that year. At Nhill, the *Tatiara Mail & West Wimmera Advertiser* was first published in August 1880. Originally based in Border Town in South Australia the *Mail* relocated to Nhill in 1886 and was renamed as the *Nhill & Tatiara Mail & West Wimmera Advertiser*. By 1889 under new editor Frank Shann it had doubled its circulation. Meanwhile, Henry Barnes had launched the *Nhill Free Press & Lowanshire Advertiser* in 1882. At Jeparit the short-lived *Jeparit Ensign* (1893-94) was succeeded by the *Jeparit Leader*, established in November 1893 by the Whalley Brothers. Newspapers established in the twentieth century included the *Rainbow Argus* (1906), and the *Dimboola Chronicle* (1921).

This building was the fourth home of the *Dimboola Banner*. It was built by local builders, Messrs. Martindale & Sons, in the second half of 1929. Construction started in mid August and was completed in time for the 28th October edition of the paper to be printed there. There is no report of an official opening. The proprietor, James Bertram Henstridge, had purchased the paper in July 1922, the then premises being located in Lloyd Street. He

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expanded the business with other newspapers, taking over the *Dimboola Chronicle* in 1929, while the *Minyip Guardian*, which he also owned, was printed here. A wide range of job printing was also undertaken. Confident of the future of the business, he doubled the extent of the premises in 1953 with the addition of a corrugated iron shed, 20ft wide by 50ft depth (Conway).

The future of the building came into question in 2004 when the paper was sold with the new owner not wanting the building. In their monthly newsletter, the Dimboola & District Historical Society Inc. expressed its concern about the loss to the town's heritage, but fortunately a Melbourne member, Ms. Marjie Wilson, offered to purchase the building if the society agreed to maintain it as a museum. This was done and Ms Wilson later transferred ownership to the society. The *Dimboola Banner* rented use of the front office of the building for a further five years until 2009 when they were asked to move prior to the town's 150th celebrations and the official opening of the Dimboola Printing Museum (also known as the Newspaper and Letterpress Print Museum) (Conway).

The Museum contains machinery including printing presses, furniture, fittings and memorabilia associated with the *Dimboola Banner*, supplemented by some equipment from the *Nhill Free Press* and *Jeparit Leader*. All the machinery is operable and guided tours are available. In 2012 Heritage Victoria and Culture Victoria created a short film 'Pressing on' about the Dimboola Print Museum, which features former editor Joe Barry demonstrating early printing methods.

Joe Barry finished school and took up a job at the *Dimboola Banner* in 1948. Starting out as a "printer's devil" responsible for all manner of dirty jobs, he gradually acquired a range of trade skills in compositing and setting type and in operating various printing presses and other machines. In 1983, Joe acquired the *Banner* himself and ran it as a family business. From this point, he also became the newspaper's editor, news reporter, photographer and proofreader, amongst other things. After he sold the *Banner* a few years later Joe continued to work at the *Banner* until he retired in 2001.

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- Reid, Lesley M., *Dimboola Days. A sketch book of Dimboola*, n.d. [c.1985]

Description

Physical Description

The former Dimboola Banner Offices (now the Dimboola Printing Museum), constructed in 1929, is a single storey interwar commercial building constructed of red brick. Built on the front boundary, the sawtooth profile roof (which is expressed in the side parapet walls) is partially concealed behind the front parapet, which has a simple, square pediment. The parapet is rendered with brick coping and is framed by expressed brick pilasters with corbelling. There is a skillion street verandah supported by square timber posts (now supported by non-original metal stirrups). The facade contains a metal-framed shopfront with a rendered stallboard, a recessed timber entry door and glass highlights. To the right is a timber sash window with a round head and rendered sill.

The building is very intact. The colour scheme and the painted signage (which dates from c.2009 following the opening of the Museum) is sympathetic. Internally, the building contains an extensive collection of printing machinery, furniture and fittings and memorabilia associated with the *Dimboola Banner* and other local newspapers. This includes a large Payne & Sons Wharfedale cylinder press. Well over a century old, this heavy, belt-driven printing press was installed in the current building when it was built in 1929 and has been operating

HERITAGE CITATION REPORT

ever since. The press prints four tabloid newspaper pages at a time from type-set plates on a flat bed, pulling paper through a heavy roller to a drying frame on the far side of the machine.

Adjoining the 1929 building on the north side is the 1953 shed addition. This is a simple, gable-fronted timber framed building clad in corrugated iron. There is one small square window with glass louvres and a timber door in the front elevation.

Comparative Analysis

The form, materiality and detailing of the *Dimboola Banner* building resembles an interwar shop building and it compares with the interwar shops found within the Dimboola, Jeparit, Nhill and Rainbow town centres. However, what sets the building apart is the associated collection of machinery, furniture, fittings and memorabilia associated with the historic use by the *Dimboola Banner*. This collection is believed to be rare in Victoria, especially since it is located in the original building. The building and the collection is potentially significant at the State level, but requires further assessment and comparative analysis.

Statement of Significance

What is significant?

The former Dimboola Banner Offices, now the Dimboola Printing Museum, constructed by Martindale & Sons in 1929, at 27 Lochiel Street, Dimboola is significant. The collection of printing machinery, and furniture, fittings and memorabilia associated with the *Dimboola Banner* and other local newspapers is also significant.

The 1953 additions are not significant.

How is it significant?

The former Dimboola Banner Offices is of local historic and representative significance to Hindmarsh Shire.

Why is it significant?

The former Dimboola Banner Offices is historically significant for its association with the *Dimboola Banner*, which was the first newspaper established in what is now Hindmarsh Shire. This building housed the offices and printing presses of the *Dimboola Banner* for 80 years and is the oldest surviving newspaper office in Hindmarsh Shire.

(Criterion A)

The former Dimboola Banner Offices is a representative example of a rural newspaper office of the early twentieth century. It is notable for the retention of most of the original printing machinery, furniture, fittings and memorabilia associated with the *Dimboola Banner*, which enables this historic use to be understood and interpreted.

(Criterion D)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-

HERITAGE CITATION REPORT

Incorporated Plan

Statement of significance: 27 Lochiel Street, Dimboola
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Aboriginal Heritage Place

-

Other Recommendations

Include in the Heritage Overlay as an individual place. Nominate the building and collection for inclusion on the Victorian Heritage Register.

<p>This information is provided for guidance only and does not supersede official documents, particularly the planning scheme. Planning controls should be verified by checking the relevant municipal planning scheme.</p>
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HERITAGE CITATION REPORT

name: DIMBOOLA POWER HOUSE (FORMER)
Address: 72 UPPER REGIONS STREET, DIMBOOLA
Place Type: Generator/Power Station - coal/gas/oil
Citation Date: 2023

Significance Level: Local

Heritage Overlay: HO45



Dimboola Power House

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:

Federation/Edwardian Period (1902-c.1918)
Interwar Period (c.1919-c.1940) Stripped Classical, Moderne

History and Historical Context

Contextual history

The formation in 1921 of the State Electricity Commission of Victoria (SECV) was the beginning of a state-wide electricity supply for Victoria. Prior to this electricity was supplied by private companies or municipal councils, which were progressively taken over by the SECV from the 1920s onwards. As the north-west of Victoria is remote from the main power generation centres in Gippsland, Hindmarsh Shire was not connected to the state-wide electricity grid until after World War Two. Prior to this limited power supplies to township and some rural areas were provided by municipal authorities and private companies.

In Hindmarsh Shire Nhill is notable for being the first town in Victoria outside of the Melbourne metropolitan area

HERITAGE CITATION REPORT

to have an electricity supply. The electricity supply to Nhill was the initiative of James Fry, owner of the Lowan Flour Mill. Fry had installed generators and electric light in the mill and when there was a proposal to install gas lighting at Nhill Fry suggested electricity instead. With the assistance of other local business people including Mark Kozminsky Fry established the Nhill Electric Light Co. in 1892, which was only 12 years after the first electricity company had been established in San Francisco, USA, and 10 years before the next company would be established in country Victoria at Bendigo. Fry installed a generator and storage batteries in a separate building at the mill, and poles and wires throughout the town, all at a cost of over 1,600 pounds. Lowan Shire installed the first street lights in Victoria, Macpherson and Nelson streets, and supply to private businesses and residences followed. However, the growth of Nhill led to power blackouts and low voltages by the early twentieth century and in 1920 the original powerhouse was destroyed by fire. Following this, the company was sold to Lowan Shire, which progressively upgraded the plant and equipment as demand increased. Lowan Shire continued to operate the electricity supply until it was taken over the SECV on 7 June 1959.

In the Shire of Dimboola the first town to gain an electricity supply was Rainbow in 1911. In November of that year Frank Dawson received approval to establish the Rainbow Electric Light Co. to provide light and motive power to township of Rainbow and parts of the surrounding districts (*The Age*, 21 November 1911, p.8 'Electric light in the Mallee'). One of the first buildings to take advantage of the new service was the rebuilt Eureka Hotel, which included over sixty electric lights and fans throughout. A limited private electricity supply to Jeparit was turned on in December 1914, and the supply of electricity to Dimboola, established by Dimboola Council, followed in June 1916. These local supply systems were progressively taken over by the SECV from 1958 to 1962.

Dimboola Power House

Following the successful establishment of the private electricity supply to Rainbow in 1911 Dimboola Shire Council began assessing the feasibility of supplying electricity to Jeparit and Dimboola. In 1914 Cr. Wiedermann and the Shire Engineer visited municipal electricity supply schemes at Hopetoun, Horsham and Ararat and prepared a report setting out the findings. Upon receipt of this report Council decided to proceed first with Dimboola. Meanwhile, Mr H.J. Block obtained the support of Council for establishing a private electricity supply scheme for Jeparit, which was switched on in December 1914. This provided a limited supply from seven o'clock in the evening until the morning of the following day for private consumers and street lighting (*Dimboola Banner and Wimmera Mallee Advertiser*, 15 May 1914, p.2 'The electric light schemes').

Tenders for the Dimboola scheme were invited in January 1915 and after some delays (caused by material shortages due to World War I) contracts were arranged for the supply of the plant and equipment at a total cost of 3,750 pounds. By early 1916 the generating plant had been installed under the supervision of the consulting engineers, Messrs. Lincolne, McDougall and Demaine of Melbourne. The power house was officially opened at a ceremony presided over by Cr. Wiedermann on Wednesday 21 June, 1916 in the presence of local people including Robert Martindale J.P., president of the Progress Association, F.C. Wright J.P. (Hon sec. of the Progress Association) and Mr W. Avery J.P. who assisted with the initiation of the scheme. Mr. Wiederman's daughter was given the honour of pulling the lever, which illuminated the first lights in the town (*Dimboola Banner and Wimmera Mallee Advertiser*, 23 June 1916, p.3 'Dimboola electric light and power'). According to a newspaper article:

From being one of the worst-lighted places in the Wimmera, the town of Dimboola from now onward will rank as one of the best illuminated of the smaller townships in Victoria. (ibid).

With the growth of Dimboola after World War I additions to the building and plant were carried out by Martindale & Sons in 1925. An underground tank was constructed as a reservoir for crude oil to be used in the power generation. Oil from this tank was pumped to five 1000 gallon tanks, elevated on a stand, which were connected to the power plant. The oil was supplied by railway trucks and conveyed to the site (which is opposite the station yard) by gravitation (*The Horsham Times*, 14 August 1925, p.8 'Dimboola'). It appears that further upgrades were carried in the late 1930s to convert the supply to the more efficient alternating current (*The Horsham Times*, 16 February 1937, p.7; 18 May 1937, p.8 'Dimboola').

The power house was made redundant in 1958 when Dimboola was connected to the state-wide electricity grid. It is now used as part of the Hindmarsh Shire Council Depot.

HERITAGE CITATION REPORT

References

Dimboola Historical Society, *Celebrate Dimboola: One hundred and fifty years. A selection of images from the Dimboola & District Historical Society photographic collection*, 2009

Dimboola Chamber of Commerce, *Back to Dimboola. Welcome Home*, 1969

Longmire, Anne, *Nine Creeks to Albacutya. A history of the Shire of Dimboola*, 1985

Reid, Lesley M., *Dimboola Days. A sketch book of Dimboola*, n.d. [c.1985]

Description

Physical Description

The former Dimboola Power House appears to have been constructed in two stages. The first stage appears to have been the timber-framed long gable-roofed building parallel to Wimmera Street. This may be the original building of 1916. The second stage, possibly dating from 1925 or later, comprises the brick section at the south end and the gabled, corrugated iron clad section on the west side. This is suggested by connection between the east side wall of the brick building, which appears to have been built partially on top of the roof and wall of the corrugated iron building.

This potential sequence of development is also supported by the architectural form and detailing of the brick section, which appears to be of the mid to late 1930s and shows the influence of the Stripped Classical and Moderne (Art Deco) styles. Constructed of red brick with cream and dark brick detailing, it has parapeted walls on the south and west elevations, which partially return on the east and north sides. The roof behind has a sawtooth profile. There are expressed piers at the corners and the parapets feature inset panels of cream brick framed by simplified cornices, and have low, stepped cream brick pediments with red brick coping. Along the long west elevation the wall below the parapet is divided into four bays by pilasters, which have integrated railheads and downpipes set into the wall. The south elevation has a central timber door with a glass window, a stone threshold and a shallow concrete hood, which is flanked by large timber framed windows with three small panes above a large single pane. All these openings have concrete lintels and decorative cream brick quoining. Other cream brick detailing includes the band along the wall at sill height, stepped details at the tops of the corner piers, simplified diaper patterns in the bays of the side wall, while narrow buff-coloured bricks have been used to create a distinctive Art Deco style stepped fan pattern detail (this alone suggests a build date of c.1935 or later). Another distinctive feature is the series of stepped brackets along the side wall, between which are porcelain tubes set into the wall - this appears to have been where the power distribution/connection to/from the building was located.

On the north side the brick wall steps down to meet the lower wall of the corrugated iron wing. There are window openings with metal-framed windows, and a larger vehicle opening in this wall. Internally, none of the original machinery or equipment remains.

Comparative Analysis

The Dimboola Power House is a rare surviving example of a pre-World War II power station built to provide a local electricity supply. It is not known whether any of the other power stations at Nhill, Jeparit and Rainbow have survived.

There are three surviving municipal power houses in the neighbouring Yarriambiack Shire at Hopetoun (c.1950), Minyip (c.1931) and Beulah (date unknown, but interwar). Based on these and examples elsewhere (for example, Seymour) they do not appear to have any particular distinguishing features and have the appearance of small factories. They are usually of utilitarian design with limited architectural embellishment.

Compared to these examples, the former Dimboola Power House is notable for the distinctive polychromatic brick decoration and a high quality details such as the integrated rainheads and downpipes. Polychromatic brickwork was used as a decorative device from the mid-nineteenth century onwards and the former Dimboola Power House includes both traditional (quoining, diaper work and banding) as well as more progressive (the

HERITAGE CITATION REPORT

abstracted stepped details to the corner piers and especially the Art Deco style stepped fan motifs) detailing. It demonstrates how prior to World War I even the most basic and functional of municipal buildings were carefully designed to produce an aesthetically pleasing outcome and express civic pride.

Statement of Significance

What is significant?

The former Dimboola Power House, to the extent of the 1916 building and interwar brick additions, at 72 Upper Regions Street, Dimboola is significant.

Alterations and additions made after 1945 are not significant.

How is it significant?

The former Dimboola Power House is of local historic and aesthetic significance to Hindmarsh Shire.

Why is it significant?

The former Dimboola Power House is historically significant for its associations with the development of Dimboola in the early twentieth century and provides tangible evidence of the need for local councils to provide local power supplies in the era prior to the connection of Hindmarsh Shire to the state-wide electricity grid. The staged development of building demonstrates how the supply was improved and expanded to cater for the significant growth of Dimboola during the interwar period.

(Criterion A)

The former Dimboola Power House is of aesthetic significance for the distinctive polychromatic brick decoration and a high quality details such as the integrated rainheads and downpipes. Polychromatic brickwork was used as a decorative device from the mid-nineteenth century onwards and the former Dimboola Power House includes both traditional (quoining, diaper work and banding) as well as more progressive (the abstracted stepped details to the corner piers and especially the Art Deco style stepped fan motifs) decorative details. It demonstrates how prior to World War II even the most basic and functional of municipal buildings were carefully designed to produce an aesthetically pleasing outcome and express civic pride.

(Criterion E)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 72 Upper Regions Street, Dimboola
Aboriginal Heritage Place	-

Other Recommendations

Add to the Heritage Overlay as an individual place.

HERITAGE CITATION REPORT

Name: JEPARIT MEMORIAL AVENUE
Address: BROADWAY, JEPARIT
Place Type: War Memorial
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO47



Jeparit War Memorial Avenue

**Recommended
Heritage Protection**

VHR -

HI -

PS

Yes

Architectural Style:
Interwar Period (c.1919-c.1940)
Postwar Period (1945- 1965)

History and Historical Context

World War I (WWI) had a profound and lasting impact upon Australia and to this day remains the costliest conflict in terms of deaths and casualties. From a population of fewer than five million, 416,809 men enlisted, of whom more than 60,000 were killed and 156,000 wounded, injured, or taken prisoner. The scars and losses of war were all the greater during WWI because (apart from a small number of wounded soldiers who returned home only to die later of their injuries) the bodies of the dead remained interred in the field of war, some unidentified or undiscovered. Families thus had no body to mourn nor opportunities to travel to such distant graveyards. This absence, combined with the high casualty rate, contributed to the general movement to memorialise the dead and those who served. The positioning and form of such memorials was a difficult and sometimes controversial task, all the more so because the trauma and loss of WWI was unprecedented both in casualties and in the public desire to commemorate it. Commemoration of World War II (WWII) and later conflicts was often layered atop the already established WWI memorials.

HERITAGE CITATION REPORT

One of the first war memorials in Hindmarsh Shire was the 'Anzac (or Soldiers') Memorial Avenue' established in 1918 within the wide median of Broadway at Jeparit, which was formally opened by Dimboola Shire President, Cr. E.J. McCabe, at a ceremony held on Tuesday 13 August following the council meeting. The establishment of this avenue of honour (and another established at Rainbow in the previous year) followed a suggestion made by the Dimboola Shire Engineer in July 1917 that memorial avenues in honour of soldiers should be established using trees provided free of charge by the Forests Commission (*Rainbow Argus*, 6 July 1917, p.2). The memorial comprised a plantation of lawn, cotton palms, eucalyptus trees and flowering shrubs encircled by an ornamental railing fence, and the intention was to plant one tree in honour of every soldier in the district who enlisted (*Warracknabeal Herald*, 17 July 1917, p.5; *The Ballarat Star*, 14 August 1918, p.6). Senior school children were initially entrusted with the upkeep of the lawn. Later, responsibility for the care of the memorial avenue was assumed by the Jeparit Progress Association.

In 1920 the centrepiece of the Anzac Memorial Avenue, the WWI memorial (or 'stone' as it was then referred to) was unveiled by Mr. A.S. Rodgers, M.H.R. The ceremony was held on Saturday 12 June, 1920 in the presence of local community members and other dignitaries including Mr James Menzies, M.L.A.. Mr Rodgers described the memorial as:

A fitting memorial of the courage and valor of men who fought - many of whom had died - and it would stand for all time.

The memorial, which was an initiative of the Jeparit Progress Association, was funded by public subscription and designed and created by H.B. Corben & Sons of Melbourne in polished Harcourt granite, with a marble female figure said to symbolise 'Remembrance'. It was inscribed with the names of 120 local men who served, 24 of whom paid the supreme sacrifice, with the dedication: 'Erected by the residents of Jeparit and district in honour of those who fell in the Great War, 1914-1918 (*Dimboola Banner*, 18 June 1920).

The WWII memorial, located to the east of the WWI memorial, was unveiled by then Prime Minister (and former Jeparit resident), Robert Menzies on Remembrance Day, 11 November 1951. It records the names of six men who paid the supreme sacrifice: D.A. Anderson, M.M. Cook, S. Olive, A.C. Petschel, E.G. Scott and J.W. Walker. The memorial was created by G.H. Robson and Sons of Stawell at a cost of 3,000 pounds.

In 1965, to mark the 50th anniversary of the Gallipoli landing, an Aleppo pine propagated from seed gathered from the original 'Lone Pine' at Gallipoli was planted at the western end of the memorial avenue. The pine was donated to Jeparit RSL by Wimmera Legacy and planted by H.S. Maddern in 1967 (Memorial plaque). The original pine was replaced c.2010.

H.B. Corben & Sons

The Corben family came from Worth Matravers, Dorset, U.K. where they were stonemasons, a trade that they continued with great success in Melbourne after their arrival in the 1850s. Reuben and Isaac Corben established themselves as builders, stonemasons, and stone merchants working with slate, bluestone and marble both in Melbourne and Sydney. Reuben was a member of a government appointed board established to investigate whether stone from the Grampians quarries was of high enough quality to be used on the western front of Parliament House. Meanwhile Wilson, Corben & Co were winning prizes at various exhibitions for their enamelled slate and polished marble mantelpieces and securing Government contracts in Melbourne and Sydney for kerbing, hearth stones and steps and use of enamelled slate. Following in their footsteps, Reuben's sons Hubert and Joseph established their own monumental mason business in 1880 in Smith Street, Clifton Hill, opposite the Gasworks. It was originally Brown, Corben & Co but the name changed to HB Corben & Sons in the late 1880s.

The family had a strong work ethic and were successful in winning many contracts. Hubert's sons Edwin, Clifford and Leslie all went into the business. In 1907 Hubert died aged 49 after a short illness but his sons continued the business for many years. Initially, most of their contracts were for grave monuments, marble and enamelled wood mantelpieces and general masonry. This changed during the early twentieth century when HB Corben and Sons became well known for their work on memorials. An early memorial for the Boer War located in Sale, Victoria was erected in 1909. They also won the contract for the Explorers Memorial in Swan Hill in 1914 and the Ross and Keith Smith Memorial in 1922, which commemorates their plane landing in Darwin on

HERITAGE CITATION REPORT

10 December 1919. In the aftermath of WWI H.B. Corben & Sons became one of the foremost manufacturers of war memorials in Victoria. Some examples include the memorials at Clunes, Boort, Inglewood, Coleraine, St Arnaud and Bonnie Doon all erected the period from 1919 to 1921. Many of these were statues of an AIF soldier, known as 'Digger' statues. In late 1915, Corbens employed August Rietman, a stone artisan of German-Swiss heritage, who possessed the skills and artistry to carve statues from blocks of marble. The marble 'Digger' and other statues created by H.B. Corben & Sons were probably carved by Rietman, who worked at Corbens until 1930.

August Rietman is remembered by his family as a pacifist and after immediately after leaving Corbens he worked on the war memorial at the Malvern Town Hall with another pacifist, renowned sculptor Paul Raphael Montford.

Other Corben war memorials ranged from the Digger figures standing on stepped pedestals to sombre non-figurative cenotaphs, obelisks, granite pillars and columns. The firm had branches and agents right across Victoria which no doubt enabled them to continue to grow and expand their business. There are also war memorials by HB Corben & Sons in other states, notably the War Memorial in Launceston, Tasmania.

During the late 1920s and into the 1930s, Corbens continued to manufacture memorials such as the J.M. Bennett Memorial in St Kilda 1926-27, the cairn to Sir John Franklin on Arthurs Seat 1929, the Sir John Monash Memorial in Yallourn 1932 (funded by the SEC employees), the grave of Robert Capron in the Fawkner Cemetery 1936 (and the Jack Donaldson World Champion Runner Memorial in Stawell 1939). In the latter years the firm went back to its origins and were mainly doing monumental mason work in cemeteries.

References

Bader, Francis 'Moorabin Historical Society's WW1 Memorials Project' in Royal Historical Society of Victoria *History News* Issue No.328, February-March 2017.

Collingwood Historical Society, Collingwood Notables Database, 'Hubert Bower Corben': <https://collingwoodhs.org.au/resources/notable-people-2/collingwood-notables-database/entry/522/> (viewed 13 November 2022)

Gloury, H.J. (ed.), *Our Jeparit. The history of a small country town. Souvenir of the Back to Jeparit October 10th to 19th 1980*, 1980

Inglis, K.S. *Sacred places. War memorials in the Australian landscape*, 2001

Virtual War Memorial website, Jeparit War Memorial (VWM): <https://vwma.org.au/explore/memorials/3438> (viewed 9 December 2022)

Description

Physical Description

The Jeparit war memorials are situated in the wide median of Broadway in the section between John and Edith streets within the area now known as the Memorial Avenue. Both memorials are sited on the central axis and face toward the east. The World War II (WWII) memorial is located at the eastern end, just within the entry to the reserve through a metal archway with 'Memorial Avenue'. Constructed of Harcourt granite the WWII memorial comprises a rectangular court defined by a low granite walls with steps and a balustrade at the eastern end and a central granite pathway. At the western end is a pair of stepped granite columns placed symmetrically on either side of a stone plinth on a flat granite base. Each column has a bronze laurel wreath and bronze numbers at the base - '1939' to the left and '1945' to the right - identifying the beginning and end of WWII. Above these have been added 'Korea' and 'Vietnam'. The front of the plinth is inscribed with 'Erected by the citizens of Jeparit and district in honour of those who served in World War II. Ever protect the freedoms for which they fought' and on top is a granite tablet with the inscription 'These are they that gave their lives that men might live in Freedom', the names of the six men, and 'Their names be forever held in proud remembrance'. Below this has been added the name of one man who served in Korea.

HERITAGE CITATION REPORT

The twin columns of the WWII memorial frame the view toward the World War I (WWI) memorial at the western end and the timber flagpole situated between the two. Beside the flagpole is a rock with an attached bronze plaque commemorating the 50th anniversary of the end of World War II. To the west of the flagpole the WWI memorial comprises a granite obelisk on a two stepped base, surmounted by a marble statue upon a base inscribed with 'Remembrance'. The statue is in the form of a female figure holding a palm frond in her outstretched left hand, while her face is downcast with a solemn expression, her chin supported by her right hand. The four sides of the obelisks have the names of those who served in lead letters. At the front of the base of the obelisk is 'Erected by The Residents Of Jeparit And District In Honor Of Those Who Enlisted And In Memory Of Those Who Fell In The Great War 1914 - 1918'.

To the west of the WWI memorial is the Aleppo pine (*Pinus brutia*), which was planted c.2010 to replace the original pine. On the east side is a stone with two bronze plaques: the original diamond shaped plaque inscribed with 'Aleppo pine (Pinus brutia) from the original Lone Pine on Gallipoli grown in the Jubilee Year 1965 planted in memory of departed comrades "Lest We Forget" and the symbol of Legacy, and a rectangular plaque above 'Aleppo pine (Pinus brutia) Gallipoli pine. Donated to Jeparit RSL by Wimmera Legacy in Memory of Fallen Comrades Planted by Digger H.S. Maddern 1967'.

The boundaries of the reserve are defined by a low, rubble-rock wall with squat, battered piers at regular intervals and corners. This appears to date from the late interwar or early postwar period. Other hard and soft landscaping (brick paver paths, Eucalypts in lawns) is more recent.

Comparative Analysis

The two world wars and other conflicts have been commemorated in Hindmarsh Shire in various ways. The most common form of war memorial was the obelisk, as it could be 'easily and cheaply supplied, was non-sectarian, and traditionally recognised as symbol of death of glory'. The next most common form was a statue representing a man of the AIF (Inglis 2001:160-61). The majority of memorials listed only the names of those who died. In Hindmarsh Shire, memorials comprised of an AIF soldier upon a column were unveiled in 1921 at Rainbow and Nhill.

Avenues of honour are a uniquely Australian war memorial and are not found elsewhere in the world. In Hindmarsh Shire, the Dimboola Shire Engineer advised in July 1917 that there were about 120,000 trees provided by the Forests Commission available for planting free of charge and suggested 'the various towns might at this season of the year plant a memorial avenue in memory of all soldiers who have enlisted from their towns and districts' (*Rainbow Argus*, 6 July 1917, p.2). The offer was accepted by the citizens of Rainbow who in August 1917 planted trees over a half-mile length in King Street as a memorial to those who participated in the war. Each tree was to bear the name of a local volunteer who served (*Rainbow Argus*, 3 August 1917, p.2). At Jeparit in 1918, trees were planted in Broadway, which was renamed as Anzac (or Soldiers') Memorial Avenue. The original plantings associated with these avenues have not survived.

As well as traditional memorials such as obelisks and statues there began a movement after World War I (WWI) to create 'utilitarian' memorials that would have a lasting and active community benefit beyond the important commemorative role. The most common type was the memorial hall, used as clubroom for returned soldiers, and often doubling as a town hall or community centre. Hindmarsh Shire contains three impressive examples of these: the Nhill Soldiers' Lounge, opened in September 1921, the Dimboola Memorial High School (now Secondary College), opened and dedicated in 1924, and the Soldiers' and Citizens' Memorial Hall and Municipal Chambers at Jeparit, opened in June 1925. The Dimboola Memorial Secondary College also contains several other memorials including avenues of honour for WWI and World War II (WWII) soldiers, WWII memorial gates, and a memorial to Matron Olive Paschke, an Australian Army Nurse who died during WWII.

The WWI memorial at Jeparit is a rare example with a female figure. Where they do exist, most are allegorical figures such as the trio of Victory, History and Fame atop the war memorial at Wellington, New South Wales. The figure at Camperdown, Victoria is immediately recognisable as Britannia, while the laurel wreath held aloft in the hand of the figure at Yarrawonga, Victoria suggests she represents Victory. Other allegorical female figures include Justice (identifiable by her blindfold and scales), and Peace if she holds a dove. Realistic female figures are especially rare. Examples include the nurse placed at one corner of the memorial at Maryborough in

HERITAGE CITATION REPORT

Queensland, the Edith Cavell memorial in Melbourne (Cavell was an English nurse killed in WWI), a young woman holding a baby reunited with a soldier at the Malvern Town Hall in Melbourne, and an older woman, her face lined with suffering (known as the 'Weeping Mother Memorial'), placed above the memorial at Gatton, west of Brisbane (Inglis 2001:172-74).

The female statue at Jeparit is both realistic and allegorical. While she is not in the form of any of the recognised allegorical figures, she holds in her left hand a palm branch, which can be interpreted variously as a symbol of victory, triumph, peace, and eternal life. The palm was sacred in Mesopotamian religions and in ancient Egypt represented immortality. A palm branch was awarded to victorious athletes in Ancient Greece, and a palm frond or the tree itself is one of the most common attributes of Victory in ancient Rome. Since a victory signals an end to a conflict or competition, the palm developed into a symbol of peace. The classical style draped robe of the figure also enhances the allegorical quality.

Here, however, the palm branch is not raised in a salute of victory, and the downcast and solemn face of the figure, with the chin supported by the right hand creates a pensive expression. Placed above the word 'Remembrance', the figure appears to be inviting the viewer to consider the dreadful cost of war. In this way, like other female war memorials, the emphasis is shifted from the mourned (soldiers) to the mourners represented by the women - mothers, wives, sisters and daughters - who knew those who served (Inglis, op. cit., VWM). As this statue was likely created by August Reitman, said to be a pacifist, it raises the question of how much of his personal beliefs are represented here, particularly as he is also known to have assisted in the making of another war memorial with a 'realistic' female figure - the aforementioned woman holding a baby at the Malvern Town Hall, which was created in 1930 in association with another pacifist, Paul Raphael Montford.

The Jeparit WWI memorial can be directly compared to the WWI memorial at Mitiamo, which was unveiled in June 1919. This is a more realistic figure and, as at Jeparit, the face of the woman is slightly bowed, her face looking downward, and she is mounted on a base with the word 'Remembrance' (beside this is a scroll bearing the words 'Pro Deo Pro Patria' - 'For God and Country'). A fold of her robe supports a garland of flowers held by her right hand, while the left hand is extended and holds a single flower. The heritage citation for the Mitiamo memorial does not identify the maker.

The war memorial at Jeparit is also notable for the separate memorial to WWII. Often, WWII was simply commemorated by inscribing additional names and dedications on WWI memorials, sometimes in the form of a plaque or tablet, as happened at Nhill and Rainbow. This memorial and the memorial gates at the Dimboola Secondary College are rare examples in Hindmarsh Shire of stand alone WWII memorials built beside WWI memorials. Jeparit is also notable for the memorial planting of an Aleppo pine. Although the tree has been replaced, it was originally planted to commemorate the 50th anniversary of the Gallipoli landing.

Statement of Significance

What is significant?

The Jeparit Memorial Avenue, situated within the median of Broadway at Jeparit is significant. The significant features are:

- The World War I (WWI) memorial created by H.B. Corben & Sons and August Rietman, unveiled in 1920
- The World War II (WWII) memorial created by G.H. Robson & Sons, unveiled in 1951
- The Aleppo pine (*Pinus brutia*) and associated memorial plaques

The low stone perimeter walls, the layout of the pathway network (but not the materials), the flagpole and WWII 50th anniversary plaque also contribute to the significance of the place.

Other trees, and hard and soft landscaping are not significant.

How is it significant?

The Jeparit Memorial Avenue is of local historic, aesthetic, and social significance to Hindmarsh Shire.

HERITAGE CITATION REPORT

Why is it significant?

The Jeparit Memorial Avenue is of historical significance as a place which represents the profound impacts that World War I and World War II and other conflicts have had upon Australian society. The two memorials and the Aleppo pine, established over a period of 50 years, demonstrate the desire of local communities to commemorate and mourn those who served and those who fell.

(Criterion A)

The WWI memorial is significant as a rare example of war memorial with a female figure. Where they do exist, most are allegorical figures (such as Victory, History, Fame, Britannia, Justice or Peace) and realistic female figures are especially rare. The female statue at Jeparit is both realistic and allegorical. While she is not in the form of any of the recognised allegorical figures, she holds in her left hand a palm branch, which can be interpreted variously as a symbol of victory, triumph, peace, and eternal life. Here, however, the palm branch is not raised in a salute of victory, and the downcast and solemn face of the figure, with the chin supported by the right hand creates a pensive expression. Placed above the word 'Remembrance', the figure appears to be inviting the viewer to consider the dreadful cost of war. In this way, like other female war memorials, the emphasis is shifted from the mourned (soldiers) to the mourners represented by the women - mothers, wives, sisters and daughters - who knew those who served.

The Jeparit Memorial Avenue is also a rare example of a collection of war memorials to commemorate the two World Wars and other conflicts. Often, WWII was simply commemorated by inscribing additional names and dedications on WWI memorials, and Jeparit is notable for separate memorials to WWI and WWII, as well as a memorial planting of an Aleppo pine, which commemorates the 50th anniversary of Gallipoli.

(Criterion B)

The WWI and WWII memorials are of aesthetic significance as fine and well-detailed examples of war memorials. The WWI memorial is notable for the female figure executed in marble, which creates an evocative and poignant expression of the meaning of remembrance. This is in contrast to the simple, Classically influenced symmetry and austere appearance of the WWII memorial, which has been carefully designed and sited to frame the view toward the WWI memorial and the intervening flagpole. This formal axis and symmetry is further emphasised by the Aleppo pine and memorial and the low stone walls, which also define the historic extent of the memorial avenue.

(Criterion E)

The Jeparit War Memorial is of social significance as a place of remembrance and commemoration for the Jeparit and district community.

(Criterion G)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	Yes, Lone Pine: Aleppo pine (<i>Pinus brutia</i>) only.
Fences & Outbuildings	Yes, stone boundary fence
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Jeparit Memorial Avenue
Aboriginal Heritage Place	-

HERITAGE CITATION REPORT

Name: JEPARIT RAILWAY BRIDGE (WIMMERA RIVER)
Address: LAKE ROAD, JEPARIT
Place Type: Railway Bridge/ Viaduct
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO46



Jeparit Railway Bridge (Wimmera River)

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:
Federation/Edwardian Period (1902- c.1918)

History and Historical Context

Contextual history

Railways, alongside water supply schemes, were critical to the settlement and agricultural development of Hindmarsh Shire:

... for though the great wheat areas were opened to the farmer by a variety of ingenuity - irrigation, Mallee-rolling or 'Mullenising', the stump-jump plough, the stripper harvester, the breeding of suitable wheats for the climate and conditions - the effective establishment of a great agricultural industry was altogether impracticable without railway services to carry the farmers' produce over the hundreds of miles between the outback settlements and the mills and seaports. And in each of the Australasian colonies this task devolved upon the state. (Fitzpatrick 1941:157)

HERITAGE CITATION REPORT

The critical importance of railways to settlement meant that local communities, through the formation of railway leagues took a prominent role in lobbying the state for the railways to come their way.

In Victoria, the failure of a number of private railway companies in the 1860s and the high capital costs and sparse populations of the country meant that the Colonial government assumed responsibility for the building of railways from the 1870s onwards. This phase of development saw the completion of additional trunk routes or main lines from Melbourne to regional centres to the east, north, west and south-west including Wodonga, Sale and Horsham.

The 1880s was a decade of economic prosperity and growth in Victoria and saw the greatest period of railway building in the colony. Between 1882 and 1892 an additional 1548 miles of line were opened, more than doubling that built over the previous three decades. The new lines were constructed in accordance with two Acts, one passed in December 1880 (Act No.682) that authorised the construction of 23 railways and the second, passed in December 1884 that proposed over 60 new railways. The 1884 Act, officially known as the *Railway Construction Act* became infamous as the 'Octopus Act' because it authorised railways in almost every electorate in the colony. As Lee (2008:93) concludes it was 'the most emphatic expression of the boom time mentality in public investment'.

In Hindmarsh Shire the 1880 Act saw the railway extended from Horsham to Dimboola, while the 1884 Act enabled the extension of the line westwards via Nhill to the South Australian border, which was completed by 1887. The 1884 Act also approved the branch line to Jeparit in 1894 and thence to Rainbow by 1899.

The centrality of the railways in the economic life of Hindmarsh Shire is demonstrated by the extensive infrastructure including station buildings, sheep and cattle yards, goods sheds and platforms, sheds for storage of agricultural produce, turntables and locomotive sheds and weighbridges. In the interwar and post-war periods, the increasing grain harvest also resulted in the need for grain storage and transfer facilities and led to the construction of the massive concrete grain silos and steel bins that now dominate the landscape of the Wimmera and Mallee regions.

Railways not only brought increased and easier trade in agricultural produce, but also new people - not least of whom were the railway workers and their families who were accommodated in 'departmental residences' in main towns such as Dimboola, Nhill and Jeparit. In 1968 there were 105 railway employees at Dimboola.

The nineteenth century railways in Hindmarsh Shire stimulated the development of the existing towns of Dimboola, Nhill and Jeparit, which developed into regional centres. New towns also developed around the railway sidings and termini, for example, at Rainbow and Diapur. The twentieth century railway extensions, on the other hand, co-incident with the closer settlement initiatives and were the result of settlers 'demanding facilities and services that other towns took for granted'. In Hindmarsh Shire after years of lobbying the railway from Jeparit to Yanac via Lorquon and Netherby was completed in two stages from 1911 to 1916.

As patronage on Victoria's railway network declined in the post-war period passenger and goods services were slowly reduced, then withdrawn with many lines closed. In 1981 a State government report prepared by Ian Lonie recommended the closure of all rural passenger rail services in Victoria except for the line to Geelong. Following significant community outcry the plan did not proceed, but cuts to services continued and by the 1990s all of the intra-state passenger services to towns within Hindmarsh Shire had been withdrawn.

Jeparit Railway Bridge (Wimmera River)

As land selection and settlement continued in the West Wimmera, residents began to demand that their districts be connected to the railway network. Following the opening of the branch line from Dimboola to Jeparit in 1894 (and its extension by 1899 to Rainbow) attention was turned to the construction of branch line west from Jeparit to serve the growing communities of Lorquon, Netherby and Yanac. Following a request by local politician Mr Bent the matter was referred in 1904 to a Parliamentary Standing Committee on Railways and by 1905 the Committee recommended that a 14 mile extension from Jeparit to Lorquon. Despite this finding, the project would be delayed for four years due to disagreement about the route amongst local people, some of whom

HERITAGE CITATION REPORT

thought the branch should begin at Nhill. Eventually, in 1909 the matter was settled, and the Standing Committee chose the option originally proposed in 1905. Construction commenced in June 1911, and the line was officially opened on 10 December 1912. As well as the 14 miles of track, the route required construction of a large timber trestle bridge over the Wimmera River not far from Jeparit. In March 1912 two men involved in the construction of the bridge were drowned (*The Age*, 16 March 1912, p.14)

With the construction of the branch to Lorquon underway residents in the Yanac-a-Yanac district set about ensuring that it would extend on to Netherby and Yanac. In October 1910 a meeting of fourteen local farmers was held at the Yanac North State School. The attendees at the meeting decided to form themselves into the 'The North Yanac and District Railway League' to coordinate efforts to convince the Standing Committee to extend the railway westward. Various sub-committees were formed to gather statistical information such as area of land under cultivation and numbers of livestock and this was submitted to a Railways Traffic Officer who visited the district in 1913. It is likely that the information collected by the Officer formed the basis of the 1914 Standing Committee report, which recommended the extension of the Lorquon railway westward, passing to the south of Netherby township and terminating 'near the State School site about 2 miles west of Yanac-a-Yanac swamp'.

Construction of the extension commenced in May 1915 and the line was opened on 27 June 1916. In the first year of operation 320 passenger journeys were made from Yanac station, while 7,129 tons of goods were freighted out and 740 tons were freighted in. In the late 1930s concrete grain silos were constructed at Lorquon, Netherby and Yanac, as part of the massive project by the Grain Elevators Board to introduce bulk wheat handling across Victoria. Steel bins and sheds were added in the post-war period.

As population decreased passengers were withdrawn in about 1950, Yanac station (and others along the line) became unstaffed and the line was then used only for grain and superphosphate. Finally, in 1984 the line was closed and most of the infrastructure - tracks, platforms, buildings - were removed. The only remaining features to mark the station sites are the landmark grain silos.

References

Fitzpatrick, Brian, 1941, *The British Empire in Australia: an economic history, 1834-1939*, Macmillan Australia
Lee, Robert S., 2008, *The Railways of Victoria 1854-2004*, State of Victoria, Carlton
Yanac History Book Committee, *As time goes by at Yanac*, 1995, pp.38-41

Description

Physical Description

The railway bridge over the Wimmera River at Jeparit is built to a standard Victorian Railways design used from the mid-1870s onwards. It is a fifteen span bridge supported by piers each consisting of four piles (two inner and two outer 'raker' piles) with crossheads and timber beams and timber retaining walls at either end. The taller piers have cross-bracing and wailers. Large steel bolts are used to join the components together and there are metal angle irons connecting the crossheads and the beams. The various timber components have incised letters and numbers, which were a guide to the assembly and construction of the bridge. The timber deck and tracks have been removed. Some of the embankments survive at either end.

Comparative Analysis

This is the only surviving timber trestle railway bridge in Hindmarsh Shire. It is representative example of the bridges constructed by the Victorian railways in the late nineteenth century, which were built to standard designs. As a nineteenth century timber bridge it compares with the nearby timber road bridge, built in 1892.

Statement of Significance

What is significant?

HERITAGE CITATION REPORT

The timber trestle Railway Bridge over the Wimmera River near Jeparit, designed by the Victorian Railways and constructed in 1911-12 is significant.

How is it significant?

The Jeparit Railway Bridge is of local historic, representative and aesthetic significance to Hindmarsh Shire.

Why is it significant?

The Jeparit Railway Bridge is historically significant as part of the branch railway to Lorquon constructed in 1911-12, which was later extended to Netherby and Yanac by 1916. It demonstrates how the closer settlement of the northern Wimmera and Mallee in the late nineteenth and early twentieth centuries was closely associated with the development of the railway network. The construction of the branch railway enabled farmers in the north-western Wimmera to transport their grain and produce more easily at harvest time and contributed to the growth and development of Jeparit, which became the headquarters for the Shire of Dimboola in 1914.

(Criterion A)

The Jeparit Railway Bridge is a representative example of a Victorian Railways timber trestle railway bridge designed and constructed to span a wide and deep river crossing. This is demonstrated by the tall piers each consisting of four piles (two inner and two outer 'raker' piles) with cross-bracing and wailers. Other characteristic details include the crossheads and timber beams, and the incised letters and numbers, which were a guide to the assembly and construction of the bridge.

(Criterion D)

The Jeparit Railway Bridge is aesthetically significant as a substantial and rustic timber bridge in a rural setting. The aesthetic qualities are due to the striking and distinctive silhouette created by the repetitive four-pile piers and the patina of the timber structure, which has naturally faded over time. The rustic appearance of the bridge, and its setting within treed riverbanks in a broad section of the river adds to its picturesque qualities.

(Criterion E)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: Jeparit Railway Bridge
Aboriginal Heritage Place	-

This information is provided for guidance only and does not supersede official documents, particularly the planning scheme. Planning controls should be verified by checking the relevant municipal planning scheme.

HERITAGE CITATION REPORT

Name: NHILL SOLDIERS' LOUNGE
Address: 7 CLARENCE STREET NHILL
Place Type: Hall, Club/Social, War Memorial
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO48



Soldiers' Lounge

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style:
Interwar Period (c.1919- c.1940) Free Classical

History and Historical Context

World War I (WWI) had a profound and lasting impact upon Australia and to this day remains the costliest conflict in terms of deaths and casualties. From a population of fewer than five million, 416,809 men enlisted, of whom more than 60,000 were killed and 156,000 wounded, injured, or taken prisoner. The scars and losses of war were all the greater during WWI because (apart from a small number of wounded soldiers who returned home only to die later of their injuries) the bodies of the dead remained interred in the field of war, some unidentified or undiscovered. Families thus had no body to mourn nor opportunities to travel to such distant graveyards. This absence, combined with the high casualty rate, contributed to the general movement to memorialise the dead and those who served. The positioning and form of such memorials was a difficult and sometimes controversial task, all the more so because the trauma and loss of WWI was unprecedented both in casualties and in the public desire to commemorate it. Commemoration of World War II (WWII) and later conflicts was often layered atop the already established WWI memorials.

HERITAGE CITATION REPORT

One of the first war memorials in Hindmarsh Shire was the 'Anzac (or Soldiers') Memorial Avenue' established in 1918 within the wide median of Broadway at Jeparit, which was formally opened by Dimboola Shire President, Cr. E.J. McCabe, at a ceremony held on Tuesday 13 August following the council meeting. The establishment of this avenue of honour (and another established at Rainbow in the previous year) followed a suggestion made by the Dimboola Shire Engineer in July 1917 that memorial avenues in honour of soldiers should be established using trees provided free of charge by the Forests Commission (*Rainbow Argus*, 6 July 1917, p.2).

While obelisks and soldier statues such as the one unveiled at Rainbow in 1921 remained the most popular form of war memorials there was a growing movement after World War I to establish memorials that would have a lasting community benefit, as well as symbolic and commemorative meaning. According to Inglis (2001:138):

The view of the Repatriation Commission, commending 'memorials of a useful nature', now attracted supporters in old nations and new. The world had enough monuments to the dead; let commemoration be devoted to the living.

So called 'functional' war memorials such as halls, schools and soldiers' lounges 'served a double purpose' and were considered to be 'in keeping with the spirit of more enlightened and humane age' (Inglis 2001:138).

At Nhill, the decision was made to establish both types of memorials. A branch of the Returned Soldiers' Sailors' Imperial League of Australia (RSSILA) was formed on 8 April 1919 and in January 1920, a citizens committee led by William Goldsworthy with A.L. Bond was formed to build a soldiers' lounge, as a gesture to returned servicemen. Local architect James B. Barnes prepared the plans and R.W. Searle was the contractor for the building which was to cost 2000 pounds (*Advocate*, 13 January 1921, p.29 'Nhill and district'). Around the same time, the project to erect a war memorial was commenced and in May 1920 the design of John Robertson of Carlton was accepted. The Lowan Shire Council headed the public subscription list with a donation of 250 pounds.

The opening and unveiling ceremonies for the lounge and the memorial were held on the same day, 13 September 1921. The war memorial, situated within the median at the north end of Victoria Street facing toward the Post Office, was unveiled by the Assistant Minister for Repatriation, Mr A.S. Rodgers M.H.R. in the presence of 2,000 people. A similar crowd attended the opening of the Soldiers' Lounge by E. Turnbull (*The Argus*, 20 September 1921, p.6 'Notes for soldiers').

The Nhill Soldiers' Lounge remains in use by the local branch of RSL Victoria.

James B. Barnes, architect

Little is known of James B. Barnes, whose address in 1910 was Woodward Street, Nhill. He also designed St John's Lutheran Church, Pella in 1910 and in 1916 he designed additions to the Nhill Hospital.

It is unknown whether he was related to the builder and contractor John L. Barnes, who also lived at Nhill and was active during the early twentieth century.

References

Blake, Les, *The land of the Lowan. 100 years in Nhill and West Wimmera*, 1976

Inglis, K.S. *Sacred places. War memorials in the Australian landscape*, 2001

Museums Victoria Collections: <https://collections.museumsvictoria.com.au/items/769297> Accessed 29 November 2022 (1921 image by James Batson of the lounge on opening day)

Description

Physical Description

The Nhill Soldiers' Lounge is a single storey brick building with Classical influences. Built hard on the front boundary, the facade is divided into three bays by pilasters with fluted bases. The end bays each contain pair of

HERITAGE CITATION REPORT

tall, narrow two-pane casement windows with rendered lintels and sills, while the central bay contains the arched, recessed entry. This contains a pair of panelled timber doors, each with a leadlight window. Above the door is a copper plaque in low relief that features an abstracted 'Rising Sun' motif containing the Imperial Crown above a scroll with 'Australian Military Forces'. The gabled roof is concealed by a parapet with a square pediment flanked by simplified scrolls. There are cornices to the pediment and parapet, above a large rendered sign panel with rounded ends and 'SOLDIERS' LOUNGE' in raised letters. Other details include tall timber sash windows in the side elevations, tall brick chimneys with rendered, stepped caps. On either side of the front entry plaques have mounted on the wall below the windows: To the right is a 1995 plaque commemorating the 50th anniversary of the end of World War II, while the plaque to the right commemorates the Korean War 1950-53 and the peacekeeping that followed 1953-56.

Comparative Analysis

The Nhill Soldiers' Lounge is an example of a 'functional' war memorial - that is, a memorial that was intended to have a lasting community benefit. In Hindmarsh Shire it compares with the Dimboola Memorial Secondary College, opened in 1924, and the Jeparit Soldiers' and Citizens' Memorial Hall and Council Chambers, opened in 1925. The ground floor of the latter building comprised a library and reading room, soldiers' lounge and meeting room, billiard room, public hall with stage (later used as a cinema), dressing room and supper room. Upstairs was occupied by the shire offices and chambers. A further comparison with the Jeparit Memorial Hall is the use of the Free Classical style, as demonstrated by the symmetrical massing, and details such as the pilasters. The copper plaque above the doorway at the Nhill Soldiers' Lounge is a fine and distinctive feature, which enhances its aesthetic qualities.

Statement of Significance

What is significant?

The Nhill Soldiers' Lounge, designed by James B. Barnes and opened in 1921, at 7 Clarence Street, Nhill is significant. The commemorative plaques for World War II and the Korean War also contribute to the significance of the place.

Alterations and additions are not significant.

How is it significant?

The Nhill Soldiers' Lounge is of local historic, aesthetic, and social significance to Hindmarsh Shire.

Why is it significant?

Nhill Soldiers' Lounge is historically significant as a functional war memorial erected after World War I. It demonstrates the emerging desire of communities to establish war memorials that would have a lasting legacy as well as symbolic and commemorative meaning. Nhill is of note as it established this Soldiers' Lounge as well as a traditional war memorial statue in Victoria Street, which were unveiled on the same day in 1921. Nhill Soldiers' Lounge is also associated with the formation of returned services leagues in Victoria after World War I, which have played an important role in caring for and supporting servicemen and women and their families.

(Criterion A)

Nhill Soldiers' Lounge is of aesthetic significance as a building in the interwar Free Classical style. The aesthetic qualities are derived from the symmetrical massing with simplified Classical details including the pilasters, pediment, and stucco work. Of note is the arched, recessed entry, which features the finely detailed beaten copper plaque with an abstracted 'Rising Sun' motif containing the Imperial Crown above a scroll with 'Australian Military Forces' in low relief above the paired, panelled doors, each with a leadlight window.

(Criterion E)

Nhill Soldiers' Lounge is of social significance as a building that has been used by returned service men and women and their families for over 100 years. The plaques erected to commemorate World War II and the Korean War provide evidence of the continuing community attachment and use of the building.

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(Criterion G)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of Significance: 7 Clarence Street, Nhill
Aboriginal Heritage Place	-

Other Recommendations

Remove from HO29 and include within a new individual HO. The extent of the HO includes the whole of 7 Clarence Street, as defined by the title boundaries.

This information is provided for guidance only and does not supersede official documents, particularly the planning scheme. Planning controls should be verified by checking the relevant municipal planning scheme.

HERITAGE CITATION REPORT

Name: LOWAN SHIRE WAR MEMORIAL
Address: VICTORIA STREET, NHILL
Place Type: War Memorial
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO49



Lowan Shire World War Memorial

**Recommended
Heritage Protection**

VHR -

HI -

PS
Yes

Architectural Style: Interwar Period (c.1919-c.1940)

HERITAGE CITATION REPORT

History and Historical Context

World War I (WWI) had a profound and lasting impact upon Australia and to this day remains the costliest conflict in terms of deaths and casualties. From a population of fewer than five million, 416,809 men enlisted, of whom more than 60,000 were killed and 156,000 wounded, injured, or taken prisoner. The scars and losses of war were all the greater during WWI because (apart from a small number of wounded soldiers who returned home only to die later of their injuries) the bodies of the dead remained interred in the field of war, some unidentified or undiscovered. Families thus had no body to mourn nor opportunities to travel to such distant graveyards. This absence, combined with the high casualty rate, contributed to the general movement to memorialise the dead and those who served. The positioning and form of such memorials was a difficult and sometimes controversial task, all the more so because the trauma and loss of WWI was unprecedented both in casualties and in the public desire to commemorate it. Commemoration of World War II (WWII) and later conflicts was often layered atop the already established WWI memorials.

One of the first war memorials in Hindmarsh Shire was the 'Anzac (or Soldiers') Memorial Avenue' established in 1918 within the wide median of Broadway at Jeparit, which was formally opened by Dimboola Shire President, Cr. E.J. McCabe, at a ceremony held on Tuesday 13 August following the council meeting. The establishment of this avenue of honour (and another established at Rainbow in the previous year) followed a suggestion made by the Dimboola Shire Engineer in July 1917 that memorial avenues in honour of soldiers should be established using trees provided free of charge by the Forests Commission (*Rainbow Argus*, 6 July 1917, p.2).

While obelisks and soldier statues such as the one unveiled at Rainbow in 1921 remained the most popular form of war memorials there was a growing movement after World War I to establish memorials that would have a lasting community benefit, as well as symbolic and commemorative meaning. According to Inglis (2001:138):

The view of the Repatriation Commission, commending 'memorials of a useful nature', now attracted supporters in old nations and new. The world had enough monuments to the dead; let commemoration be devoted to the living.

So called 'functional' war memorials such as halls, schools and soldiers' lounges 'served a double purpose' and were considered to be 'in keeping with the spirit of more enlightened and humane age' (Inglis 2001:138).

At Nhill, the decision was made to establish both types of memorials. A branch of the Returned Soldiers' Sailors' Imperial League of Australia (RSSILA) was formed on 8 April 1919 and in January 1920, a citizens committee led by William Goldsworthy with A.L. Bond was formed to build a soldiers' lounge, as a gesture to returned servicemen. Local architect J.B. Barnes prepared the plans and R.W. Searle was the contractor for the building which was to cost 2000 pounds (*Advocate*, 13 January 1921, p.29 'Nhill and district'). Around the same time, the project to erect a Lowan Shire war memorial was commenced and in May 1920 the design of John Robertson of Carlton was accepted. The Lowan Shire Council headed the public subscription list with a donation of 250 pounds.

The opening and unveiling ceremonies for the lounge and the memorial were held on the same day, 13 September 1921. The Lowan Shire War Memorial, situated within the central median at the north end of Victoria Street facing toward the Post Office, was unveiled by the Assistant Minister for Repatriation, Mr A.S. Rodgers M.H.R. in the presence of 2,000 people. A similar crowd attended the opening of the Soldiers' Lounge by E. Turnbull (*The Argus*, 20 September 1921, p.6 'Notes for soldiers').

Speeches were delivered by ex-Councillor R. Dickinson, the president of the Lowan Shire (Councillor C. H. Towns), Mr. A. M. David (secretary of the State R.S.S.I.L.A.), Mr. Finlayson, M.L.C (Queensland), Mr John Clayton (president of the Fathers' Association), and the Rev. Henry Swan (Presbyterian Church). Pearl Conway, a young girl, whose father was one of the first men from Nhill killed at the war, placed one of five wreaths on the memorial (*Argus*, 14 September 1921).

After WWII the Shire of Lowan added a granite plaque to the base of the memorial to remember those who paid the supreme sacrifice. In March 2011 two further commemorative panels were unveiled to the south of the memorial. One commemorated post-WWII conflicts and peace-keeping operations. The other commemorated

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the Nhill RAAF Base, which was established in 1941 and operated until 1946. The base was initially home to No.1 Operational Training Unit (1OTU), which provided advanced operational flying and instruction. After the relocation of 1OTU in 1942, Nhill then housed No 2 Air Navigation School until its disbandment in December 1943. It also housed the No.97 Squadron Reserve and the Air Armament and Gas School. More than 10,000 people were trained at the base. The memorial also honours eleven airmen, four of whom are buried within the War section of the Nhill Cemetery and another four who lie in the War section of the Mildura Cemetery.

References

Blake, Les, *The land of the Lowan. 100 years in Nhill and West Wimmera*, 1976

Inglis, K.S. *Sacred places. War memorials in the Australian landscape*, 2001

Museums Victoria Collections: <https://collections.museumsvictoria.com.au/items/769297> Accessed 29 November 2022 (1921 image by James Batson of the lounge on opening day)

Description

Physical Description

The Lowan Shire World War I memorial is situated at the north end of the Victoria Street median, facing north, at the intersection with Nelson Street.

The memorial is in the form of an AIF 'Digger' soldier, executed in marble, atop a Harcourt granite obelisk. The soldier statue stands beside a *faux bois* stump (this appears to be a trademark of the artist - a similar stump is beside the soldier statue in the war memorial at Rainbow) with his hands at his side and holding his rifle in his right hand. The obelisk is comprised of a stepped base with wing walls projecting from each corner that terminate in piers with pyramidal caps. The obelisk above has a square base with a cushion-shaped top, surmounted by a narrower shaft with an elaborate shaped cap. The cap has a simplified cornice and pediment with a bronze AIF 'Rising Sun' insignia above 'For King and Country' in lead letters. On the four sides of the shaft are listed in lead letters the names of 319 soldiers, 85 of whom were killed, under the headings of 'Fallen' or 'Returned'. At the front on the base is a bronze plaque: 'Erected by the Residents of Nhill and District to Perpetuate the Memory of the Men from Lowan Shire who serve in the Great War 1914-1919'. Below this a granite plaque has been added 'In memory of those who paid the supreme sacrifice in World War II'. The memorial is enclosed by a low fence comprised of rough hewn tapered granite posts connected by a simple chain link.

Around the memorial is red brick paving, added in the late twentieth century. To the south of the memorial are two panels with pointed tops: one commemorates later conflicts and peace-keeping operations including Korea, Vietnam, Malaysia, Timor-Leste, Solomon, Iraq, and Afghanistan, and the other commemorates the RAAF base established at Nhill in 1941 and 11 airmen who were based in Nhill, seven of whom are buried in the War section of Nhill Cemetery and four who lie in the War section of the Mildura Cemetery. The mature Canary Island palms (*Phoenix canariensis*) immediately behind provide a related setting and frame views of the memorial from the north.

Comparative Analysis

The two world wars and other conflicts have been commemorated in Hindmarsh Shire in various ways. The most common form of war memorial was the obelisk, as it could be 'easily and cheaply supplied, was non-sectarian, and traditionally recognised as symbol of death or glory'. The next most common form was a statue representing a man of the AIF. The majority of memorials listed only the names of those who died (Inglis 2001:160-61).

Avenues of honour are a uniquely Australian war memorial and are not found elsewhere in the world. In Hindmarsh Shire, the Dimboola Shire Engineer advised in July 1917 that there were about 120,000 trees provided by the Forests Commission available for planting free of charge and suggested 'the various towns might at this season of the year plant a memorial avenue in memory of all soldiers who have enlisted from their

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towns and districts' (*Rainbow Argus*, 6 July 1917, p.2). The offer was accepted by the citizens of Rainbow who in August 1917 planted trees over a half-mile length in King Street as a memorial to those who participated in the war. Each tree was to bear the name of a local volunteer who served (*Rainbow Argus*, 3 August 1917, p.2). At Jeparit in 1918, trees were planted in Broadway, which was renamed as Anzac (or Soldiers') Memorial Avenue. The original plantings associated with these avenues have not survived.

As well as traditional memorials such as obelisks and statues there began a movement after World War I (WWI) to create 'utilitarian' memorials that would have a lasting and active community benefit beyond the important commemorative role. The most common type was the memorial hall, used as clubroom for returned soldiers, and often doubling as a town hall or community centre. Hindmarsh Shire contains three impressive examples of these: the Nhill Soldiers' Lounge, opened in September 1921, the Dimboola Memorial High School (now Secondary College), opened and dedicated in 1924, and the Soldiers' and Citizens' Memorial Hall and Municipal Chambers at Jeparit, opened in June 1925. The Dimboola Memorial Secondary College also contains several other memorials including avenues of honour for WWI and World War II (WWII) soldiers, WWII memorial gates, and a memorial to Matron Olive Paschke, an Australian Army Nurse who died during WWII.

The World War memorial at Nhill is one of two 'traditional' memorials featuring a soldier statue in Hindmarsh Shire. The other is at Rainbow, and was also unveiled in 1921. While the two are broadly similar both in terms of their design (an AIF soldier atop an obelisk) and siting (within the median strip of the main street within each town), the Nhill is a superior example in terms of its form and detailing. Whereas the Rainbow obelisk is quite simple (a tapered smooth shaft above a rough hewn base sitting on a simple two-step base), the Nhill obelisk is distinguished by the far more elaborate base with wing walls projecting from each corner that terminate in piers with pyramidal caps and is complemented by a low fence comprised of rough hewn tapered granite posts connected by a simple chain link.

Statement of Significance

What is significant?

The Lowan Shire War Memorial, created by John Robertson in 1920-21 and situated within the median of Victoria Street, at Nhill is significant. The plaque and panels added to commemorate World War II and other conflicts and peace-keeping operations, and the Nhill RAAF Base, and the mature Canary Island palms (*Phoenix canariensis*) also contribute to the significance of the place.

How is it significant?

The Lowan Shire War Memorial is of local historic, representative, aesthetic, and social significance to Hindmarsh Shire.

Why is it significant?

The Lowan Shire War Memorial is of historical significance as an expression of the profound impacts that World War I and World War II and other conflicts have had upon Australian society. The memorial and its prominent location at the centre of Nhill demonstrates the desire of local communities to commemorate and mourn those who served and those who fell.

(Criterion A)

The Lowan Shire War Memorial is a representative example of a World War I memorial of a characteristic obelisk form surmounted by an AIF soldier statue. Other typical details include the bronze AIF 'Rising Sun' insignia above 'For King and Country' in lead letters, the names of district soldiers in lead lettering on each face of the obelisk under the headings of 'Fallen' or 'Returned', and the bronze plaque commemorating World War I and World War II. It is distinguished as rare example of a war memorial that lists soldiers who returned as well as those who fell in battle, and by less common details such as the elaborate base with wing walls projecting from each corner that terminate in piers with pyramidal caps and the low surrounding fence. The prominent location within a central median at a major intersection within the town is also characteristic of war memorials.

(Criterion D)

The Lowan Shire War Memorial is of aesthetic significance as a fine and well-detailed example of a memorial

HERITAGE CITATION REPORT

executed in Harcourt granite and marble. It is distinguished by fine details and the highly modelled form of the obelisk, which has a square base with a cushion-shaped top, surmounted by a narrower shaft with an elaborate shaped cap featuring a simplified cornice and pediment with a bronze AIF 'Rising Sun' insignia above 'For King and Country' in raised lead letters. This is mounted on an elaborate stepped base with wing walls projecting from each corner that terminate in piers with pyramidal caps and is complemented by a low fence comprised of rough hewn tapered granite posts connected by a simple chain link. The Canary Island palms, which form a related backdrop to the memorial contribute to its aesthetic qualities. Situated on a prominent intersection directly opposite the historic post office it is an historic landmark within Nhill.

(Criterion E)

The Lowan Shire War Memorial is of social significance as a place of remembrance and commemoration for Nhill and the surrounding communities that once formed part of Lowan Shire. The panels added more recently for post-World War II conflicts and peacekeeping operations and the Nhill RAAF Base demonstrates the strong and continuing community attachment to this place.

(Criterion G)

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	Yes, Canary Island palms
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of significance: Lowan Shire War Memorial
Aboriginal Heritage Place	-

Other Recommendations

Include within heritage overlay as an individual place.

This information is provided for guidance only and does not supersede official documents, particularly the planning scheme. Planning controls should be verified by checking the relevant municipal planning scheme.

HERITAGE CITATION REPORT

Name: NHILL BAND ROTUNDA
Address: VICTORIA STREET, NHILL
Place Type: Bandstand/Rotunda
Citation Date: 2023

Significance Level: Local
Heritage Overlay: HO50



Nhill Band Rotunda

Recommended Heritage Protection VHR -

HI -

PS
Yes

Architectural Style:
Federation/Edwardian Period (1902- c.1918)

HERITAGE CITATION REPORT

History and Historical Context

Nhill

Hindmarsh Shire is situated on the lands of the Wotjobaluk, Wergaia, Jaadwa, Jadawadjali, and Jupagalk traditional owners, represented today by the Barengi Gadjin Land Council Corporation.

The town of Nhill developed around a large swamp or lagoon, and it is said the name was derived from a local indigenous word *niall*. Nhill was the name applied to the pastoral run taken up in 1848 and during the 1850s the gold escort route from the Victorian diggings to Adelaide passed within 6 km, and the homestead became a postal receiving and dispatch place. The presence of the swamp, which provided a source of water for travellers and the location near the confluence of several early settlers tracks, and approximately equidistant between Dimboola and Kaniva (or Melbourne and Adelaide) are said to have been reasons why Nhill developed into an important town.

In 1869 the passing of the *Land Act* opened up the surrounding country to selection, and from about 1875 onwards settlers from the lower Wimmera and South Australia took up farm selections in the district. The township of Nhill grew up around the stone mill established by John Oliver. The presence of the mill encouraged Clem Hardingham to establish the first hotel, the Union, which was followed by the first general store opened by Mark Kozminsky. Both were established to serve the farmers who would bring their wheat to the mill for grinding and these two buildings became the nucleus of the shopping centre that would develop along Victoria Street and eventually extend into Nelson Street. The township site was surveyed in 1879. Fourteen house sites were surveyed initially and another 30 by mid-1880 when the boundaries were Church, Nelson, Victoria and Leahy streets and contained three stores. By this time the population was recorded as 80-100 people.

Community formation was marked by the first school, which opened in 1881 in a Bible Christian church, before a permanent school was opened in 1884. The first church congregations were formed and other early institutions included the Mechanics' Institute (1882), hospital (1882), a racing club (1883), and an agricultural and pastoral society (1884). The *Nhill Free Press* began publication in 1882 and continues as the district's newspaper.

Nhill was originally part of Wimmera Shire, but with the influx of settlers in the early 1870s the Lowan Shire was proclaimed in 1875. Lowan Shire was based first in Dimboola, where the Shire Hall and Offices were opened in 1877. However, in 1883 the growing importance of Nhill was demonstrated by the moving of the Shire headquarters to the Nhill Mechanics' Institute, which had opened in the previous year. Two years later, Dimboola Shire was excised from Lowan Shire and in 1888 new headquarters for the redrawn Lowan Shire were built at Nhill.

Significant development followed the extension in 1887 of the railway from Dimboola to Serviceton, which included a station at Nhill. Between 1887 and 1890 Nhill acquired three new banks, two new churches, a post office, a courthouse, a new flour mill, as well as several shops and houses and by 1891 Nhill's population had reached 1100 people, a ten-fold increase on a decade before. The state-wide economic depression of the early 1890s brought a temporary halt to development before Nhill (like other Wimmera towns) experienced another development boom in the first decade of the twentieth century. By 1911 the population had grown to 1500.

Nhill Band Rotunda

Cultural and creative life in rural areas was related to the formation of community and community associations such as music and drama societies. Participating in concerts or plays, as either a performer or spectator, provided an opportunity to escape the hardships of rural life. Brass bands were especially popular during the late nineteenth and early twentieth centuries and were in constant demand up to World War Two performing at the dances and socials held regularly at the local halls throughout Hindmarsh Shire, as well as civic functions or events.

At Nhill, at least three bands were formed in the late nineteenth century: the Nhill Brass Band, Nhill Temperance Brass Band and the Sunny South Band, and in 1913 Hubert Fritsch formed the Nhill Model Band to train junior players. Of these, the Nhill Brass Band was the best known and the most successful, particularly from the early 1900s onward under bandmaster James Davis. In October 1900 Nhill Brass Band won the Wimmera Bands

HERITAGE CITATION REPORT

District contest and by the 1920s was regarded as one of the finest brass bands in rural Victoria. In 1929 Nhill Brass Band was awarded a 'B' grading by the advisory board of the Victorian Band Association, the only Wimmera band to achieve this standard. By comparison, the brass bands of Horsham and Warracknabeal were 'C' grade, while Dimboola, Hopetoun and Stawell were in 'D' grade (*Portland Guardian*, 31 January 1927, p.2 'Champion Wimmera Band'; *The Horsham Times*, 20 September 1929, p.10).

The Nhill band rotunda situated within the Victoria Street median at Nhill was opened by the Lowan Shire President, Cr. John Bond on Saturday, 25 September 1909 in the presence of State parliamentarians (Messrs. Hagenthorn M.L.C. and Sampson M.H.R.) and a large crowd who gathered in 'brilliant moonlight and genial air' with seats provided for women. The Nhill Brass Band played a concert, which was interrupted when the fire bell was sounded leading to several band members leaving to fight the fire at the house of local residents who were part of the concert audience (*The Ballarat Star*, 5 October 1909, p.6 'Nhill').

Local contractor John Barnes built the rotunda, and the cost of 136 pounds was shared equally between the Shire Council and the Brass Band Committee. The Committee raised their portion of the funds by conducting Nhill's first 'Aquatic Carnival' near the Chinese gardens, now the Nhill lake, and also from the proceeds of the Lowan's Hall re-opening concert.

The Nhill band rotunda remained in use until well into the post-World War II period. In 1951 four brass bands from Horsham, Natimuk, Warracknabeal and Nhill attended a massed band display at Nhill. The Nhill and District Pipe Band also attended the display, and took part in the march from the band rotunda to the recreation reserve, where each band played during the afternoon. Further performances by each band were held each evening at the rotunda. Two years later, eight brass bands gathered at Nhill to celebrate the dedication of the J.T. Davis Memorial Band Hall, named in honour of late Mr James Davis who had been bandmaster at Nhill for more than 40 years. A concert was held at Davis Park and at the end all bands formed a grand massed band of some 400 bandsmen, which marched in parade through Nhill streets to the band rotunda and back to the band room (*The Horsham Times*, 23 March 1951, p.4 'Horsham band at Nhill display'; 30 November 1953, p.3 'Memorial plaque to bandmaster').

The bandstand was restored and refurbished in 2000 and more recently with the assistance of Hindmarsh Council, the State Government, and the Nhill Apex Club and Lions Club.

References

Blake, Les, *The land of the Lowan. 100 years in Nhill and West Wimmera*, 1976

Bound, Frank, *Nhill's fabulous century. A pictorial record of Nhill's first one hundred years*, 1980

Heritage Victoria, Beaufort Band Rotunda Hermes Record No.4157

Description

Physical Description

The Nhill band rotunda is an octagonal structure with a red brick base, which is situated within the median of Victoria Street, just to the north of Macpherson Street. The brick walls are laid in garden wall bond and there are steps on the north side leading to the band platform, which have a timber balustrade. The band platform has a cast iron balustrade with a timber rail, and there are fluted cast iron columns with Corinthian capitals and a cast iron frieze supporting the corrugated metal roof, which has an ogee profile and is surmounted by a raised cupola (which originally operated as a roof vent). The cupola has arched openings with short turned timber posts, upturned eaves and is surmounted by a ball finial. The band rotunda is in good condition and has good integrity. The paint colour scheme is sympathetic, the timber balustrade to the stairs has been replaced and the timber ceiling is not original.

The rotunda is surrounded by red brick paving, which echoes its octagonal shape, and is edged with narrow garden beds. The paving and the landscaping is not original and probably dates to c.2000 when the rotunda was refurbished.

HERITAGE CITATION REPORT

Comparative Analysis

Bands rotundas first appeared in Britain in the eighteenth century to accommodate outdoor band performances. The models developed in Britain in the nineteenth century were copied in Victoria, probably the first in Melbourne being built at the Cremorne Gardens, near Richmond in c.1853, and many were soon also built in provincial centres. Purpose-built band rotundas, usually situated in public parks, soon became a common building type during the nineteenth and early twentieth centuries, when most communities had their own bands, which gave regular public performances. As well as having the obvious musical function, they also had a social function as a meeting place and place of entertainment, and a decorative function, as a prominent architectural element in public gardens (Heritage Victoria).

Band rotundas gained popularity in first quarter of the twentieth century, when many built, but after this their popularity decreased. In the 1930s construction virtually ceased in Victoria, with bandstands only being built in remote country areas. None appear to have been built between 1937 and the 1980s, but there was a revival in the 1980s. Many are no longer used, and many have been demolished. Band rotundas were usually circular, octagonal, hexagonal or square, and were roofed to provide shelter (Heritage Victoria).

The Nhill band rotunda is characteristic of the rotundas built during the first decades of the twentieth century. The octagonal shape, elevated platform on a brick base, and the ogee profile roof with cupola supported by a cast iron posts with frieze and balustrade are all typical features of rotundas of the period. There are no direct comparisons in Hindmarsh Shire. It compares with examples on the Victorian Heritage Register such as the Beaufort Band Rotunda (VHR H2253, built in 1903), the Queen Alexandria bandstand in Ballarat (VHR H0972, built in 1908) and the Women's Welcome Home Band Rotunda in Port Melbourne (VHR H1735, built in 1918).

Statement of Significance

What is significant?

The Nhill Band Rotunda built by John Barnes in 1909 and situated within the median reserve of Victoria Street, Nhill is significant.

Alterations and additions are not significant.

How is it significant?

The Nhill Band Rotunda is of local historic, representative, and aesthetic significance to Hindmarsh Shire.

Why is it significant?

The Nhill Band Rotunda is of historic significance as a bandstand built during the heyday of local brass bands, which played an important role in the cultural and social life of communities from the late nineteenth to the mid twentieth centuries. This importance is demonstrated by the prominent location in the main street of Nhill and the fine quality and detailing of the rotunda. The rotunda is associated with the Nhill Brass Band, which was regarded as one of the best in the Wimmera region during the early twentieth century.

(Criterion A)

The Nhill Band Rotunda is of representative significance as a characteristic example of the band rotundas built during the first decades of the twentieth century. The octagonal shape, elevated platform on a brick base, and the ogee profile roof with cupola supported by a cast iron posts with frieze and balustrade are all typical features of rotundas of the period.

(Criterion D)

The Nhill Band Rotunda is of aesthetic significance as a finely detailed Federation era bandstand in a prominent location, which is an historic landmark within Nhill. The distinctive octagonal form, cast iron ornamentation, elegant ogee profile roof surmounted by a raised cupola with arched openings and surmounted by a ball finial contribute to the aesthetic qualities of the building.

(Criterion E)

HERITAGE CITATION REPORT

Recommendations 2023

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited uses may be permitted	-
Incorporated Plan	Statement of significance: Nhill Band Rotunda
Aboriginal Heritage Place	-










Other Recommendations

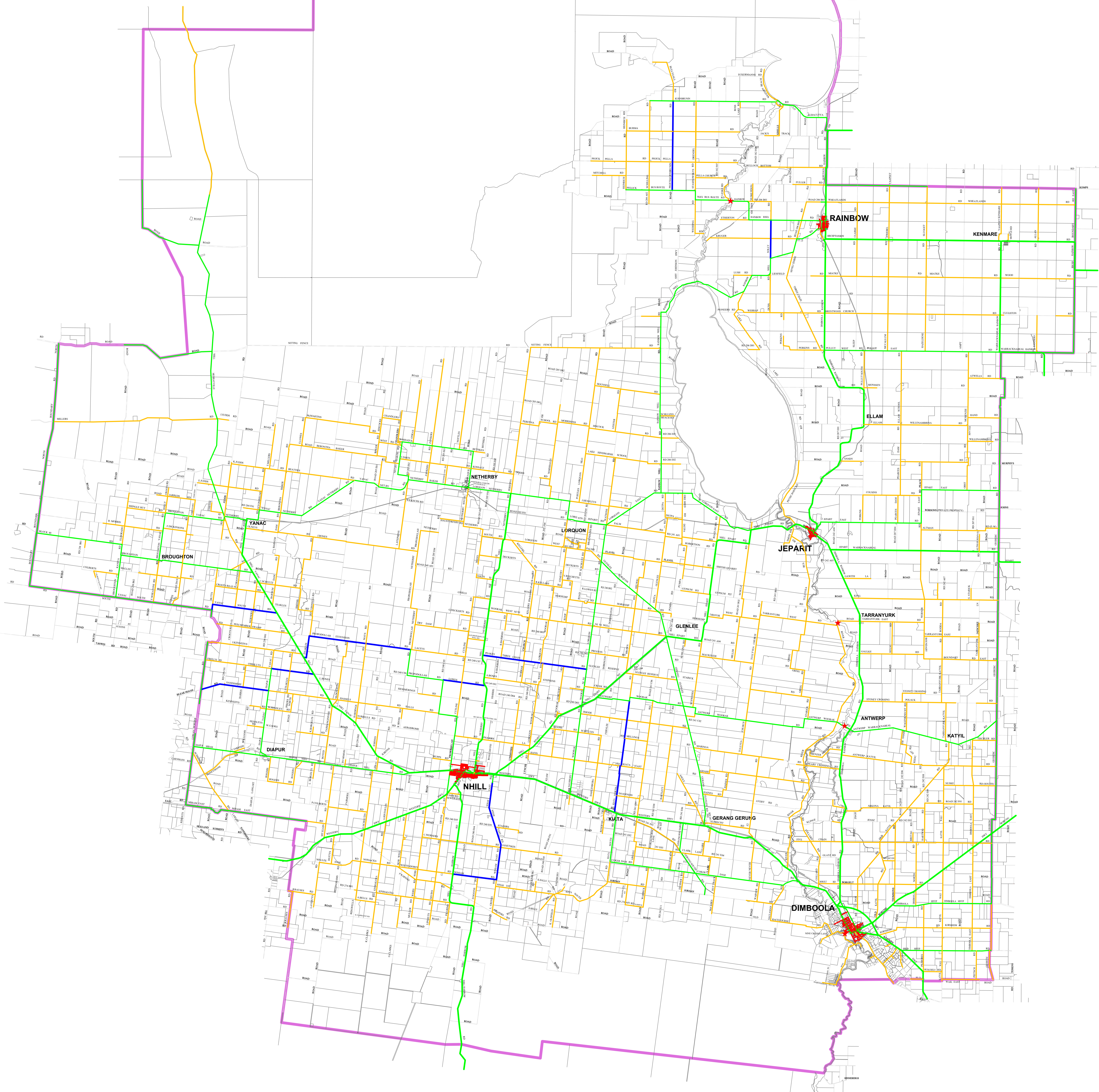
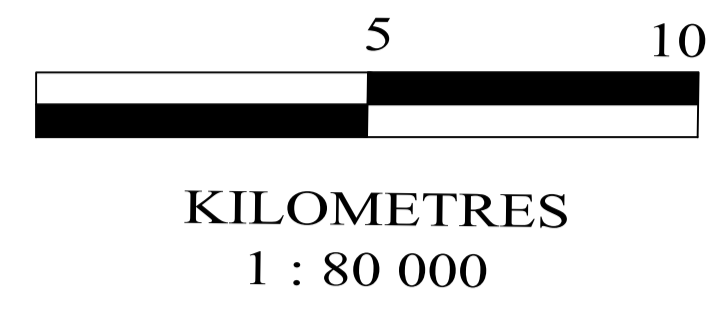
Recommended for inclusion in the Heritage Overlay as an individual place. HO extent to include the rotunda and surrounding land to approximately 2 metres from the edge of the structure.

This information is provided for guidance only and does not supersede official documents, particularly the planning scheme. Planning controls should be verified by checking the relevant municipal planning scheme.

HINDMARSH SHIRE COUNCIL HEAVY VEHICLE ROUTES

LEGEND

-  SHIRE BOUNDARY
-  APPROVED - DECLARED ROAD
-  APPROVED - LOCAL ROAD
-  APPROVED WITH CONDITIONS - DECLARED ROAD
-  APPROVED WITH CONDITIONS - LOCAL ROAD
-  RESTRICTED - DECLARED ROAD
-  RESTRICTED - LOCAL ROAD
-  PROPOSED APPROVED - LOCAL ROAD
-  BRIDGE RESTRICTED





Saturday 15th April 2023

To Committee Members,

NOTICE is hereby given that a Rainbow Township Advisory Committee Meeting of the Hindmarsh Shire Council will be held at the Civic Centre Small Meeting Room on **Monday 17th April 2023** commencing at 7.30pm.

AGENDA

1. Acknowledgement of the Indigenous Community

2. Apologies

3. Disclosure by Committee members or Councillors or Council Officers of any interest or conflicts of interest in any item on the agenda

4. Confirmation of Minutes

5. Business Arising from the Minutes

6. Correspondence

7. Events

8. General business as notified to the Chair
a. [Shire public meeting times](#)
b. [Entrance to the Rec Reserve](#)
c. [Garden fencing in the main street](#)
d. [Community survey summary](#)

9. Councillor Report

10. Officer Report

11. Urgent business

12. Finance report

13. Decisions to be made

14. Meeting Closed

15. Council Officer Authorisation

1. ACKNOWLEDGEMENT OF THE INDIGENOUS COMMUNITY AND OPENING PRAYER

Meeting started: 19:30

Acknowledgement of the Indigenous Community

We acknowledge the Shire’s Indigenous community as the first owners of this country. We recognise the important ongoing role that indigenous people have in our community and pay our respects to their elders and people both living and past.

2. APOLOGIES
 Apologies : [Belinda Eckermann](#)
Apologies be accepted Moved Graham Nuske/ Bill Hutson AiF C

Attendance : [Bill Hutson](#), [Allira Roberts](#), [Greg Roberts](#), [Graham Nuske](#), [Colleen Petschel](#), [Ron Ismay](#) (*Bernard Young – survey result summary*)

3. DECLARATION BY COUNCILLORS OR OFFICERS OF ANY DIRECT OR INDIRECT INTEREST IN ANY ITEM ON THE AGENDA.
[Nil](#)

4. CONFIRMATION OF MINUTES

That the Minutes of the RTAC Committee Meeting held on at the Civic Centre Meeting Room, circulated to Committee Members be taken as read and confirmed.
Moved by Allira Roberts/ Graham Nuske AiF C

5. BUSINESS ARISING FROM THE MINUTES
[Nil](#)

6. CORRESPONDENCE

INWARD – [Letter from Shire](#) :End of Advisory Committee membership term 4-4-23

OUTWARD - [Nil](#)

RECOMMENDATION

That the Inward Correspondence noted.
Moved Allira Roberts/Graham Nuske AiF C

7. EVENTS
[Nil](#)
(Bernard mentioned a Landcare Network Tree Planting event on 8th July 2023)

Event:		Location:		Date	
<i>Relevant documents</i>					

	Responsibility	Due date	Status
Risk assessment			
Food permit			
Local Law permit			

8. GENERAL BUSINESS AS NOTIFIED TO THE CHAIR

8.1 Shire public meeting times

- This issue has been raised at a prior meeting
- Suggestion for a later time than 5:30pm start time to allow more members of the community the opportunity to attend Shire meetings
- Looking at a more user friendly time of 7pm
- **Motion : Graham Nuske to send an email to the Shire on behalf of the Rainbow Town Committee to recommend that the Shire meeting times be shifted to 7pm to entice more participation at meetings**
Moved Graham Nuske/Bill Hutson AiF C

8.2 Entrance to the Rainbow Recreation Reserve

- At the moment the entrance area is all roped off
- Works due to a burst waterpipe
- The situation can be potentially dangerous, particularly with footy coming up (May 6th)
- Request for more information or a timeline for the works to be completed
- **Motion : Greg Roberts to contact the Shire to discuss the logistics of the entrance works and seek clarification on timeline.**
Moved Graham Nuske/Allira Roberts AiF C

8.3 Garden fencing in the main street

- The Shire is aware of the state of the wooden surrounds in the Federal street garden
- Bill talked to Aiden approx.. 3 weeks ago
- Some damage can be attributed to the Street sweeper
- May try to get HOL (Hands On learning) kids involved in refurbishment

8.4 Community survey summary

- Bernard Young gave some background to the genesis of the survey and his discussions with people from Murtoa (who went through the same process)
- Collaborative process between the rainbow Progress Association & the Rainbow Town Committee
- Response rate – 37 online and 4.5 written
- 22 people turned up to the last Shire meeting
- Bernard went through a summary of the questions and how the data can be used
- There was a brief discussion on the history of The Mecca
- Question was asked who should look after the data and who should be able to access it
- It was decided that the question summaries should be made accessible only (not individual responses)
- Bernard is organizing a press release to thank all respondents for their participation in the survey process
- The Committee thanked Bernard for his hard work and effort in getting this process up and running
- **Motion : The survey data be retained by the Rainbow Progress Association, be sent on to the Shire for inclusion in their community consultation process and be available to local user groups on request.**
Moved Graham Nuske/ Colleen Petschel AiF C

9. COUNCILLOR REPORT

- Amenities block up at the Enduro track has gone out to tender
- Llews Silo has gone out to tender' *(the Committee would like to know more about the design, progress & logistics of this project)*
- Ron visited the Quambatook Tractor Pull to see the event in action and check out the potential for Rainbow to hold similar events at the Enduro precinct (eg. Try & tune)

10. OFFICER REPORT

- Nil

11. URGENT BUSINESS

12. FINANCE REPORT

12.1 Summary of Balances in Finance Report.

RECOMMENDATION:

That the Finance Report (for March) as provided in email be approved.

Moved Graham Nuske/Bill Hutson AiF C

12.2 Purchase Orders to be raised - \$2,000 or less

RECOMMENDATION:

That the Council Officer raise the following Purchase Orders, being a value of \$2,000 or less.

Moved

Seconded

Creditor	Value \$	Description of Goods or Services

12.3 Purchase Orders to be raised – Greater than \$2,000

RECOMMENDATION:

That the Council Officer, following approval by Council or the CEO, raise the following Purchase Orders greater than \$2,000.

Moved

Seconded

Creditor	Value \$ (> \$2,000)	Description of Goods or Services

13. DECISIONS TO BE MADE

The following decisions are recommendations to Council for endorsement:

ITEM NO.	DESCRIPTION	DECISION
4	Minutes	Confirmation of the Minutes
5	Business Arising from Minutes	
6	Correspondence	Approving the Outward Correspondence and Noting the Inward.
7	Events	
8	General Business as Notified to the Chair	Check out motions in 8.1, 8.2 & 8.4
9	Councillor's Report	
10	Officer's Report	
11	Urgent Business	
12.1	Finance Report	That the Finance Report as provided with the Agenda be approved.
12.2	Purchase Orders to be Raised (\$2,000 or less)	That the Council Officer raise the Purchase Orders listed.
12.3	Purchase Orders to be Raised (above \$2,000)	That the Council Officer, following approval by Council or the CEO, raise the following Purchase Orders listed which are greater than \$2,000.

14. MEETING CLOSED

The meeting closed at 20:40

15. COUNCIL OFFICER AUTHORISATION

*to be completed by the Council Officer

I Michael Henderson accept the following recommendations made by the Rainbow Town Committee at this meeting held on 17/4/23

ITEM NO.	DESCRIPTION	DECISION
4	Minutes	Confirmation of the Minutes
5	Business Arising from Minutes	
6	Correspondence	Approving the Outward Correspondence and Noting the Inward.
7	Events	
8	General Business as Notified to the Chair	
9	Councillor's Report	
10	Officer's Report	
11	Urgent Business	
12.1	Finance Report	That the Finance Report as provided with the Agenda be approved.
12.2	Purchase Orders to be Raised (\$2,000 or less)	That the Council Officer raise the Purchase Orders listed.

I _____ advise that the following items:

ITEM NO.	DESCRIPTION	DECISION
12.3	Purchase Orders to be Raised (above \$2,000)	That the Council Officer, following approval by Council or the CEO, raise the following Purchase Orders listed which are greater than \$2,000.

- Need to be referred to a Council Meeting / CEO for a decision
- Require more Information
- Do Not align with the Hindmarsh Shire Council Plan

SIGNED:

Council Officer



Dated:

16/5/23



Sunday 14th May 2023

To Committee Members,

NOTICE is hereby given that a Rainbow Township Advisory Committee Meeting of the Hindmarsh Shire Council will be held at the Civic Centre Small Meeting Room on **Monday 15th May 2023** commencing at 7.30pm.

AGENDA

1. **Acknowledgement of the Indigenous Community**
2. **Apologies**
3. **Disclosure by Committee members or Councillors or Council Officers of any interest or conflicts of interest in any item on the agenda**
4. **Confirmation of Minutes**
5. **Business Arising from the Minutes**
6. **Correspondence**
 - a. [Latrobe Uni – WWHS – Exploring new approaches to health promotion in rural communities](#)
7. **Events**
8. **General business as notified to the Chair**
 - a. [community information board](#)
 - b. [survey distribution for rough jewels enterprise](#)
9. **Councillor Report**
10. **Officer Report**
11. **Urgent business**
12. **Finance report**

13. Decisions to be made

14. Meeting Closed

15. Council Officer Authorisation

1. ACKNOWLEDGEMENT OF THE INDIGENOUS COMMUNITY AND OPENING PRAYER

Meeting started: 19:34

Acknowledgement of the Indigenous Community

We acknowledge the Shire's Indigenous community as the first owners of this country. We recognise the important ongoing role that indigenous people have in our community and pay our respects to their elders and people both living and past.

2. APOLOGIES

Apologies : Graham Nuske

Apologies be accepted Moved Allira Roberts/ Belinda Eckermann AiF C

Attendance : Bill Hutson, Mick Henderson, Allira Roberts, Greg Roberts, Belinda Eckermann, Colleen Petschel, Ron Ismay, Bernard Young

3. DECLARATION BY COUNCILLORS OR OFFICERS OF ANY DIRECT OR INDIRECT INTEREST IN ANY ITEM ON THE AGENDA.

Belinda Eckermann re agenda item 2.

4. CONFIRMATION OF MINUTES

That the Minutes of the RTAC Committee Meeting held on 17th April 2023 at the Civic Centre Meeting Room, circulated to Committee Members be taken as read and confirmed. Allira Roberts/ Bill Hutson AiF C (pending Council approval)

5. BUSINESS ARISING FROM THE MINUTES

6. CORRESPONDENCE

INWARD – Latrobe Uni – WWHS – Exploring new approaches to health promotion in rural communities

- *The committee discussed this and agreed that it would be a valuable experience and would like to be involved in the study*
- *Colleen to make contact with Michele Conlin*

OUTWARD - NA

RECOMMENDATION

*That the Inward Correspondence be noted and acted upon
Moved Colleen Petschel/ Belinda Eckermann AiF C*

7. EVENTS

- Bernard mentioned the Landcare Tree Planting weekend starting on July 8th.

Event:		Location:		Date	
<i>Relevant documents</i>					
	Responsibility	Due date	Status		
Risk assessment					
Food permit					
Local Law permit					

8. GENERAL BUSINESS AS NOTIFIED TO THE CHAIR

8.1 Community Information board

- Belinda gave a summary of any progress made
- If it is a free standing one / or in a public place we will need a permit
- There was a discussion of the use of community notice boards
- Belinda to discuss possible options with Post Office
- Ron offered some Parks boards that are sitting in his shed
- Belinda to check these out
- The committee will scout for possible locations
- A decision to be held over until a future meeting.

8.2 Survey distribution for Rough Jewels Enterprise

- Belinda outlined the purpose of the survey and what Rough Jewels enterprise was all about
- *Belinda left the room as per conflict of interest*
- The remaining committee members had a discussion about the request
- It was decided that as Rough Jewels Enterprise is a private enterprise the Town Committee cannot be seen to be endorsing it
- Belinda re-entered the room and Greg Roberts explained the reasoning behind the motion
- **MOTION : The Rainbow Town Committee will not be involved in the distribution of the Rough Jewels Enterprise survey Moved Allira Roberts/ Bill Hutson AiF C**

9. COUNCILLOR REPORT
 - Gravel is still coming in for the Enduro area
 - Llew Schilling’s Silo project is up for Tender
Report received and accepted Allira Roberts/Belinda Eckermann AiF C

10. OFFICER REPORT
Rainbow Caravan Park
 - The new cabin is ready for booking out and I think Mick had someone staying in it over this past weekend.
 - Construction of the bases and framework for the other two new cabins has commenced.
 - New amenities building - Final design drawings have been completed and the building permit application is currently being prepared. Delivery and installation will occur mid- late second half of the year.

2023 -2028 Community Action Plan

- Following the rounds of community consultations the draft 2023 - 2028 Community Action Plan is currently being prepared.

11. URGENT BUSINESS
NA

12. FINANCE REPORT

12.1 Summary of Balances in Finance Report.

RECOMMENDATION:

That the Finance Report for April 2023 as provided with this Agenda be approved.

The Financial statement is a true & accurate record.

Moved Allira Roberts/ Bill Hutson AiF c

12.2 Purchase Orders to be raised - \$2,000 or less

RECOMMENDATION:

That the Council Officer raise the following Purchase Orders, being a value of \$2,000 or less.

Moved

Seconded

Creditor	Value \$	Description of Goods or Services

12.3 Purchase Orders to be raised – Greater than \$2,000

RECOMMENDATION:

That the Council Officer, following approval by Council or the CEO, raise the following Purchase Orders greater than \$2,000.

Moved

Seconded

Creditor	Value \$ (> \$2,000)	Description of Goods or Services

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13. DECISIONS TO BE MADE

The following decisions are recommendations to Council for endorsement:

ITEM NO.	DESCRIPTION	DECISION
4	Minutes	Confirmation of the Minutes
5	Business Arising from Minutes	
6	Correspondence	Approving the Outward Correspondence and Noting the Inward.
7	Events	
8	General Business as Notified to the Chair	
9	Councillor's Report	
10	Officer's Report	
11	Urgent Business	
12.1	Finance Report	That the Finance Report as provided with the Agenda be approved.
12.2	Purchase Orders to be Raised (\$2,000 or less)	That the Council Officer raise the Purchase Orders listed.
12.3	Purchase Orders to be Raised (above \$2,000)	That the Council Officer, following approval by Council or the CEO, raise the following Purchase Orders listed which are greater than \$2,000.

14. MEETING CLOSED

The meeting closed at 20:32

15. COUNCIL OFFICER AUTHORISATION

*to be completed by the Council Officer

I Michael Henderson accept the following recommendations made by the Rainbow Town Committee at this meeting held on 15 May 2023

ITEM NO.	DESCRIPTION	DECISION
4	Minutes	Confirmation of the Minutes

5	Business Arising from Minutes	
6	Correspondence	Approving the Outward Correspondence and Noting the Inward.
7	Events	
8	General Business as Notified to the Chair	
9	Councillor's Report	
10	Officer's Report	
11	Urgent Business	
12.1	Finance Report	That the Finance Report as provided with the Agenda be approved.
12.2	Purchase Orders to be Raised (\$2,000 or less)	That the Council Officer raise the Purchase Orders listed.

I _____ advise that the following items:

ITEM NO.	DESCRIPTION	DECISION
12.3	Purchase Orders to be Raised (above \$2,000)	That the Council Officer, following approval by Council or the CEO, raise the following Purchase Orders listed which are greater than \$2,000.

- Need to be referred to a Council Meeting / CEO for a decision
- Require more Information
- Do No align with the Hindmarsh Shire Council Plan



SIGNED:

Dated:

22 May 2023



8th May 2023

MINUTES OF THE JEPARIT TOWNSHIP ADVISORY COMMITTEE MEETING OF THE HINDMARSH SHIRE COUNCIL HELD ON 8TH MAY 2023 at the Memorial Hall, Roy Street, Jeparit at 7.30pm.

Present: Mr B. Ireland (Mayor – HSC), Ms. J. Holmes (Officer - HSC), Teresa Smith (VC-CM – Chaired), Jason Hutson (Chair-CM), Cheryl Quinn (Secretary-CM), Craige Proctor (CM), Mel Wagener (CM), Annmarie Werner (CM), Tony Simpson (Community Member) and Paul Bell (Community Member).

1. ACKNOWLEDGEMENT OF THE INDIGENOUS COMMUNITY AND OPENING PRAYER

We acknowledge the Shire's Indigenous community as the first owners of this country. We recognise the important ongoing role that indigenous people have in our community and pay our respects to their elders and people both living and past.

2. APOLOGIES

S. Reilly (CM), and Bec Schultz (CM)

Moved: Annmarie Werner

Seconded: Mel Wagener

Carried

3. DECLARATION BY COUNCILLORS OR OFFICERS OF ANY DIRECT OR INDIRECT INTEREST IN ANY ITEM ON THE AGENDA.

- General conflict of interest; or
- Material conflict of interest

Declaration of general or material conflict of interest must also be advised by Committee Members at the commencement of discussion of the specific item.

NIL.

4. CONFIRMATION OF MINUTES

RECOMMENDATION:

That the Minutes of the JTAC Committee Meeting held on 17th April, 2023 at 7.30pm at the Memorial Hall, Roy Street, Jeparit. circulated to Committee Members be taken as read and confirmed
(Attachment: 1)

Moved: Mel Wagener

Seconded: Annmarie Werner

Carried

5. BUSINESS ARISING FROM THE MINUTES

- 5.1 RV site will receive a purple bin for glass disposal.
- 5.2 New Residence Welcome bags with brochure supplied.
- 5.3 Last supermarket voucher has been presented to HSC and will reflect in next months financial statement.
- 5.4 Fairy lights have been purchased by HSC arrangements to be made for collection balance.

6. CORRESPONDENCE

INWARD:

- 6.1 (Community) P. Bell Re: Purchase of Fairy Lights 21/4/23
- 6.2 (JTAC) Grampians Tourism Industry Newsletter 28/4/23

OUTWARD:

- 6.3 J. Holmes (HSC) Draft Minutes of Meeting 21/4/23
- 6.4 P. Bell (Community) Streetscape Solar light report 21/4/23
- 6.5(JTAC) Grampians Tourism Industry Newsletter 28/4/23
- 6.6H. Boyd (HSC) Re: Financial Statement to end of April 30/4/23
- 6.7 J. Holmes (HSC) Re: Minutes of Previous Meeting confirmation 30/4/23
- 6.8 J. Holmes (HSC) Re: P. Bell quote for Fairy Lights acceptance 30/4/23
- 6.9 J. Holmes (HSC) Re: S. Reilly application for JTAC Committee 5/5/23

RECOMMENDATION:

That the Outward Correspondence be approved and the Inward Correspondence noted.

Moved: Craige Proctor

Seconded: Brett Ireland (Mayor-HSC)

Carried

7. EVENTS

Event:	Location:	Date	Relevant documents	
	Responsibility	Due date	Status	
Risk assessment				
Food permit				
Local Law permit				

8. GENERAL BUSINESS AS NOTIFIED TO THE CHAIR

- 8.1 Mel Wagner (CM) still waiting fro a call from Aiden of (HSC) in relation to water facilities at the Jeparit Garden Club rooms. J. Homes (HSC) to investigate progress.
- 8.2 WC facilities nearest netball courts in sporting precinct is still without its roof, roof has been completed and not installed on building. (site permit to be completed). J. Homes (HSC) to investigate progress.

8.3 Jeparit Township Garage Sale (Sat 10/6/23) is not part of the JTAC or Wimmera Mallee Pioneer Museum this year but being run independently

8.4 Play ground area in sporting precinct – bollards have been placed around the area, enabling area to be sectioned off.

8.5 Rainbow have incorporated stickers of township history on vacated shop windows, Jeparit township may benefit from same.

J. Homes (HSC) will bring picture of same.

8.6 Painting or placement of birds on concrete power poles, contact to be made with Community Liaison Officer of Power Corp asking permission to decorate poles.

J Holmes (HSC) will supply contact details to secretary.

9. COUNCILLOR REPORT

Discussion was held regarding the continued work on the Swimming hole area, along with completion time. Decking completed and is at the manufactures waiting for the brackets for connection.

Funding supplied to complete landscaping.

Pontoon Grants become available next year, application will be made for the swimming hole area.

New gazebo BBQ area now connected and complete.

Upgrade to play equipment at swimming hole with JTAC, HSC funding and Lions club donation. (approx \$45,000.00 in total)

Another family cabin due around September 2023.

Tennis courts are on the agenda and forms part of the ongoing refurbishment plans.

Swimming pool requires more work and is very costly to run during opening season.

10. OFFICER REPORT

Part of earlier conversations

11. URGENT BUSINESS

N/A

12. FINANCE REPORT

12.1 Summary of Balances in Finance Report.

RECOMMENDATION:

That the Finance Reports as provided with this Agenda be approved.

(Attachment 2)

Moved: Mel Wagener

Seconded: Annmarie Werner

Carried

12.2 Purchase Orders to be raised - \$2,000 or less

Moved:

Seconded:

Carried

ITEM NO.	DESCRIPTION	DECISION

12.3 Purchase Orders to be raised – Greater than \$2,000

NIL.

13. DECISIONS TO BE MADE

The following decisions are recommendations to Council for endorsement:

ITEM NO.	DESCRIPTION	DECISION

14. MEETING CLOSED

The meeting closed at 8.13pm.

Next JTAC meeting to be held Monday 12th June 2023, (Public Holiday) **at the Memorial Hall, Roy Street, Jeparit at 7.30pm.**

15. COUNCIL OFFICER AUTHORISATION

*to be completed by the Council Officer

I _____ accept the following recommendations made by the JTAC Committee at this meeting held on 8th May, 2023:

ITEM NO.	DESCRIPTION	DECISION

I _____ advise that the following items:

ITEM NO.	DESCRIPTION	DECISION

- Need to be referred to a Council Meeting / CEO for a decision
- Require more Information
- Do No align with the Hindmarsh Shire Council Plan

SIGNED:

Council Officer



Dated:

9/5/2023



15 May 2023

To Committee Members,
“as addressed”

NOTICE is hereby given that a Nhill Township Advisory Committee Meeting of the Hindmarsh Shire Council will be held at the Nhill Gallery Central, on the 15th of May 2023 commencing at 7.30pm.

AGENDA

1. Acknowledgement of the Indigenous Community

2. Apologies

3. Disclosure by Committee members or Councillors or Council Officers of any interest or conflicts of interest in any item on the agenda

4. Confirmation of Minutes

5. Business Arising from the Minutes

6. Correspondence

In

- Request for new member information – Anne Rowe
- Nhill Music Concert
- Nhill IGA January statement
- Request for new member information – Heather Dufty
- Free Music Concert - Nhill
- Karen Water Festival 2023
- Community bus
- La Trobe University research
- End of Advisory Committee Membership Term
- Membership forms? – Heather Dufty
- Town Committee Assets – Dimboola
- Membership application
- Easter Egg hunt registrations x 33
- Nhill TC Exp 230430
- Follow-up – La Trobe University research
- NFP – Volunteer week article

- Advisory committee nominations applications
- NMCC 15/05 use
- Dog park surveys

Out

- Minute template – for Melanie
- Town Committee Assets
- April meeting date discussion
- NTC Easter Hunt Documentation
- Dog Park Survey – to project members
- Other Dog Park documents – to project members
- March meeting agenda request
- 20/03 NTC meeting agenda
- 20/03 NTC minutes
- NHILL Easter Egg Hunt
- Decorations in town
- Easter printing
- NTC article for paper
- Easter activities and approval
- Request for assistance – Easter Hunt
- Easter hunt checklist
- Tomorrows meeting
- NTC 2023/25 membership
- Dog Park article for paper
- 15/05 agenda items

7. Events

Easter Egg Hunt

8. General business as notified to the Chair

- 8.1 Dog park update
- 8.2 Nhill Free Press article
- 8.3 La Trobe University research

9. Councillor Report

10. Officer Report

11. Urgent business

12. Finance report

13. Decisions to be made

14. Meeting Closed

15. Council Officer Authorisation

1. ACKNOWLEDGEMENT OF THE INDIGENOUS COMMUNITY AND OPENING PRAYER

Acknowledgement of the Indigenous Community

We acknowledge the Shire's Indigenous community as the first owners of this country. We respectfully acknowledge the Wotjobaluk, Jaadwa, Jadawadjali, Jupagulk and Wergaia peoples, and their elders past, present and emerging. We recognise the important ongoing role that indigenous people have in our community and pay our respects to their elders and people both living and past.

2. APOLOGIES

Daniel Griffiths
Rhys Webb
Pauline McCracken

Attendees: Jenny Dufty, Vicki Natt, Cr Melanie Albrecht, Alana Storey, Darrell Hall and guest Heather Dufty.

3. DECLARATION BY COUNCILLORS OR OFFICERS OF ANY DIRECT OR INDIRECT INTEREST IN ANY ITEM ON THE AGENDA.

- General conflict of interest; or
- Material conflict of interest

Declaration of general or material conflict of interest must also be advised by Committee Members at the commencement of discussion of the specific item.

It was notified that Chairperson Alana Storey had a conflict of interest in regards to General Business item 8.3 on the agenda.

4. CONFIRMATION OF MINUTES

RECOMMENDATION:

That the Minutes of the Nhill Town Committee Meeting held on the 20th of March 2023 at the Nhill Memorial Centre, circulated to Committee Members be taken as read and confirmed.

Attachment: 1

Moved: Cr Melanie Albrecht

Seconded: Vicki Natt

5. BUSINESS ARISING FROM THE MINUTES

No business arising from minutes to be discussed.

6. CORRESPONDENCE

In

- Request for new member information – Anne Rowe
- Nhill Music Concert
- Nhill IGA January statement
- Request for new member information – Heather Dufty
- Free Music Concert - Nhill
- Karen Water Festival 2023
- Community bus
- La Trobe University research
- End of Advisory Committee Membership Term
- Membership forms? – Heather Dufty
- Town Committee Assets – Dimboola
- Membership application
- Easter Egg hunt registrations x 33
- Nhill TC Exp 230430
- Follow-up – La Trobe University research
- NFP – Volunteer week article
- Advisory committee nominations applications
- NMCC 15/05 use
- Dog park surveys

Out

- Minute template – for Melanie
- Town Committee Assets
- April meeting date discussion
- NTC Easter Hunt Documentation
- Dog Park Survey – to project members
- Other Dog Park documents – to project members
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- 20/03 NTC meeting agenda
- 20/03 NTC minutes
- NHILL Easter Egg Hunt
- Decorations in town
- Easter printing
- NTC article for paper
- Easter activities and approval
- Request for assistance – Easter Hunt
- Easter hunt checklist
- Tomorrows meeting
- NTC 2023/25 membership
- Dog Park article for paper
- 15/05 agenda items

RECOMMENDATION

That the Outward Correspondence be approved and the Inward Correspondence noted.

Moved: Vicki Natt

Seconded: Jenny Dufty

A brief report was provided by Cr Melanie Albrecht and Chairperson Alana Storey on the Easter Egg Hunt and Games held on the 7th of April 2023. The mornings activities all went very well and we had received a number of comments that children and their parents / caregivers were grateful for the event and had a lot of fun. It was noted that seventy-seven children had registered to take part prior to the event and a number showed up on the day, and we were left with only one bag of mini eggs left after the day.

Chairperson Alana Storey thanked all those that approved the \$500.00 budget for the event via email which went toward the cost of the chocolate eggs and the poster printing to advertise the event. She also advised that \$342.00 had been raised from the event due to the \$2 gold coin donation paid for each child to take part, this money will go to the running of the event next year.

Event:	<i>Easter Egg Hunt</i>	Location:	<i>Jaypex Park</i>	Date	<i>7th of April 2023</i>
<i>Relevant documents</i>					
	Responsibility	Due date	Status		
Risk assessment	<i>Alana Storey</i>		<i>Approved</i>		
Food permit					
Local Law permit	<i>Alana Storey</i>		<i>Approved</i>		

8. GENERAL BUSINESS AS NOTIFIED TO THE CHAIR

8.1 Dog park update

Chairperson Alana Storey provided an update on the progress of the recent Dog Park survey in working group leader Rhys Webb’s absence. The survey had received 147 responses on the online survey and there had also been several hard copies which had been returned to the Shire, scanned, and sent to the Nhill Town Committee email address. All those in attendance were very impressed with the number of responses received.

The next steps were discussed during the meeting and it was decided that the working group (Rhys Webb, Alana Storey and Brock Stephens) on the project write a report on the survey and the responses received, Cr Melanie Albrecht also advised that she would be willing to assist with the report write up. This report will then be utilised by the Council to take to local service clubs to gain interest in possibly supporting the creation of the Dog Park and further maintenance, as well as support for any grants to support the projects implementation.

A key piece of the report that those in attendance were interested in finding out was thoughts around where it would be placed. A discussion and thoughts were then shared around the potential implications of different places suggested. This discussion largely revolved around whether it would be placed on Crown land or Council land and who would need to be spoken to depending on the survey results best location was found to be.

The decision was made that the working group would write up the report by

next meeting and further discussion would be held then based on the results.

8.2 Nhill Free Press article

Chairperson Alana Storey thanked all those that responded with their approval to spend \$47.00 for the Nhill Town Committee to have an advertisement in the Nhill and Kaniva Free Press during Volunteer Week. She also advised the newspaper edition with the advertisement addition was due to be out some time this week.

8.3 La Trobe University research

Cr Melanie Albrecht read out a recent email that had been received and forwarded on to all Nhill Town Committee members. The email was sent by a local La Trobe University PhD candidate that is doing a research project on health promotion in rural communities. They are currently reaching out to Town Committee's to find people that would be willing to take part in a tour around their town and discuss elements that help or hinder health locally. All members were encouraged to think about the request and reach out the candidate if they are interested in participating.

9. COUNCILLOR REPORT

Cr Melanie Albrecht advised those in attendance that tomorrow night the Hindmarsh Shire would be holding a Community Consultation in Nhill, at the Nhill Memorial Community Centre at 5:30pm. The consultation would be an opportunity for local community members to hear about council projects and budgets allocations for the next year.

Nhill Town Committee member Jenny Dufty requested an update on a number of projects that were / are due to occur in Nhill, these included solar panels for the local pool, pedestrian bridge between caravan park and Jaypex park and the Heritage Grandstand at Davis Park, which Cr Melanie Albrecht was able to advise on.

- The solar panels for the Nhill Swimming pool have been held up due to complications with the lease requirements needed to get the panels in place. Currently the Nhill College school administration has signed off however the council requires the Department of Education to sign off as well and they are proving to be a bit harder to get in contact with.
- As part of the early stages of the Nhill streetscape master plan there was designs to put a pedestrian bridge between Japex Park and the Nhill Caravan Park, however, works on this have been delayed. This delay is due to the need to make some design and slight location adjustments in order to ensure that the bridge meet current accessibility standards as the original design would have been at an angle which did not meet those standards. Further discussion was had about the streetscape plan and the progress of it which Cr Melanie Albrecht advised that grants were currently being applied for and required in order to fund the proposed designs and it does depend on the type of grant being applied for as to what can be achieved with the fund received from it.
- It was advised that the delay in the construction of / repair of the Heritage Grandstand at Davis Park has been due to lack of funding. Originally the Nhill and District Sporting Club had been offered \$1million but had turned this down due to the amount offered not covering the full amount required for all the works to be done at Davis Park. However, due to not receiving fund through other means the Sporting Club has requested \$1million to put

toward starting the renovations of the Grandstand and to look for further funds elsewhere to complete all the works they wish to do.

Cr Melanie Albrecht also advised those in attendance that funds had also been allocated to the creation of a cane ball court to be put in near the tennis courts. This is something the local Karen Community have desired for a long time.

10. OFFICER REPORT

Not available due to Officer representative being an apology.

11. URGENT BUSINESS

A discussion was held about the future of the Nhill Town Committee as a result of a low number of applications being received for the next Nhill Town Committee member period beginning in July 2023. The query was put forward to those in attendance that potentially the Nhill Town Committee needs to work differently than it does in other towns due to the number of service groups in town. This potential would see getting the various groups in town to take on more a leadership role in organising events and to be encouraged to share their thoughts on Nhill matters more often. This would require the Nhill Town Committee to be more of a place for groups to go to for advice and assistance on how to run things and a link to Council rather than running them themselves. It would also require consideration to be given to other methods beyond the Town Committee to get community member opinions on different matters in Nhill.

The other piece of business that was brought up was a request for a follow up regarding the Committee’s previous discussions regarding cleaning the footpaths in the main street of Nhill. A couple of members believe that this had not occurred prior to the Heritage Weekend last year which was originally advised would happen and requested an update on when it would happen and how often it is planned to happen.

12. FINANCE REPORT

12.1 Summary of Balances in Finance Report.

Due to the Council Officer being an apology no finance report was provided at the meeting.

12.2 Purchase Orders to be raised - \$2,000 or less

RECOMMENDATION:

That the Council Officer raise the following Purchase Orders, being a value of \$2,000 or less.

The following items were approved via email as they were urgent business between meetings.

Creditor	Value \$	Description of Goods or Services
Nhill and Kaniva Free Press	\$47.00	7cm x 2cm advertisement to be included in the special edition for Volunteer week.
	\$500.00	Easter Egg poster printing and purchase of mini Easter eggs and hollow Easter eggs for

		the Nhill Easter Egg hunt and games.

12.3 Purchase Orders to be raised – Greater than \$2,000

RECOMMENDATION:

That the Council Officer, following approval by Council or the CEO, raise the following Purchase Orders greater than \$2,000.

Moved
Seconded

Creditor	Value \$ (> \$2,000)	Description of Goods or Services

13. DECISIONS TO BE MADE

The following decisions are recommendations to Council for endorsement:

ITEM NO.	DESCRIPTION	DECISION
4	Minutes	Confirmation of the Minutes
5	Business Arising from Minutes	
6	Correspondence	Approving the Outward Correspondence and Noting the Inward.
7	Events	
8	General Business as Notified to the Chair	
9	Councillor’s Report	
10	Officer’s Report	
11	Urgent Business	
12.1	Finance Report	That the Finance Report as provided with the Agenda be approved.
12.2	Purchase Orders to be Raised (\$2,000 or less)	That the Council Officer raise the Purchase Orders listed.
12.3	Purchase Orders to be Raised (above \$2,000)	That the Council Officer, following approval by Council or the CEO, raise the following Purchase Orders listed which are greater than \$2,000.

14. MEETING CLOSED

The meeting closed at 8:45pm

15. COUNCIL OFFICER AUTHORISATION

*to be completed by the Council Officer

I Daniel Griffiths accept the following recommendations made by the Nhill Committee at

this meeting held on 22/5/23:

ITEM NO.	DESCRIPTION	DECISION
4	Minutes	Confirmation of the Minutes
5	Business Arising from Minutes	
6	Correspondence	Approving the Outward Correspondence and Noting the Inward.
7	Events	
8	General Business as Notified to the Chair	
9	Councillor's Report	
10	Officer's Report	
11	Urgent Business	
12.1	Finance Report	That the Finance Report as provided with the Agenda be approved.
12.2	Purchase Orders to be Raised (\$2,000 or less)	That the Council Officer raise the Purchase Orders listed.

SIGNED: Council Officer



Dated: 22/5/23

Wimmera Mallee Pioneer Museum

Dimboola Road, Jeparit, Victoria 3423

Email: wmpmjeparit@gmail.com

Facebook: www.facebook.com/WMPMJeparit

Minutes – Tuesday, 18 April, 2023, 7.30 p.m. at Briarley House

1) Welcome and Acknowledgement of Country

The President welcomed members and delivered the Acknowledgement of Country.

2) Declarations of interest – NA

3) Present: Wendy Werner – President (WW); Craig Proctor - Secretary (CNP); Tige Mannington (TM); Peter Pumpa (PP); Rod Cameron (guest).

Apologies: Maryanne Paech (Treasurer's Report submitted); Clem Paech; Cr Brett Ireland.

Motion: To accept the apologies. Moved: TM Seconded: PP CARRIED

4) Minutes of Previous Meeting

The last meeting, on 21 March 2023, was a general meeting.

Motion: To accept the Minutes of the 21 March meeting. Moved: CNP Seconded: PP CARRIED

5) Correspondence

Inwards

- Request from Jeparit Garden Club to hold a plant stall and raffle at the Rally.
- Chris Jarred – donation offer (organ, projector, other items)
- Quote from Mick Harrison Signs, Horsham, for producing storyboards on aluminium (\$220 per sign).
- JW (HSC) Community Asset Committee Guidelines re vaccination status for volunteers along with updated Volunteer Handbook.
- JW (HSC) offering advice and support on design of storyboards i.e. prospective templates, logos etc.
- Nhill Historical Society – acceptance of invitation to participate in Rally
- Eileen Jorgenson – providing information on Clydesdale display (panels) for Rally
- Wendy Bywaters (HSC) – advising of discrepancy in advertising 'free' for children at Rally but they were still charged; needs to be resolved.
- Jenene Burke, Federation University, providing dates for History, Engagement and Preservation Partnerships webinars for the rest of the year; CNP attends these.
- Petra Croot (HSC) – revised Community Asset Committee Guidelines
<https://www.hindmarsh.vic.gov.au/Council/Council-Committees>

Outwards

- Request to Aussie Towns website to update Museum opening hours
- Letter to Jeparit Garden Club agreeing to their request
- Invitations to Nhill, Dimboola and Rainbow Historical Societies to participate in Rally

Motion: To accept the outward correspondence and note the inward Correspondence.

Moved: CNP Seconded: TM CARRIED

6) Business arising from Correspondence

- Storyboards. There is a delay in having these done as we need to wait for JW's return to work so the Storyboard texts can be produced with the templates and logos; this will not be until after 26 April.
- Entry fees for Rally. Adults \$15; Pensioners and students \$10; Family \$30; 12 or under Free.
Motion: That the entry fees be set as above. Moved: CNP Seconded: PP CARRIED
Action: CNP to finalise nine Storyboards with JW of HSC on his return to work and to organise printing of the storyboards. DONE
- Vaccination status for volunteers. While HSC requires volunteers to be vaccinated according to 'recommendations', the advice from the State government is that vaccinations are no longer mandated for businesses. Given that the HSC vaccination requirement is preventing WMPM from engaging volunteers, WMPM should send a letter to HSC asking for clarification on why the minimum standard for HSC is higher than the advice provided at the State level.
Motion: That WMPM write to HSC stating that the current vaccination requirements are not consistent with advice provided by State guidelines. Moved: CNP Seconded: TM CARRIED
Action: WW and CNP to write letter to HSC. NOT DONE
- Jarred donation. WW to await further communication from prospective donor.

- HSC Community Asset Committee Guidelines. CNP to share this notification and link with Committee members. **Action:** CNP to send notification to Committee members. **DONE**

7) **Treasurer's Report**

Maryanne Paech circulated (in advance of meeting) a financial report.

Volunteer Hours: March 2023: 338.5 hours

Purchases / Finances - NA

March 2023	
Opening balance 01.03.23	\$32,388.64
Receipts	\$852.40
Expenses	\$510.01
Closing balance 31.03.23	\$15,848.75
Term Deposits (2)	\$34,379.17
Total	\$50,499.75

Motion: To accept the Treasurer's report as circulated. Moved: WW Seconded: CNP CARRIED

1) **General Business**

Visitors:

Mary-Anne Paech's report on Attendance -

Adults	Pensioners	Children	Family	Group
25	35	2	1	1 x 12; 1 x 3; 1 x 20 (non-paying)

2) **Volunteers:**

Update on scheduled tasks/advice for volunteers (yard maintenance, machinery upkeep, decobwebbing, washing and dusting, general cleaning of buildings etc.)

Volunteer conduct.

3) **Community Service placement update.** At the JTAC Meeting on 17 April WW and CNP presented the proposal to have a low-level offender undertake community service at WMPM. The HSC Officer attending the meeting explained that all requirements and organisational matters would be overseen by HSC, not by WMPM.

4) **Back to Jeparit event, 21-22 October.** To be discussed further.

5) **WVAHS AGM in Charlton 15 April.** CNP attended this AGM and gave a brief report.

6) **CHG Grant.** Need to follow through on Significance Assessment. Preservation needs/Conservation plan. WW has commenced this Grant application and is still to communicate with Euan McGillivray.

7) **Digitisation equipment update.** The equipment purchased has been received at WMPM.

8) **Small/transient exhibits:** Rod Cameron confirmed that he is prepared to set up a special exhibit on Mother's Day, 14 May.

9) **Mother's Day afternoon tea event.** Sunday 14 May. Discussion continued on this proposal. CNP's concerns were detailed, focussing mainly on the timing just before the Rally but also on the lack of people available to manage the event. Decision was made to proceed with the event and to limit it to Afternoon Tea, 2-4 p.m. **Action:** CNP to continue with producing a promotional flyer. **DONE**

10) **Maintenance:** NA

2) **New/Urgent Business:**

3) **Brief update on Rally preparations**

4) **Shire Update:** Jeff Woodward - NA

5) **Councillor update:** Cr Brett Ireland - NA

6) Next Meeting **Tuesday 16 May 2023** 7:30 pm at the Museum.

Next Rally Planning Meeting **Tuesday 2 May** 7.00 p.m. at the Museum.

Next Working Bee TBA

Meeting Closed at 9.00 p.m.

Yurunga Homestead Community Asset Committee

General Meeting, Thursday, April 27th, 2023, Yurunga dining room, 7:30pm

Draft Minutes

Welcome and Opening at 7:35 pm

Members present: : Jenny Solly (chair), Peter Solly (secretary/ treasurer), Col Drendel, Heather Drendel via video phone link

Visitors: Mayor Cr Brett Ireland

Apologies: Lou Ravenhorst, Jeff Woodward

Moved: Col Drendel, Heather Drendel – That the apologies be accepted. c/d

Additional items for general Business (to be accepted at Chairperson's discretion)

- Follow up on Council action re Carob Trees – Pruning supports for male tree (Heather)
- Repairing weather seal on back door

Declaration by a Councillor, Officer or Committee Member of any direct or indirect interest in any item on the agenda

Nil

Minutes of the previous meeting, as circulated

Moved: Heather Drendel, Col Drendel – That the minutes of the general meeting held on March 23rd 2023 as circulated be accepted as a true and accurate record. c/d

Business Arising:

- Mar 24: Dr Gary rang Peter re renderers from Bendigo will be at Yurunga on Sunday 26th March to repair the internal cracks ready for painting
- March 24: Thanks to Cr Brett for getting permission from the CEO for Alan to work on the clean up.
- Mar 26: Very successful Trade Travel lunch and tour, Probus Club of Maling, 24 people. Thanks to team Heather, Cynthia, Jenny, Peter and Colin.
- Mar 26: The renderers worked at the west end of the house during the tour, but ran out of material and will return to finish the job
- Mar 27: Belinda Eckermann was recorded for the mural QR Code, but she would like to redo it

- Mar 30: Successful lunch tour, Donald Probus Club, 19 people. Thanks to catering team Heather, Cynthia, Jenny, Peter and volunteers Barbara Young and Dawn Saul.
- Mar 30: Mar 24: Dawn has offered to pick the figs and put them in the craft shop for sale.
- April 6: The renderers returned and finished their conservation work
- Apr 17: Wycheproof Tour (Apr 19) postponed.
- April 17 & 20: Marcus Feher worked on the exterior laundry door and the school room/vestibule door. Recommended a glue for repairing the vestibule door. Thanks to Col for finding a key and getting the lock working. The door now works very smoothly.
- April 20: Ray Burzacott commenced front picket fence painting project, completed April 21st.
- April 19: Aiden Dent emailed Peter re return of redgum flooring.
- April 24: Tony Balcombe, Spirit Tours brought 21 people for a tour only. Noble Park and Sandown Probus Clubs.
- April 25: Col gave the front steps another coat of oil
- April 26 Jenny picked persimmons, pomegranates and quinces

Correspondence In (Emails)

- Mar 24: Cr Brett Ireland to Peter: Fwd to all at Hindmarsh Shire Council re Allan being released for a day's work in the yard at Yurunga
- Mar 25: Cr Brett to Peter re CEO approves Allan working at Yurunga for a day. Please supply a list of tasks and expected rubbish to Daniel Griffiths
- Apr 5: Glenda Bish, Wycheproof Activity Group to Peter re tour for 9 people on Wednesday, April 19, 11am or 1pm
- Apr 11: Petra Croot (Manager Governance and Human Services, HSC) to Community Asset Committees re attached copy of the final Governance Manual/Guidelines document
- Apr 17: Glenda Bish Wycheproof Activity Group to Peter re tour on Wednesday, April 19, postponed.
- Apr 17: Petra Croot to Peter re Governance Manual and feedback from October 4th meeting attached.
- Apr 19: Aiden Dent to Peter re redgum flooring – will organize return. Contact Daniel Griffiths

Correspondence Out (Emails)

- Mar 25: Peter to Cr Brett re thanks
- Mar 27: Peter to Maddison Thomers, Trade Travel re invoice for lunch and tour on March 26 (\$550.00)
- Apr 6: Peter to Glenda Bish, Wycheproof re tour on April 19
- Apr 16: Peter to Petra Croot re thanks for Governance document and asking about feedback from the Engagement meeting at Dimboola on October 4, 2022
- Apr 16: Peter to Council re copy of March Minutes

- Apr 16: Peter to Aiden Dent re return of redgum verandah timber for secure storage at Yurunga
- Apr 16: Peter to Jeff Woodward re suitable location of the new defibrillator at Yurunga (East wall of the garden shed)
- Apr 18: Peter to Glenda Bish, Wycheproof re tour on April 19 postponed
- Apr 21: Peter to Aiden Dent thanks re redgum return
- Apr 21: Peter to Petra Crout thanks re Governance feedback

Late Correspondence Out
(Email)

- April 24: Peter to Spirit Tours re invoice for tour April 24th

Moved: Col Drendel, Heather Drendel – That the incoming correspondence be received and the outgoing endorsed. c/d

Reports

~Financial

Yurunga Homestead Community Asset Committee

Financial Report

March 1st 2023 to March 31st 2023

Opening Balance per statement at 1 st March	\$10,630.84
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Plus Income:

Trade Travel Lunch and Tour	\$550.00
Hindmarsh Shire Lunch and Tour	\$475.00
Donald Probus Lunch and Tour	\$475.00

Sale of Produce	
Hindmarsh Shire Group	\$142.70
Trade Travel Group	\$81.00
Donald Probus Group	\$81.00

Donation Rainbow Dance Club	\$300.00
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Total Income	\$2,104.70
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Less Expenses:

T Ismay & Co, Sugar Soap, Applicators	\$149.50
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Heather Drendel, Produce expenses	\$221.40
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Jenny Solly, Laundry reimbursement	\$95.00
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Bow Bakery, Bread	\$35.00
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Total Expenses	\$500.90
Closing Balance per statement 31 st March	\$12,234.64

Term Deposit reinvested with interest on 27th January 2023
at 1.95% % interest pa for 3 months .
To be reinvested by April 27th 2023 \$5,066.46

Peter Solly Secretary/Treasurer, Yurunga Homestead Community Asset
Committee

Moved: Peter Solly, Col Drendel- That the financial report be received. c/d

~Mayor, Cr Brett Ireland

The last bank in Jeparit has closed, the NAB, Post Office banking is all that is left.
The Agenda for next Wed Council Planning shows that permits for Lou's Silo will
be approved, work is out for tender.

Grants of \$1,000,080 are to be allocated. Davis Park will get about most.
Rainbow will get \$30,000 for shade over the skate park and \$100,000 for 4
towns for more adventurous playgrounds.

The CEO will not be seeking further term. Consultant are needed to overview the
new appointment.

The toilet block and more cabins are coming for the Rainbow Caravan Park.

~ Jeff Woodward – apology

Moved: Heather Drendel, Col Drendel – The Shire report be received. c/d

General Business

- Update on conservation works (Dr Gary rang Peter on March 16)
- Pruning of roses and orchard - Check locals eg Evan Young, Max Clarke etc
for a quote?

Moved Heather Drendel, Col Drendel - We contact MC Mowing re availability
and quote for pruning the orchard - maxwell.clark@skymesh.com.au c/d

- List of tasks for yard maintenance day with Allan (to go to Daniel Griffiths
at Council) and requirements for carting away rubbish. The CEO has
approved.

Preliminary list: Approximately 100 tyres, scrap metal, troughs, check with
Gary Hill re stone and rubble around Coach House needed. Stack bricks on
pallets. Limestone borders on internal paths and more are a danger. Relocate
gypsum? Dead trees and Albacutya redgums near paths and the orchard

